



HEDDERMAN SERVICES

281-355-9911

office@hedderman.com

<https://hedderman.com/>



MECHANICAL INSPECTION

10818 Moonlight Dr
Houston TX 77096



Inspector

Daniel Koteles

TREC #21157

281-355-9911

office@hedderman.com



PROPERTY INSPECTION REPORT

Prepared For: Joel Love & Amelia Love
(Name of Clients)

Concerning: 10818 Moonlight Dr, Houston TX 77096
(Address or Other Identification of Inspected Property)

By: Daniel Koteles - TREC #21157 08/31/2021 9:00 am
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Hedderman Engineering Inc.:

>It is the purpose of this report to give our client my educated and experienced opinion of the condition and function of the stated property as visually inspected by Hedderman Engineering Inc. The inspection performed on this property is of a general nature and includes the following systems: electrical, mechanical, and plumbing. This does not include any specialized inspections and/or inspections of any hazardous materials (such as done in environmental inspections) or any of the following; structural systems, mold, audio/visual components, hazardous materials and gases, rated walls, lead paint, destructive insects or pest, security items, water or air treatment systems, etc. This inspection is limited to those components which were visible and accessible at the time of the inspection. It is noted that this report contains the opinions of this inspector of the stated property as it appeared on the day of the inspection and is in no way a warranty of any component in the days and future following the inspection. All mechanical components are judged on the basis of age, condition, and the function of those items as they appeared on the day of the inspection and are not guaranteed to

continue functioning in that manner in the future. It is recommended that the our client purchase a home warranty policy to protect oneself from both unexpected and anticipated problems that may occur in the future.

>It is noted that Hedderman Engineering Inc. is not responsible for any problems found in the house during or after components are opened up, disassembled, uncovered, made visible, or made accessible by another entity after the inspection is completed.

>If a builder or service contractor examines an area of question and comes to the conclusion that there is no repair needed, have them present to you in writing that the item is in compliance with a prevailing code and is functioning properly, not in need of repair.

>It is the intent of this inspector to work in compliance with the Standards Of Practice For Real Estate Inspectors. It is not required of this company to exceed these standards. You may obtain a copy of the document referred to above by contacting the Texas Real Estate Commission. It is also noted that this inspection is not a "code inspection", but rather an inspection of the condition and function of the stated property.

>Although this report may include observations of some building code violations, total compliance with mechanical, plumbing, electrical codes, specifications, and/or legal requirements are specifically excluded. We do not perform "code" inspections, and since building codes change every few years, our inspections are not performed with the intention of bringing every item in the property into compliance with current code requirements. Rather, the standard of our inspections is a performance standard to determine if the items inspected are functioning at the time of the inspection, or are in need of repair. This is particularly applicable to Home Warranty policies, where the standards of the Home Warranty service company are often different than our stated performance standard for judging whether a piece of equipment is functional or in need of repair. If you intend to rely on a Home Warranty policy, then it is recommended that you contact the appropriate service companies for a more in-depth analysis of what may be required to meet their standards should a claim be made against the policy.

>If there are any questions or concerns please contact Hedderman Engineering, Inc. at 281-355-9911 or Office@HeddermanEngineering.com.

I. STRUCTURAL SYSTEMS

A. Foundation

Comments:

B. Grading and Drainage

Comments:

C. Roof Covering Materials

Comments:

D. Roof Structures & Attics

Comments:

E. Walls (Interior and Exterior)

Comments:

F. Ceilings and Floors

Comments:

G. Doors (Interior and Exterior)

Comments:

H. Windows

Comments:

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks and Carports

Comments:

The structural portions of this property were inspected by an engineer from Hedderman Engineering Inc. per the inspection agreement between this firm and our client. All comments regarding the structure and property grade are found in the structure report that is created and provided by the engineers at Hedderman Engineering Inc.

According to HAR, the house was built in 1953.

Orientation - House Facing East:

For the purpose of the inspection, North is considered to be the right side of the house.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Electrical System Description :

The electrical service is provided by a 120/240 volt, three-phase, 125-ampere service to an electric meter located at the rear of the house.

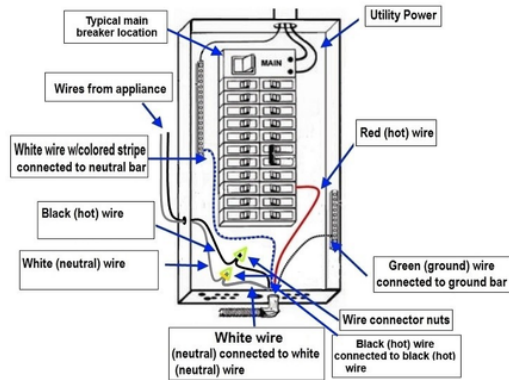
Electrical Wiring Information

<u>Service Wires</u>	<u>Branch Circuit Wires</u>	<u>Grounded or Ungrounded System</u>
Appears to be #4 copper	Copper and one 240-volt aluminum circuit	grounded

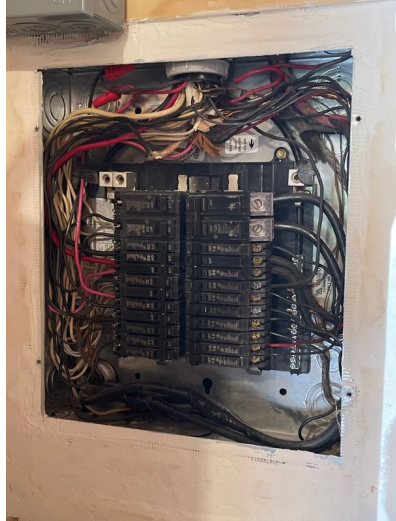
Breaker Panel Information

<u>Location</u>	<u>Manufacturer</u>	<u>Rating - Amps</u>
Garage	General Electric	125 amps

Circuit Breaker Wiring Diagram



I	NI	NP	D
---	----	----	---



Breakers - Routine Check:

It is a general recommendation that all circuit breakers be tripped off and on at least once a year to ensure that they are still physically able to trip off. Occasionally, the points on a breaker will fuse to the main bus in the panel, preventing the breaker from tripping off, even if there is an overload on the circuit. If this condition occurs, it can be a fire hazard.

AFCI Breakers Not Present - Home built pre-AFCI :

The breaker panel(s) did not contain any Arc Fault Circuit Interrupters (AFCI). This is an “as-built” condition, that does not meet current building code standards. AFCI devices are intended to protect against fires caused by electrical arcing in the wiring, by shutting off the power to the circuit when an electrical arc is detected in the circuit. Homes built prior to 2002 were not required by the National Electrical Code (NEC) to be protected by AFCI devices. Since this home was built prior to 2002, the breaker panel is not required to be retrofitted with new AFCI breakers. If adding AFCI breakers is desired, it is recommended that you contact an electrician for further information.

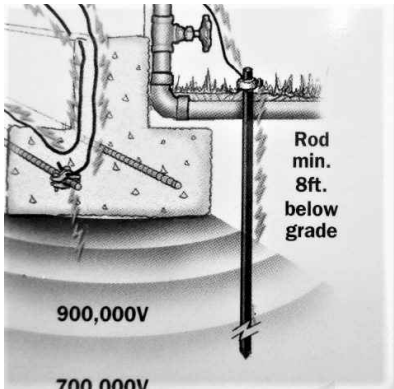
Breaker panel legend :

The circuit breakers were labeled to identify the circuits they were protecting. We did not trip off every breaker and trace out every circuit and, therefore, could not verify the accuracy of the labeling. If further investigation is desired, it is recommended that an electrician be contacted.

1: Ground Rod - Not flush with grading

The ground rod was sticking out of the ground a few inches, and, since ground rods are typically 8 feet long and all 8 feet of the rod are required to be in the ground, it is recommended that the ground rod be pounded down flush with the top of the ground. The clamp on the rod should be an acorn clamp is approved for direct burial in the ground.

Obtain Cost Estimate



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

2: Service Conductors - Below 8 feet

The service entrance conductors were observed to be too low and need to be raised. When this house was built, the lowest point of the incoming service was required to be a minimum of 8 feet above grade. The lowest point of the service was observed to be approximately 7 feet. Therefore, the service will need to be raised, and since the current electrical code requires the lowest point to be a minimum of 10 feet above grade, then it is recommended that the service be raised to meet the current minimum standard.

Obtain Cost Estimate

E3504.2.2



3: Service Conductors - Appear undersized

The size of the main service entrance conductors was not determined with certainty and the wire label was not visible. The service conductors appeared to be rated lower than the main breaker. A main breaker that is rated higher than the main service conductors is a safety/fire hazard and further investigation is recommended with an electrician.

Obtain Cost Estimate

B. Branch Circuits, Connected Devices, and Fixtures

Comments:

Type of Wiring: Copper - Non-metallic sheathed

1: GFCI - Missing at outlet

Kitchen counter tops, Garage, Hall bathroom, Exterior of the house -

A GFCI device was not installed at one or more locations that are currently required to have GFCI protection. It is recommended that an electrician install GFCI devices at all of the currently required locations.

