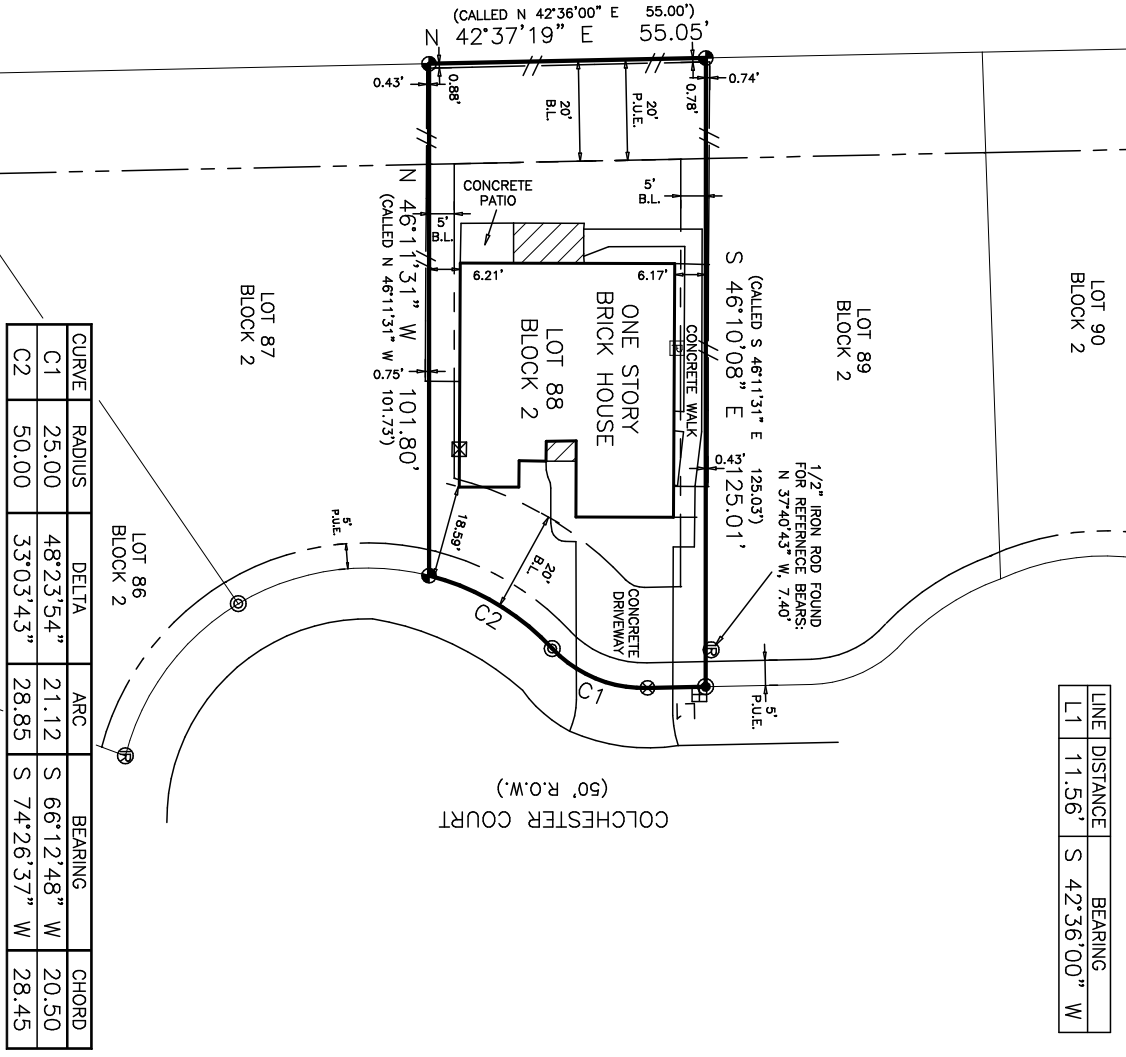




BRIDGEWOOD SUBDIVISION PHASE 2
12756/292

0.635 ACRES
COMMON AREA



LINE	DISTANCE	BEARING
L1	11.56'	S 42°36'00" W

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	48°23'54"	21.12	S 66°12'48" W	20.50
C2	50.00	33°03'43"	28.85	S 74°26'37" W	28.45