Obtain Cost Estimate

2: Outlet - Nonfunctional

Kitchen countertop

An outlet was observed that was nonfunctional at the time of the inspection. The reason for the condition was not determined with certainty. Have an electrician find the source of the problem, and make any necessary repairs.

Obtain Cost Estimate

3: Outlet - Ungrounded

Kitchen countertop

A three prong outlet that was not grounded properly and needs to be repaired. It is recommended that an electrician be contacted, and the necessary repairs made to the outlet.

Obtain Cost Estimate

4: Switch - Close to tub/shower

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Hall bathroom

A light switch was located within three feet of the tub/shower. The light switch can be operated while standing in the tub/shower, which can be a hazardous condition. While it is not required by the National Electrical Code, we recommend for general safety purposes that the light switch either be moved further away from the tub/shower, or protected by a Ground Fault Circuit Interrupt device.

Obtain Cost Estimate



5: Power Cord Wire - Improperly hard wired

Garage

Wiring that is not approved to be hard wired into the electrical system, including extension cord wiring or lamp cord wiring, was observed. For safety purposes, the unapproved wiring should be replaced with an approved wiring.

Obtain Cost Estimate

6: Smoke and Carbon Monoxide Detectors

We could not determine if the smoke and/or carbon monoxide detectors are connected to the security alarm system as is common practice, therefore, to avoid triggering the security alarm we did not operationally check each device. Further investigation is recommended with a service company who specializes in this field to determine if the devices are interconnected as currently required and functioning properly. For safety purposes, it is recommended that smoke detectors and carbon monoxide detectors be replaced every ten years. Further investigation is recommended.

7: Low Voltage Systems - Not inspected

It is pointed out that low voltage systems, low voltage wiring, and low voltage connections were not included in the scope of the inspection and were not checked, including: audio/visual systems, alarm systems, data lines, and phone lines. If further investigation is desired, it is recommended that a service company be contacted.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

A. Heating Equipment

Comments:

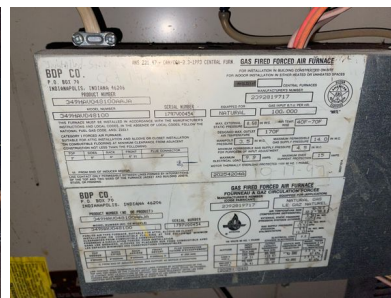
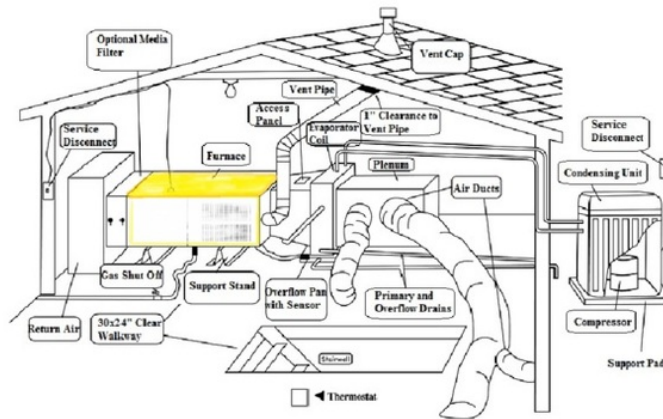
Type of System: Forced Air

Energy Sources: natural gas

Gas Furnace Description :

The heating for the property was provided the following natural gas-fired equipment:

<u>ZONE</u>	<u>BRAND</u>	<u>BTU</u>	<u>DATE</u>	<u>LOCATION</u>
House	Bryant	100,000	1997	Attic



Heating Equipment - Functional:

The heating equipment was observed to be operating and functional at the time of the inspection. The heating equipment responded to the thermostat and the equipment appeared to be heating the air adequately.

Limited life :

Due to the age and/or condition of the equipment, it is our opinion that the equipment has only a limited amount of remaining life.

Heat Exchanger - Information:

Gas furnaces are constructed in such a way that the units must be dismantled in order to view the entire heat exchanger inside. The equipment was not dismantled, and the heat exchanger was not able to be viewed for evidences of cracks. If further investigation is desired, it is recommended that a service

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
----------	-----------	-----------	----------

company be contacted to dismantle the equipment. It is pointed out, for safety purposes, the heat exchanger should be inspected by an HVAC service company once a year.

Limited visual inspection:

It is pointed out that our inspection of the air conditioning and heating system(s) is a limited, visual inspection where we check the equipment as it has been installed to determine whether or not the system(s) is cooling and/or heating at the time of the inspection. Our inspection is necessarily a cursory inspection, as we do not determine the sizing, adequacy, or design of any component in the system, or the compatibility of the individual components, nor the installation of the system(s) to be in conformity to the latest building code requirements. If you desire an in-depth analysis of the HVAC system(s), then it is recommended that a service company be contacted to analyze the system(s). This is particularly important if the system(s) is an older system and has only a limited amount of remaining life due to its age and/or condition.

1: Attic Decking - Inadequate to equipment

The attic did not have adequate service decking to and/or in front of the equipment. The platform decking should be a continuous deck that is a minimum of 30 inches wide, that extends along all sides of the appliance where access is required. In addition, the decking should be free from any obstructions, such as gas lines, electrical wiring, duct work, framing members, etc.

Obtain Cost Estimate

M1305.1.3

2: Sediment trap missing

Sediment traps were not installed at the gas supply lines for one or more of the gas fired furnaces. A sediment trap is intended to catch sediment/moisture/debris in a gas supply line before it can enter into the gas equipment.

Obtain Cost Estimate

B. Cooling Equipment

Comments:

Type of System: Split system

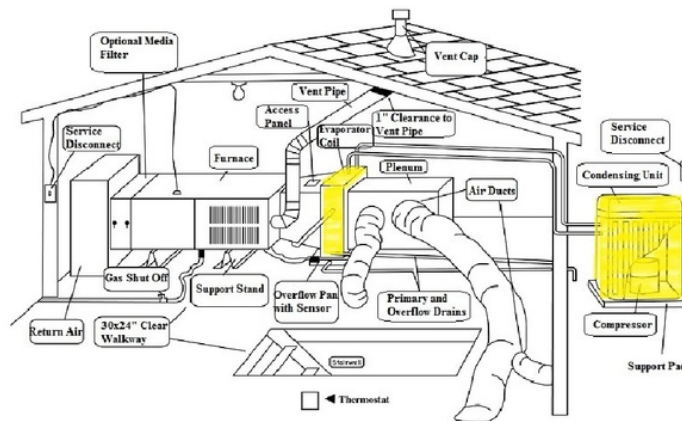
A/C Equipment Description :

The type of air conditioning for the property is a forced air split system. The cooling equipment for the property was as follows:

Zone	Brand	Size/Age Condenser	Size/Age Coil	Temp Drop Degrees
House	Goodman	no label	4-ton 2019	20

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---



Condensing Unit Equipment - Functional:

The condensing unit equipment was functional at the time of the inspection. The equipment responded to the corresponding thermostat, and the compressor components and fan motor components were operating.

Coil Equipment - Functional:

The coil equipment was operating and was providing a degree of cooling at the time of the inspection.

Cooling Performance - Acceptable :

The cooling performance of the equipment was observed to be adequate according to industry standards. The air conditioning equipment was observed to be cooling between 16-20 degrees across the indoor coil at the time of the inspection.

Cooling Performance:

We measure the temperature drop (ΔT) across the indoor coil(s) at the time of the inspection and our observations have been recorded in this report. It is pointed out that our measurements of the cooling performance of the equipment is only at a "point in time", and cannot reflect whether the equipment has been recently serviced, or what the future performance of the equipment will be after the day of the inspection. Further investigation with the homeowner is recommended to determine when the equipment was last serviced.

1: Manufacturer's data sticker

The manufacturer's data sticker was missing or illegible and we could not determine the size, age, and/or manufacturer of the equipment. Further investigation is recommended with the owner and/or a service company.

Further investigation is recommended

2: R22 Refrigerant

The condensing unit label indicate that the equipment operates with the old R-22 refrigerant, rather than the currently required R410A refrigerant. R-22 is no longer the current standard in the industry and will be more expensive to refill when servicing. It is recommended that a service company be contacted for

I	NI	NP	D
---	----	----	---

further investigation.

Further investigation is recommended

3: Condensing unit - disconnect missing

An electrical disconnect device was not installed at the equipment. It is recommended that an electrical disconnect device be installed to allow the power to be turned off to the equipment for service or in the event of an emergency.

Obtain Cost Estimate

C. Duct System, Chases, and Vents

Comments:

Ductwork - Original rigid ducts:

We observed ductwork that appeared to be the original installation ductwork. It is recommended that further investigation be done with the homeowner and/or a service company to determine if the ductwork has been cleaned recently, and if not, then it is recommended that you have the air ducts cleaned and serviced.

Further investigation is recommended

1: Ducts - Air Leak

The HVAC system was leaking conditioned air at the coil/transition duct/plenum and the system needs to be properly sealed.

Obtain Cost Estimate

2: Ducts - Sheathing/Insulation damaged

The sheathing and/or insulation around the air ducts is damaged/missing, and the damaged duct work needs to be repaired or replaced.

Obtain Cost Estimate

3: Air Duct Missing

Utility room

An air duct from the HVAC system was not provided and should be installed.

Obtain Cost Estimate

I	NI	NP	D
---	----	----	---

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Comments:

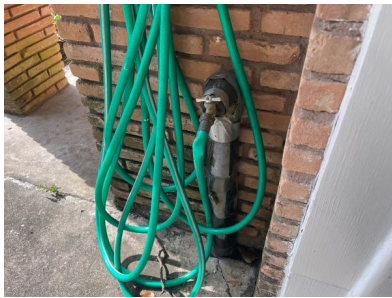
Location of water meter: The street curb
Location of main water supply valve: front
Static water pressure reading: 48 PSI
Water Supply Material: galvanized steel

A plumbing system typically consists of three major components, including the potable water supply piping; the waste or drain piping; and the plumbing fixtures. The distribution piping brings the water from the public water main or a private well to the individual fixtures throughout the property. The water distribution system is under pressure, usually from 40 psi to 70 psi. The waste or drain piping carries the waste water and products underground to the sewer system or septic tank, and the waste piping is not under pressure, but operates by gravity flow. We typically run water down the drains from the sinks, tubs, showers, and toilets, but this cannot simulate the waste flow characteristics of full occupancy. There may be partial blockage of the underground waste lines from debris, broken pipes, or tree roots that cannot be detected by a visual inspection. If you desire a more in-depth inspection, it is recommended that you contact a qualified plumber.

Shut Off Valve - Exterior location:

The shut-off valve for the main inlet water line was located at the exterior of the house.

Front



Static Water Pressure :

The static water pressure to the house at the time of the inspection was measured with a pressure gauge at the hose bibb nearest the shut off valve, and the static pressure was observed to be 48 psi.



Water Supply Piping - Galvanized Steel:

All or portions of the water piping for the property was observed to be the original galvanized piping. It is pointed out that the galvanized piping will deteriorate with time, and will corrode on the inside of the piping, thereby reducing the inside diameter of the pipe, and restricting the flow of the water through the pipe. In addition, the piping will corrode through to the outside of the pipe and will eventually deteriorate to where the pipe will start leaking. It can be anticipated that the galvanized water piping

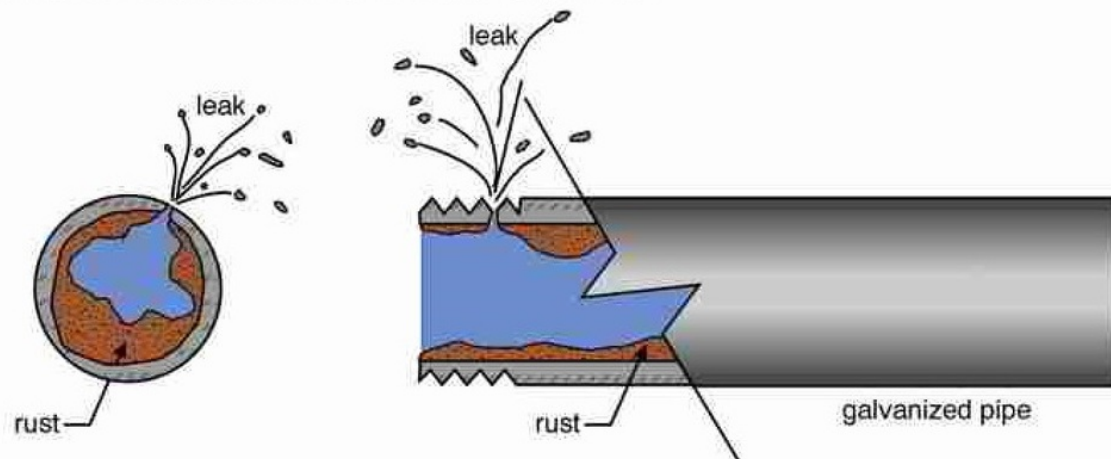
I	NI	NP	D
---	----	----	---

throughout the house will need to be replaced when it is causing reduced water pressure or is corroded enough to start leaking.

Galvanized steel pipe

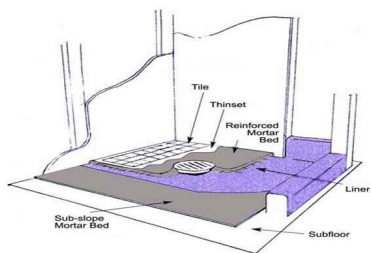
rusting of galvanized pipe can greatly reduce water pressure and will eventually cause leaks as rust creates holes in the pipe walls

problems are likely to occur soonest on pipes carrying hot water, horizontal pipes and at threaded (thinner) sections



Shower - No evidence of shower pan leak:

No evidence of a current shower pan leak were visible at the time of the inspection for the shower(s). It is pointed out, our shower inspection is limited to a visual inspection and we did not perform a shower pan leak test. It is recommended that a plumber be contacted to perform a shower pan leak test to determine if any water is leaking past the shower pan.



1: Vacuum Breaker - Missing

The atmospheric vacuum breaker devices were missing at one or more of the hose bibbs, and it is recommended that they be installed to prevent cross connections, which can allow contaminated water to enter the potable water supply.

Obtain Cost Estimate

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
----------	-----------	-----------	----------



2: Main Water Shut Off Valve - Handle missing

The shut-off valve on the main inlet water line at the house was missing a handle.

Obtain Cost Estimate

3: Faucet - Drip leaking

Kitchen, master bathroom shower

A drip leak that needs to be repaired was observed at a faucet.

Obtain Cost Estimate

4: Bellows Drain Piping

Hall bathroom, master bathroom

Bellows piping was used on a portion of the drain piping. In the plumbing industry the use of bellows piping is considered amateur workmanship as bellows piping is prone to frequent clogs. Consideration should be given to replacing the Bellows piping.

Obtain Cost Estimate



5: Sink Drain - Leaking

Kitchen, hall bathroom

The drain line was leaking under a sink when the sink was filled with water and allowed to drain.

Obtain Cost Estimate

6: Sink Drain Trap - not installed properly

Hall bathroom

The sink had a trap that was not installed in an approved manner and is more susceptible to drain clogs.

Obtain Cost Estimate

B. Drains, Wastes, & Vents

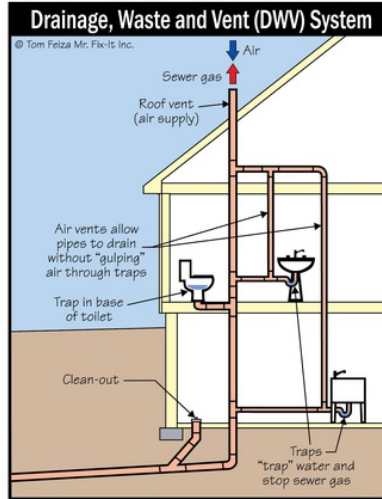
Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Sewer System - Functional:

No evidences of a system wide problem were observed when the system was operationally checked by running water through each of the plumbing fixtures during the duration of the inspection. It is noted that most of the drain waste system in the walls, under the floors, and in the ceilings is not visible. If further investigation is desired, it is recommended that a plumber be contacted to perform an in depth survey with a camera or hydrostatic test.



Sewer Piping - Some new PVC:

We observed new PVC drain line and sewer piping at the rear of the house at the kitchen and the utility room area. Apparently, the original cast iron sewer piping has been replaced at these areas. It is recommended that further investigation be done with the homeowner and a plumber to determine if any of the original underground cast iron sewer piping is still active. If portions of the original cast iron piping are still present, it can be anticipated that the cast iron will rust out at some time, and will then need to be replaced with PVC sewer piping. Consideration should be given to having the underground sewer piping checked by a plumber to determine if all of the cast iron has been replaced, to determine the quality any repairs that were made, and to determine if any additional repairs are needed.

Further investigation is recommended with a plumber



C. Water Heating Equipment

Comments:

Energy Source: natural gas

Capacity: 40 gallon

Gas Water Heater Description:

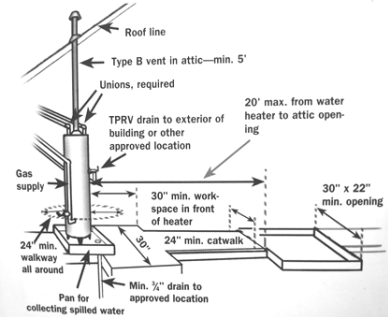
The hot water for the property was provided by the following natural gas fired gas water heater(s):

<u>Location</u>	<u>Brand</u>	<u>Capacity</u>	<u>Age</u>	<u>Energy Type</u>
-----------------	--------------	-----------------	------------	--------------------

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Garage	Rheem	40	2015	Gas
--------	-------	----	------	-----



Water Heater Equipment - Functional:

The water heater equipment was functional at the time of the inspection and providing hot water to the applicable plumbing fixtures.