EASEMENTS AND RESTRICTIONS
RECORDED IN:
VOL. 5349, PG. 128
VOL. 4336, PG. 24
VOL. 4414, PG. 188
VOL. 5351, PG. 188
VOL. 5259, PG. 239
VOL. 6440, PG. 96
VOL. 7882, PG. 188
VOL. 9520, PG. 211

BLANKET EASEMENTS
RECORDED IN:
VOL. 531, PG. 722
VOL. 2504, PG. 81

File Name: 18001.dwg
Plot Date: 01/17/2017
Revised: 01/18/2017

SURVEY LEGEND

—	SUBJECT PROPERTY LINE	▨	COVERED CONC.
—	ELECTRICAL LINE	⊗	WATER METER
—	IRON/ALUM. FENCE	⊗	WATER VALVE
—	BARBIRE FENCE	⊗	ELECTRICAL METER
—	DRAINAGE EASEMENT	⊗	POWER POLE
—	ELECTRICAL EASEMENT	⊗	TRANSFORMER
—	RIGHT-OF-WAY EASEMENT	⊗	GAS METER
—	UTILITY EASEMENT	⊗	PROPANE TANK
—	ORNAMENCE BUILDING LINE	⊗	SAWITARY MANHOLE
—	FLATTED BUILDING LINE	⊗	STORM MANHOLE
—	1/2" IRON ROD FOUND	⊗	SEPTIC TANK
—	5/8" IRON ROD FOUND	⊗	TELEPHONE PEDESTAL
—	5/8" IRON ROD WITH ORANGE PLASTIC CAP	⊗	X IN CONCRETE
—	MARKED CARLOMAGNO - RPLS 1562, SET		
—	5/8" IRON ROD WITH ORANGE PLASTIC CAP		
—	MARKED CARLOMAGNO - RPLS 1562 FOUND		

Survey Notes:

- The bearing basis of this survey is N 46°11'31" W, as recorded in Volume 5349, Page 128 of the B.C.O.P.R.
- Drawing Scale is 1"=30'
- Technician: S.Peevey; Field Crew: J.Arevole
- Said lot does not appear to be under the 100 year flood plain, as identified by the Federal Emergency Management Agency on Community Panel No. 48051C0225C, Dated: January 5, 2011.

I, Dante Carlomagno, Registered Professional Land Surveyor No. 1562, do hereby certify that the above survey is a true and accurate representation of an actual on the ground survey and that I possess my registration and that there are no encroachments or other matters otherwise shown.

PLAT OF SURVEY

Dante Carlomagno
Registered Professional
Land Surveyor, Number 1562

LOT No.: EIGHTY-EIGHT (88)
BLOCK No.: TWO (2)
SUBDIVISION: CASTLEGATE SUBDIVISION SEC.10, 5349/128
STREET ADDRESS: 4205 COLCHESTER CIRCLE
CITY: COLLEGE STATION COUNTY: BRAZOS
SURVEYED FOR: THE NANCY J. ROSS 1995 REVOCABLE TRUS
TITLE CO.: UNIVERSITY TITLE GF# 173793

Carlomagno Surveying, Inc.
2714 Fireteather Road, Bryan, Texas 77801
PHONE: (979)775-2873, FAX: (979)775-4787
Firm No. 100348-00 www.CarlomagnoSurveying.com

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)

Date: April 30, 2024 GF No _____

Name of Affiant(s): Nancy J Ross

Address of Affiant: 8426 Camp Arrowmoor Rd, Hearne TX 77859

Description of Property: 4205 Colchester Ct, College Station, TX 77845
County Brazos, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since January 22, 2018 there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which encroach on the Property;
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):
None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Nancy J Ross

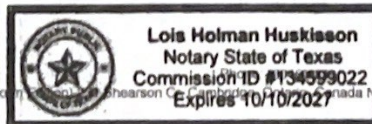
SWORN AND SUBSCRIBED this 26th day of April, 2024

Lois Holman Huskisson
Notary Public

(TXR-1907) 02-01-2010

Capital Ranch Real Estate, P. O. Box 1948 Brenham TX 77833
Whitley Fisher

Produced with Lone Wolf Transactions (zipCode)



Fax _____
www.lwolf.com