Hot water - Temperature :

The generally recommended maximum temperature setting for a hot water heater, to prevent accidental scalding, is 120-125 degrees. It is recommended that the water heater thermostat be adjusted to and maintained in this temperature range.

The temperature of the hot water at the kitchen sink was 135 degrees.

WATER TEMPERATURE	Time required for a third-degree burn to occur	
	Adults (skin thickness of 2.5 mm)	Children (skin thickness of .55 mm)
150°F 66°C	1 second	0.5 second
148°F 64°C	2 seconds	1 second
145°F 60°C	5 seconds	1 second
133°F 56°C	15 seconds	4 seconds
127°F 52°C	1 minute	10 seconds
124°F 51°C	3 minutes	1.5 minutes
120°F 49°C	5 minutes	2.5 minutes
100°F 37°C	Safe temperature for bathing	Safe temperature for bathing

For SI: °C = (°F) - 32 / 1.8 or (°F - 32) / 1.8 = °C
 Figure P378.3 TEMPERATURE BURN CHART

Temp/Pressure Relief Valve - Information :

Temperature/pressure relief valves are not operationally checked by this firm during the inspection. Valves typically do not reseal properly when they are operated, which causes the valves to leak. It is best to replace the temperature/pressure relief valves for water heaters every 2-3 years to prevent them from getting clogged with mineral deposits.

1: TPR valve needs repair

Not terminated to outside -
 The drain line for the temperature pressure relief valve on the water heater was not installed properly and is in need of repair.
Obtain cost estimate

2: Vent pipe needs repair

Improperly sloped -
 The vent pipe was not installed properly and is need of repair. It is pointed out that an improperly installed vent pipe is a safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Obtain cost estimate



3: Fittings - Corroded

The piping at the top of the water heater was severely corroded at the fittings and is in need of repair.

Obtain Cost Estimate



4: Vent Pipe - flange - loose

The vent flange was loose at the ceiling and needs to be secured.

Obtain Cost Estimate



D. Hydro-Massage Therapy Equipment

Comments:

Hydro - therapy equipment was not present at the time of the inspection. .

E. Gas Supply System

Comments:

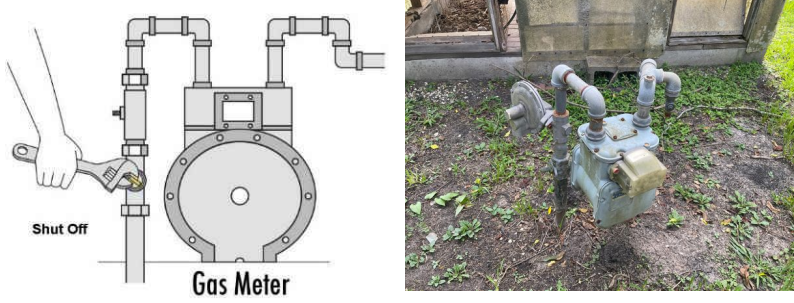
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Gas Meter Location :

The main gas shut off valve was located at the inlet side of the gas service meter.

Backyard



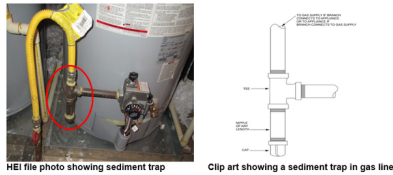
Gas System Inspection :

A cursory visual inspection was performed on the gas supply piping. The inspection was limited to the gas pipes that were visible and accessible at the time of the inspection, without digging to uncover gas lines. The underground gas line is typically galvanized steel, which can and does rust. However, viewing the gas underground gas line would require digging, and HEI does not do any digging around the gas lines to determine their condition or the degree of rusting. The use of specialized equipment to detect leaks is not included in the scope of this inspection, nor is determining the gas supply pressure or adequacy. If further investigation is desired, it is recommended that a plumber be contacted.

1: Sediment Trap - Missing

Sediment traps were not installed at the gas supply lines for one or more of the gas fired equipment. A sediment trap is intended to catch sediment/moisture/debris in a gas supply line before it can enter into the gas equipment.

Obtain Cost Estimate



HEI file photo showing sediment trap

Clip art showing a sediment trap in gas line

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

V. APPLIANCES

A. Dishwashers

Comments:

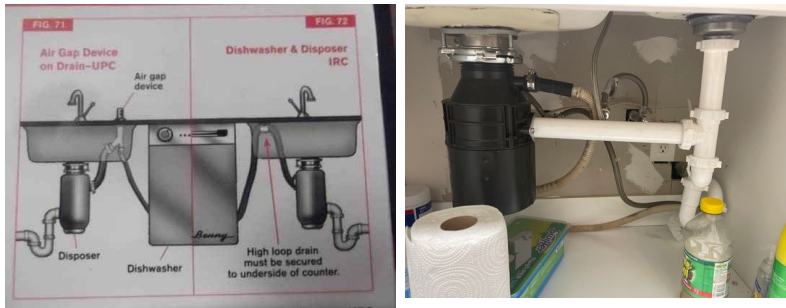
Functional :

The dishwasher was functioning and responded to the controls. The unit was run through a cycle at the time of the inspection and appeared to be operating properly.

1: No Anti-Siphon

The drain line under the sink was not equipped with an anti-siphon device, nor was it looped up so that the top of the loop is at least six inches above the entrance of the drain line into the disposal. It is recommended at least that the drain line be looped to prevent the water from the garbage disposal from siphoning back into the dishwasher, or an anti-siphon device installed.

Obtain Cost Estimate



2: Dishracks - chipped/rust

The dishracks were functional, but the paint on the dish racks was chipped, and the dish racks were beginning to rust.

B. Food Waste Disposers

Comments:

Functional:

The disposal was operating and responded to the controls at the time of the inspection.

C. Range Hood and Exhaust Systems

Comments:

1: Flexible vent pipe - Replace

One or more sections of the vent pipe for the equipment was a flexible vent material, rather than rigid sheet metal vent pipe. An approved sheet metal vent pipe is required. Flexible vents can allow a buildup of grease in the joints of the flex duct, which is a known fire hazard.

Obtain Cost Estimate



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

2: Vent Pipe - leaking air

The vent pipe was leaking air into the kitchen cabinet and needs to be sealed.

Obtain Cost Estimate

D. Ranges, Cooktops, and Ovens

Comments:

Gas Cooktop - Functional:

The gas cooktop was functioning and responded to the controls when they were operated. All of the burners and controls were operating properly at the time of the inspection.



Electric Oven - Functional:

The electric oven was observed to be functioning and no items requiring repair were visible at the time of the inspection.

Ovens - Upper/Lower calibrated properly:

Both oven thermostats were checked and were properly calibrated. The thermostats were set at 350 degrees, and the ovens heated to within the allowable ± 25 degrees. The ovens were checked with an oven thermometer and found to heat to 350 degrees for the upper oven, and 350 degrees for the lower oven.

E. Microwave Ovens

Comments:

Not Present :

A microwave was not present at the time of the inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Mechanical Vents - Functional:

The mechanical vent fans were functional at the time of the inspection. The bath vent fans responded to the switches and were functional at all the bathrooms.

G. Garage Door Operators

Comments:

1: Opener - did not auto-reverse

The garage door opener did not stop the descent of the door when the door was subjected to a reasonable resisting pressure. This could cause possible personal injury or damage to house, and the opener is in need of adjustment. It is pointed out that the unit was equipped with the infra-red sensing safety device, and the device was operational at the time of the inspection.

Obtain Cost Estimate

2: Sensors too high

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

The infrared device was located too high on the garage door, and should be located no more than six inches above the floor. It is recommended that the device be lowered.

Obtain Cost Estimate

3: Door Lock

The door lock(s) was still connected to the door(s). The manufacturers of garage door openers recommend that locks be removed. Damage to the door or door opener can result if the door is operated with garage door lock engaged.

Obtain Cost Estimate

H. Dryer Exhaust Systems

Comments:

Dryer Vent :

The dryer vent appeared to be properly installed at the time of the inspection. It is pointed out that a portion of the dryer pipe was not visible where it entered the wall/ceiling. Also, dryer vents need to be cleaned periodically for safety reasons and to allow the dryer to operate properly.

I. Other

Comments:

Non Built-in Equipment - Not inspected :

It is pointed out that non built-in refrigerators, wine coolers, small refrigerators, clothes washers, and clothes dryers are not included in the scope of this inspection and were not checked. If further investigation is desired, it is recommended that a service company be contacted.

Further investigation is recommended

I	NI	NP	D
---	----	----	---

INFORMATION FROM HEDDERMAN ENGINEERING INC.

Closing Comments :

Opinions and comments stated in this report are based on the apparent performance of the items included within the scope of the inspection, at the time of the inspection. Performance standards are based on the knowledge gained through the experience and professional studies of the inspector. There is no warranty or guarantee, either expressed or implied, regarding the habitability, future performance, life, merchantability, and/or need for repair of any item inspected. It is recommended that a Home Warranty Policy be provided to protect the appliances and mechanical equipment against unforeseen breakdowns during the first year. Check with your agent for details.

Items identified in the report as Deficient and our Recommendations are provided in the above report. Many, but not all, recommendations are highlighted in bold red text. It is our intention, and your responsibility, that you follow up on these deficiencies and recommendations as part of your due diligence by contacting the appropriate service contractor for Further Investigation, Obtain cost estimate, and/or Contact the builder before your option period expires. It is pointed out that other related and/or underlying conditions may be present, and which may not be apparent without further investigation.

As an additional service, we strongly recommend using a new tool we have on our website that can quickly turn your inspection report into an easy-to-read estimate of repairs for a nominal fee. These pricing reports from a third party company called Repair Pricer not only make the inspection report easy to understand in terms of dollars and cents, but they are also useful negotiation tools. Just visit the page below on our website and upload your report into Repair Pricer. If you have any questions when you receive your report, you can contact them at info@repairpricer.com <http://www.heddermanengineering.com/repair-cost-estimates>

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Electrical System Description :

The electrical service is provided by a 120/240 volt, three-phase, 125-ampere service to an electric meter located at the rear of the house.

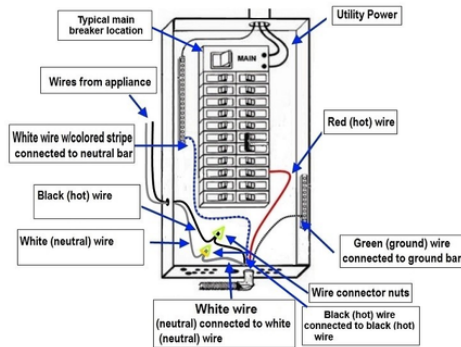
Electrical Wiring Information

<u>Service Wires</u>	<u>Branch Circuit Wires</u>	<u>Grounded or Ungrounded System</u>
Appears to be #4 copper	Copper and one 240-volt aluminum circuit	grounded

Breaker Panel Information

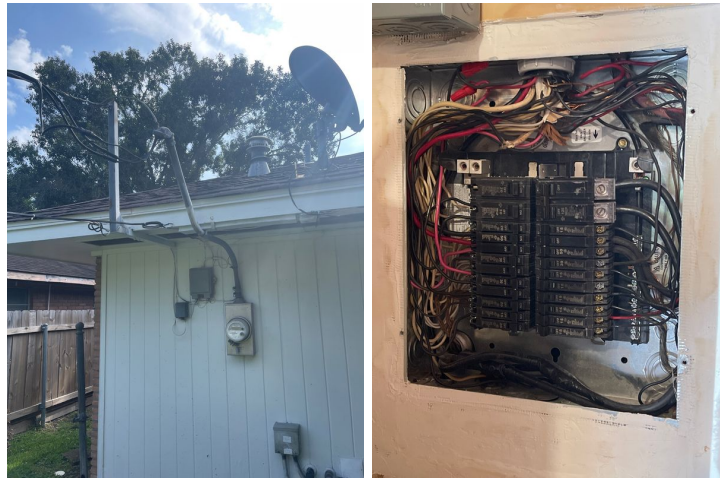
<u>Location</u>	<u>Manufacturer</u>	<u>Rating - Amps</u>
Garage	General Electric	125 amps

Circuit Breaker Wiring Diagram



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



Breakers - Routine Check:

It is a general recommendation that all circuit breakers be tripped off and on at least once a year to ensure that they are still physically able to trip off. Occasionally, the points on a breaker will fuse to the main bus in the panel, preventing the breaker from tripping off, even if there is an overload on the circuit. If this condition occurs, it can be a fire hazard.

AFCI Breakers Not Present - Home built pre-AFCI :

The breaker panel(s) did not contain any Arc Fault Circuit Interrupters (AFCI). This is an “as-built” condition, that does not meet current building code standards. AFCI devices are intended to protect against fires caused by electrical arcing in the wiring, by shutting off the power to the circuit when an electrical arc is detected in the circuit. Homes built prior to 2002 were not required by the National Electrical Code (NEC) to be protected by AFCI devices. Since this home was built prior to 2002, the breaker panel is not required to be retrofitted with new AFCI breakers. If adding AFCI breakers is desired, it is recommended that you contact an electrician for further information.

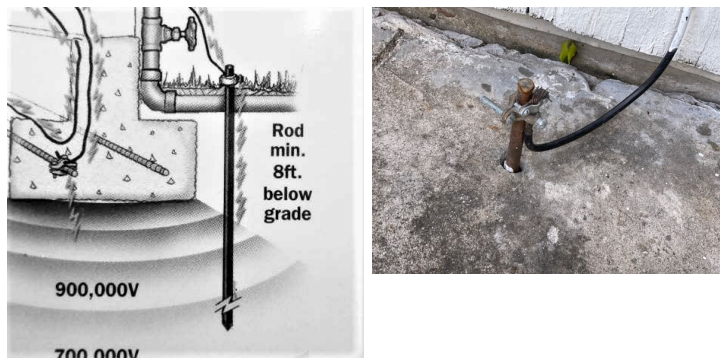
Breaker panel legend :

The circuit breakers were labeled to identify the circuits they were protecting. We did not trip off every breaker and trace out every circuit and, therefore, could not verify the accuracy of the labeling. If further investigation is desired, it is recommended that an electrician be contacted.

1: Ground Rod - Not flush with grading

The ground rod was sticking out of the ground a few inches, and, since ground rods are typically 8 feet long and all 8 feet of the rod are required to be in the ground, it is recommended that the ground rod be pounded down flush with the top of the ground. The clamp on the rod should be an acorn clamp is approved for direct burial in the ground.

Obtain Cost Estimate



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

2: Service Conductors - Below 8 feet

The service entrance conductors were observed to be too low and need to be raised. When this house was built, the lowest point of the incoming service was required to be a minimum of 8 feet above grade. The lowest point of the service was observed to be approximately 7 feet. Therefore, the service will need to be raised, and since the current electrical code requires the lowest point to be a minimum of 10 feet above grade, then it is recommended that the service be raised to meet the current minimum standard.

Obtain Cost Estimate
E3504.2.2



3: Service Conductors - Appear undersized

The size of the main service entrance conductors was not determined with certainty and the wire label was not visible. The service conductors appeared to be rated lower than the main breaker. A main breaker that is rated higher than the main service conductors is a safety/fire hazard and further investigation is recommended with an electrician.

Obtain Cost Estimate

B. Branch Circuits, Connected Devices, and Fixtures

Comments:

Type of Wiring: Copper - Non-metallic sheathed

1: GFCI - Missing at outlet

Kitchen counter tops, Garage, Hall bathroom, Exterior of the house -

A GFCI device was not installed at one or more locations that are currently required to have GFCI protection. It is recommended that an electrician install GFCI devices at all of the currently required locations.

Obtain Cost Estimate

2: Outlet - Nonfunctional

Kitchen countertop

An outlet was observed that was nonfunctional at the time of the inspection. The reason for the condition was not determined with certainty. Have an electrician find the source of the problem, and make any necessary repairs.

Obtain Cost Estimate

3: Outlet - Ungrounded

Kitchen countertop

A three prong outlet that was not grounded properly and needs to be repaired. It is recommended that an electrician be contacted, and the necessary repairs made to the outlet.

Obtain Cost Estimate

4: Switch - Close to tub/shower

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
---	----	----	---

Hall bathroom

A light switch was located within three feet of the tub/shower. The light switch can be operated while standing in the tub/shower, which can be a hazardous condition. While it is not required by the National Electrical Code, we recommend for general safety purposes that the light switch either be moved further away from the tub/shower, or protected by a Ground Fault Circuit Interrupt device.

Obtain Cost Estimate



5: Power Cord Wire - Improperly hard wired

Garage

Wiring that is not approved to be hard wired into the electrical system, including extension cord wiring or lamp cord wiring, was observed. For safety purposes, the unapproved wiring should be replaced with an approved wiring.

Obtain Cost Estimate

6: Smoke and Carbon Monoxide Detectors

We could not determine if the smoke and/or carbon monoxide detectors are connected to the security alarm system as is common practice, therefore, to avoid triggering the security alarm we did not operationally check each device. Further investigation is recommended with a service company who specializes in this field to determine if the devices are interconnected as currently required and functioning properly. For safety purposes, it is recommended that smoke detectors and carbon monoxide detectors be replaced every ten years. Further investigation is recommended.

7: Low Voltage Systems - Not inspected

It is pointed out that low voltage systems, low voltage wiring, and low voltage connections were not included in the scope of the inspection and were not checked, including: audio/visual systems, alarm systems, data lines, and phone lines. If further investigation is desired, it is recommended that a service company be contacted.



HEDDERMAN SERVICES

281-355-9911

office@hedderman.com

<https://hedderman.com/>



STRUCTURAL INSPECTION

10818 Moonlight Dr
Houston TX 77096

Joel Love & Amelia Love

AUGUST 31, 2021



Inspector

Javier Almodovar

Engineer

281-355-9911

office@hedderman.com

TABLE OF CONTENTS

1: Cover Letter	3
2: Purpose/Scope	4
3: Site Conditions	6
4: Foundation	7
5: Roof	13
6: Structural Framing	21
7: Water Penetration	24
8: Attic	26
9: Exterior Items	30
10: Interior Items	34
11: Close	39
12: Receipt Page	40
13: Service Agreement	41

1: COVER LETTER

Information



HEDDERMAN ENGINEERING, INC.

www.heddermanengineering.com Office 281-355-9911 Fax 281-355-9903 office@heddermanengineering.com

08/31/2021

TO: Joel Love & Amelia Love

REF: CONDITION OF PROPERTY SURVEY

Dear Joel Love & Amelia Love:

At your request, a visual survey of the house located at 10818 Moonlight Dr, Houston TX 77096 was performed by Javier Almodovar. Transmitted herewith is the inspection report stating our professional opinions on whether the items of construction included in the survey are functional on the day of the inspection, or are in need of repair.

The scope of our inspection and other important information, particularly in the area of dispute resolution should a question arise, is contained in our Service Agreement, which has been included at the end of this report.

Thank you for asking HEDDERMAN ENGINEERING, INC. to perform this important inspection work for you. If you have any questions after reviewing this report, please feel free to call me at my office.

At your service,

HEDDERMAN ENGINEERING, INC.

Tim Hedderman, President

2: PURPOSE/SCOPE

Information

INTRODUCTION

The purpose and scope of the inspection are detailed below, as well as in the executed Service Agreement at the end of this report. Also included are the limitations of the inspection.

PURPOSE

The purpose of the inspection was to view the components of the house included in the inspection and to give our opinions on whether or not these specific items were functioning at the time of the inspection, or were in need of repair. Although this report may include observations of some building code violations, total compliance with structural, mechanical, plumbing, electrical codes, specifications, and/or legal requirements is specifically excluded.

This also applies to all non-code making bodies, including but not limited to, the Brick Institute of America and the Texas Lathing and Plastering Contractors Association and their respective recommendations of building construction details. We do not perform "code" inspections, and since building codes change every few years, our inspections are not done with the intention of bringing every item in the house into compliance with current code requirements.

Rather, the standard of our inspections is a performance standard to determine if the items inspected are functioning at the time of the inspection, or if they are in need of repair. This is particularly applicable to Home Warranty policies, where the standards of the Home Warranty service company may differ than the scope of our stated performance standard for judging whether a piece of equipment is functional or in need of repair. If you intend to rely on a Home Warranty policy, then it is recommended that you contact the Home Warranty company of your choice for a more in-depth analysis of what may be required to meet their standards should a claim be made against their policy. It has been our experience that Home Warranty companies may require the equipment to be in total compliance with current code (even if it was installed before the current code was adopted) to be covered under their policy, and if so, it is recommended that you contact the appropriate service companies for a code compliance certification inspection. This report is provided solely for the use of the person to whom this report is addressed, and is in no way intended or authorized to be used by a third party, who may have different requirements, and to whom we have not contracted to perform the inspection. If a third party chooses to use this inspection report, they do so without HEDDERMAN ENGINEERING, INC. permission or authorization, and they do so at their own risk. It is our purpose to provide information on the condition of the house on the day of the inspection. It is not our purpose to provide discussions or recommendations concerning the future maintenance of any part of the house, or to verify the adequacy and/or design of any component of the house. It is pointed out that other engineers/inspectors may have contrasting opinions to those given in this report. Items that we find that in our opinion are in need of repair will typically include the recommendation to Obtain a Cost Estimate from qualified contractors. The scope and cost of the actual repairs can vary significantly from company to company, and it is your responsibility to see that the scope of work needed and actual cost of repairs is confirmed by contacting one or more qualified service companies before your option period ends or before closing on the property. This report may also contain informational items which are included as a courtesy to help you become more aware of the condition of the house. In the performance of this inspection, HEDDERMAN ENGINEERING, INC. has acted as an engineering consultant subject to the standards of the State Board for Professional Engineers.

SCOPE

The scope of the inspection included limited, visual observations at the interior and exterior of the structure. Only those items readily visible and accessible at the time of the inspection were viewed and are included in this report. Any items causing visual obstruction, including, but not limited to furniture, furnishings, floor or wall coverings, pictures, foliage, registers and grills on HVAC ductwork, soil, appliances, insulation, etc., were not moved. Due to COVID 19 restrictions, our inspectors are sometimes required to wear masks indoors. This restricts the inspector from using his full set of senses that are needed during the inspection process by inhibiting the inspector from possibly detecting odors that may be indicative of a problem, including but not limited to, mold, musty odors, natural or LP gas odors, pet odors, urine or fecal odors, etc. The basis of our opinions will be the apparent performance of that portion of the house readily visible at the time of the inspection. Disassembly or removal of any portion of the structure, mechanical equipment, plumbing equipment, or electrical equipment is beyond the scope of this inspection. There is no warranty or guarantee, either expressed or implied, regarding the habitability, future performance, life, insurability, merchantability, workmanship, and/or need for repair of any item inspected. The components of the house included in scope of the inspection, if present and applicable, include:

Structural: Foundation, primary load-carrying framing members, roof surface, water penetration, and miscellaneous items related to the house.

Mechanical: Air conditioning and heating systems, water heaters, built-in kitchen appliances, and garage door openers.

Plumbing: Water and gas supply lines, sinks, toilets, tubs, showers, visible drain lines inside the house, and vents.

Electrical: Service entrance conductors, electric meter, distribution panel, visible wiring, light fixtures, switches, and receptacle outlets.

Items specifically excluded from our inspection include:

Tainted and Corrosive sheetrock (Chinese Sheetrock).

All pests, wood destroying insects, conducive conditions, ants, or rodents.

All equipment related to mosquito control.

All items related to major geological conditions such as faults or subsidence.

All underground piping, including water, sewer, and gas piping.

Water softening and water treatment systems.

Identifying products that have been recalled.

Pressure testing of gas system.

All low voltage lighting systems and/or photocells.

All low voltage data systems such as telephone, cable TV or data lines.

All fire detection, carbon monoxide, smoke alarms and/or security alarm systems.

All environmental hazards, or any toxic/hazardous materials including, but not limited to: radon gas, lead, formaldehyde, electromagnetic, any and all items related to asbestos.

A backup generator and transfer switch panel.

Any electrical load analysis on the electrical system to determine adequacy of the service or any branch circuit.

If you desire information or inspections concerning the items listed above, or any other items, then it is recommended that you contact the appropriate service companies. Also excluded from the scope of the inspection are any and all items related to mold and/or all microbial substances. Due to the current limitations of coverage on most homes by the insurance industry in Texas, where damages due to mold and/or other microbial substances may not be covered, we routinely recommend that you have a mold inspection by a qualified professional before you close on the house. Built-in appliances and mechanical equipment were operated in at least one, but not all, of their operating modes, where possible. If you desire for every operating mode of each piece of equipment to be operationally checked, then it is recommended that you contact a service company. Equipment and materials that are not visible, including structural components, underground plumbing and gas lines, and all other items not normally available for ready viewing, are excluded from the scope of this inspection. If you desire an inspection on the underground plumbing pipes or a hydrostatic test to determine if the plumbing pipes are leaking under the house, then it is recommended that you contact a plumber. No electrical circuit or load analysis will be performed on the electrical system. We make no representation regarding the condition of this house other than as contained in this written report. Any verbal discussions concerning this house that were made at the time of the inspection, and not contained in this written report, are not to be relied upon. Although the structural portion of this inspection was made by an engineer, it cannot be considered to be a formal engineering study since no calculations, structural analysis, or physical material testing were performed. If engineering drawings/specifications have been made available during this inspection and, if they have been viewed, it is pointed out that all such viewing is strictly cursory, and in no way should our cursory examination be construed as providing engineering judgments concerning the adequacy or acceptability of the drawings/specifications. It is pointed out that it is possible for latent defects to exist in the structure and its related equipment, underground piping, and systems that are not visible at the time of the inspection, and may not be able to be viewed during a limited visual inspection. This is particularly applicable in items relating to water, such as roof leaks, water penetration conditions, etc., where the condition may exist, but not be visible at the time of the inspection (e.g. where it has not rained for a period of time, allowing materials time to dry out). HEDDERMAN ENGINEERING, INC. does not claim or warrant that the observations listed in this report represent every condition that may exist. In using the information supplied by this inspection, one must recognize the limitations of a limited, visual inspection conducted at a single point in time, and accept the inherent risk involved. It is recommended that you obtain as much history as is available concerning this house. This historical information may include copies of any seller's disclosures, previous inspection or engineering reports, building drawings and/or specifications, bids to perform repair work on the house, knowledge of any drainage problems, receipts from repair work that has been performed, reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, renovation, remodeling, additions or other such activities have taken place at this house.

3: SITE CONDITIONS

Information

Occupancy

Vacant

In Attendance

Buyers Agent-Summary Only,
Termite Inspector

Weather

Dry, Clear, Temperature - 80-90
degrees

Age of Home - HAR

According to HAR, the house was
built in 1953.

North-Right

For the purpose of the inspection and report, NORTH will be assumed to be from the left side of the house towards the right, when facing the house from the front.

Note when reviewing the report

It is pointed out that when reviewing the report, the reader should be aware that photos and comments regarding specific issues are a **REPRESENTATIVE SAMPLE** of what we observed at the time of the inspection, and are not necessarily an exhaustive list of all instances of that item on the property.

4: FOUNDATION

Information

Description: FOUNDATION OBSERVATIONS AND CONCLUSIONS:

The following items were inspected, with our Observations and Conclusions noted.

Description: Concrete Rebar slab

The foundation was a concrete slab on grade, and appeared to be reinforced with steel reinforcing rods (rebar).

Reference point

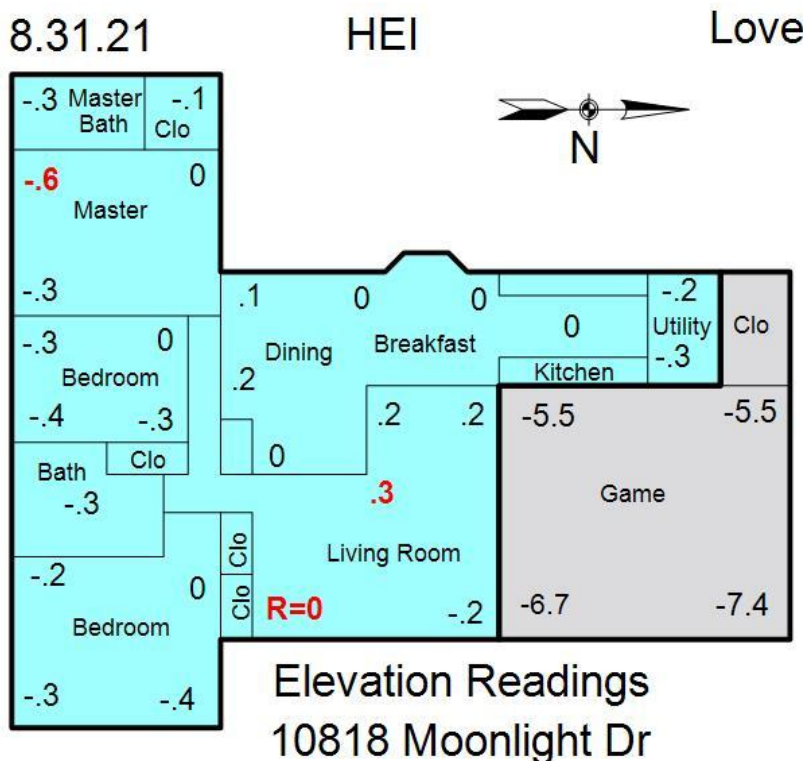
See our field sketch below showing the elevation readings for this structure. Note that the "R" on the sketch is our randomly chosen starting reference point, where the elevation is 0, and all other elevation readings are taken relative to the reference point, and are measured in inches to the nearest 1/10 inch. Height adjustments were made for variations in the height or thickness of the various floor coverings. If there is a step up or a step down into an area such as a garage, sunken room, balcony/patio area, or raised rooms, the elevation readings will have larger numbers due to the amount of the step.

We typically point out that foundations are rarely constructed perfectly level, so most properties have some unlevelness (typically 3/4 to 1-1/2 inches) built into the foundation as part of original construction. We have no knowledge as to how much unlevelness was built into this house foundation during original construction.

Note that it is not HEI's purpose to exhaustively document each and every evidence that may be related to foundation movement, but rather to document a representative sample and/or the most significant evidences of movement upon which we base our opinion on the condition of the foundation.

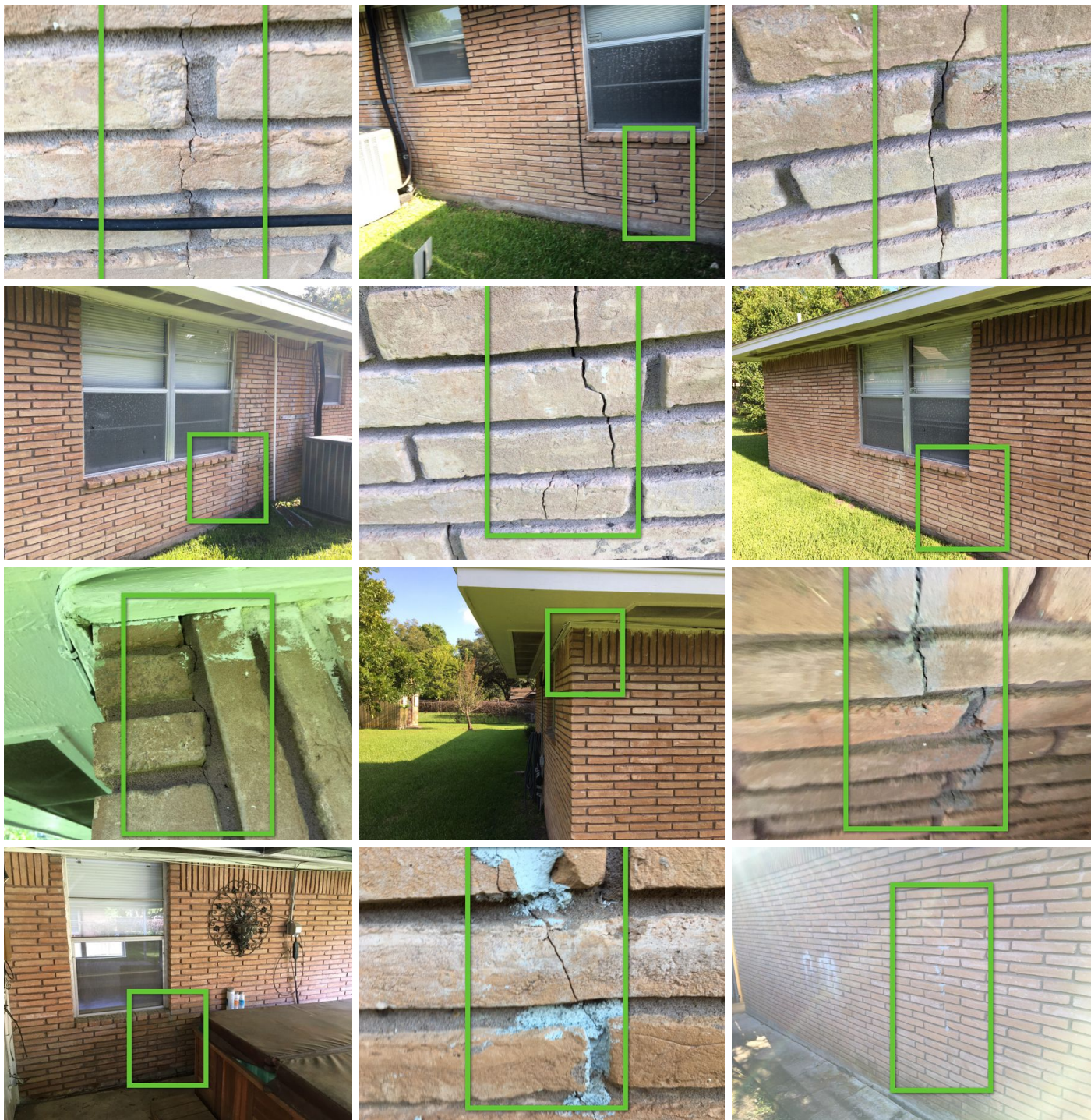
Levelness - Acceptable

The floors were checked with an electronic level, and were observed to be acceptably level throughout the house. The difference in elevation between the high point and low point was 0.9 of an inch. The high point was located at the living room, and the low point was located at the master bedroom. The unlevelness takes place over a horizontal distance of approximately 20-30 feet.



Veneer - Cracks/Patches

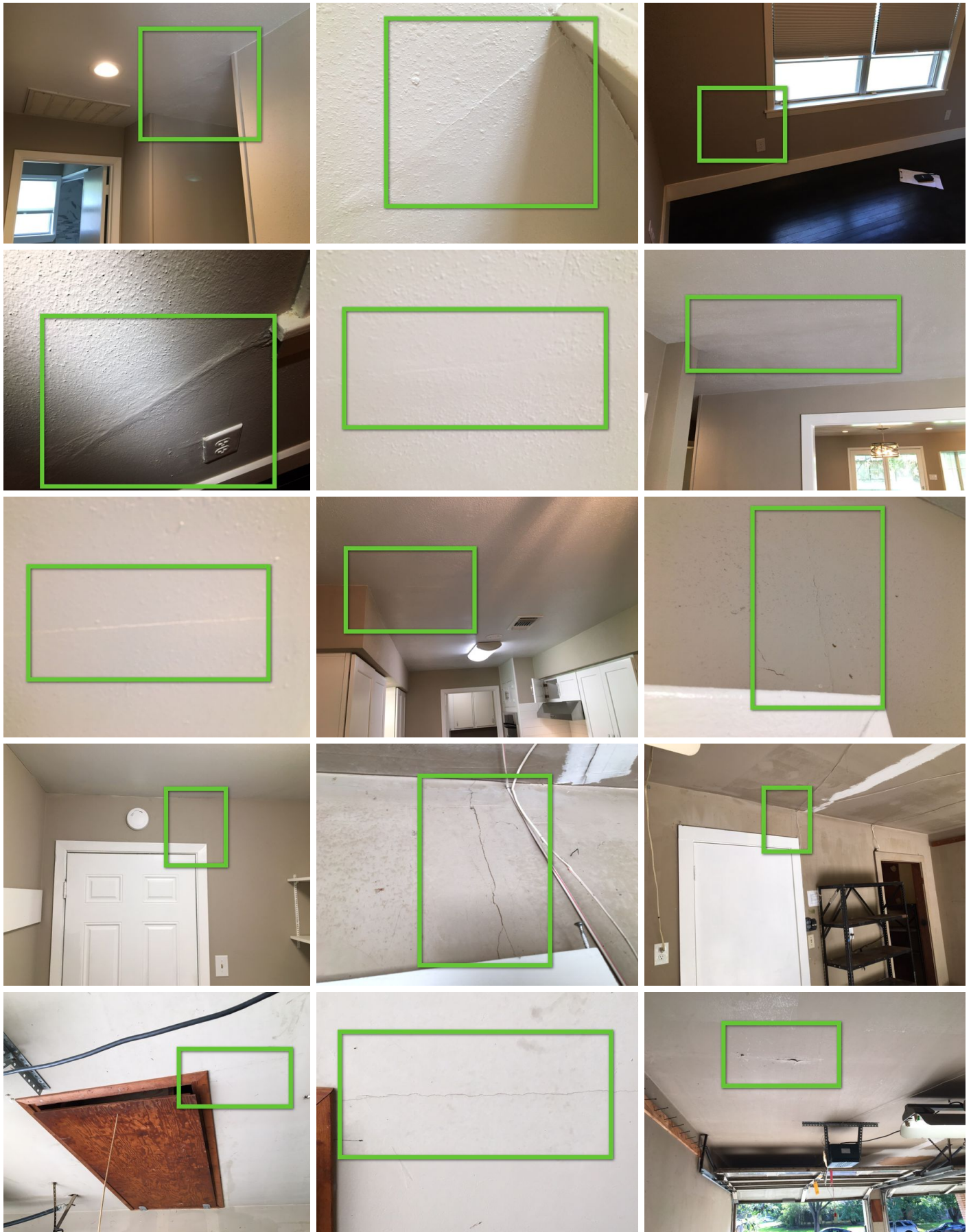
Cracks and/or patches were observed in the exterior veneer at the time of the inspection, including at the locations shown in the photos. It is recommended to repair the cracks.



Sheetrock Cracks/Patches/Compression ridges

Garage, utility room, kitchen, breakfast area, foyer, hallway, and the master bedroom.

Sheetrock cracks, patches, and/or compression ridges were observed in the house during the inspection, including at the specified locations. It is recommended to repair the cracks.



Concrete Cracks - Garage

Cracking of the foundation concrete exists in virtually all foundations. It is pointed out that cracking is a normal property of concrete and other brittle materials, and Hedderman Engineering, Inc. assumes no responsibility should cracks be found that are not mentioned in this report. Some cracking was observed in this concrete foundation, including at the front porch and the garage floor.



Slab not Visible - Patio

It is pointed out that a portion of the foundation concrete could not be viewed due to the concrete patio that adjoined the foundation.

Separation of Materials: Sticking doors

Front door, foyer closet, master closet, and the hallway bathroom.

Doors that were sticking due to movement of the house were observed at the time of the inspection.

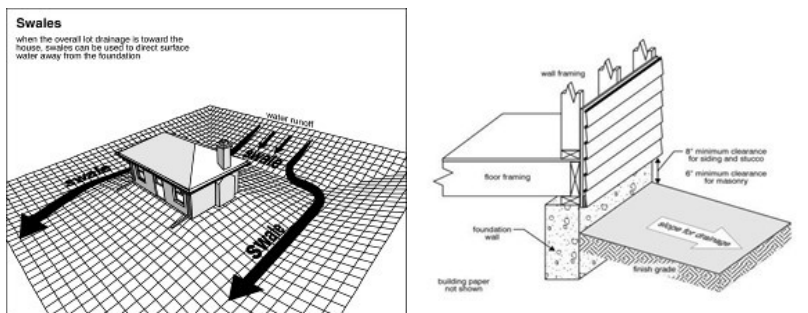
FOUNDATION CONCLUSIONS: Levelness Normal/Acceptable

Most of the structures previously inspected by this firm have experienced some degree of differential foundation movement, and this structure was no exception. After careful examination, it is our opinion that the evidences of movement observed do not indicate excessive or unusual foundation settlement. The overall degree of the foundation movement for this structure is within an acceptable amount for a house of this age and type construction. The foundation is, at this time, functional and is not in need of releveling. It is pointed out for your information that, due to the nature of the soils in this area, it is reasonable to expect that some movement of the foundation will happen in the future.

Perimeter Grading/Drainage: FLOOD PLAIN

100 Year Floor Plain

This inspection does not include determining if the property is in the 100 year flood plain. For further information regarding the elevation of this lot, check with your survey and/or a land surveyor.



Recommendations/repair

4.3.1 Other Observations

TREES AND/OR FOLIAGE

Trees and/or foliage were observed in the vicinity of the house which can contribute significantly to differential movement of the house foundation. Care should be taken to prevent the trees and foliage from removing an excessive amount of water from near the foundation of the house.

Recommendation

Contact a qualified professional.

4.6.1 Perimeter Grading/Drainage

GRADING POOR

AROUND THE HOUSE

The perimeter drainage was observed to be poor at some areas where the lot is not sloped away from the house (6 inch drop in the first 10 feet) and water will pond. Poor drainage conditions near the foundation can contribute to foundation movement. It is recommended that a company specializing in drainage solutions be contacted to provide a recommended solution, along with a cost estimate to provide proper drainage.

R401.3

Obtain Cost Estimate

Recommendation

Contact a qualified landscaping contractor



4.6.2 Perimeter Grading/Drainage

CONDENSATE DRAIN LINE

The primary condensate drain line from the air conditioning unit was emptying its water next to the foundation. This can cause the soil in that area to stay saturated, and contribute to differential foundation movement. It is recommended that the drain line be routed to a bathroom sink drain line.

Obtain Cost Estimate

Recommendation

Contact a qualified plumbing contractor.



5: ROOF

Information

Roof Description: ROOF OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Roof Description: Composition Shingles

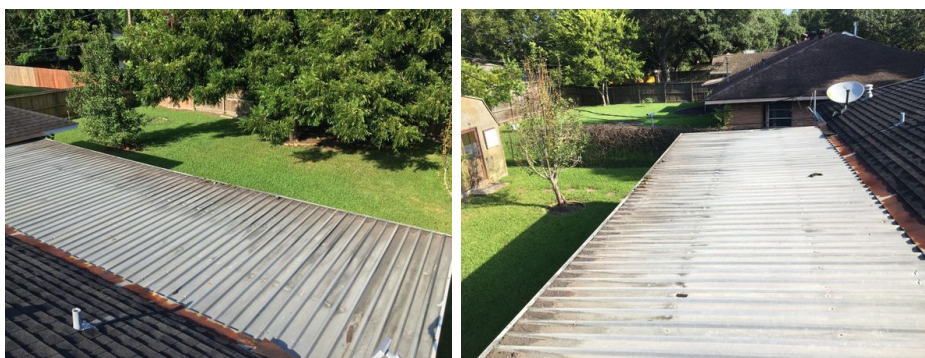
House

The pitched roof surface was constructed of composition shingles. The life expectancy of a composition shingle roof has been observed to vary from 15 to 20 years, with most requiring replacement at about 17-20 years.



Roof Description: Aluminum Roof

The back porch roof surface was constructed of aluminum panels. The life expectancy of the roof is estimated to be approximately 40-60 years.



Roof Description: Roof Decking - Description

OSB

The roof decking was observed from the attic space to be as described above.

Roof Description: Roof redecked-No Overlay

It was observed that the original wood shingles were removed, and the roof has been redecked. Therefore, this roof is not an overlay.

Age of Roof: 10 years

House

The age of the roof, according to the sellers disclosure statement, was 10 years.

Age of Roof: 18 years

Back porch

The age of the roof, according to the sellers disclosure statement, was 18 years.

Roof viewed from: Surface

The roof was viewed from the surface of the roof at the time of the inspection.

Roof Ventilation: Roof Vents

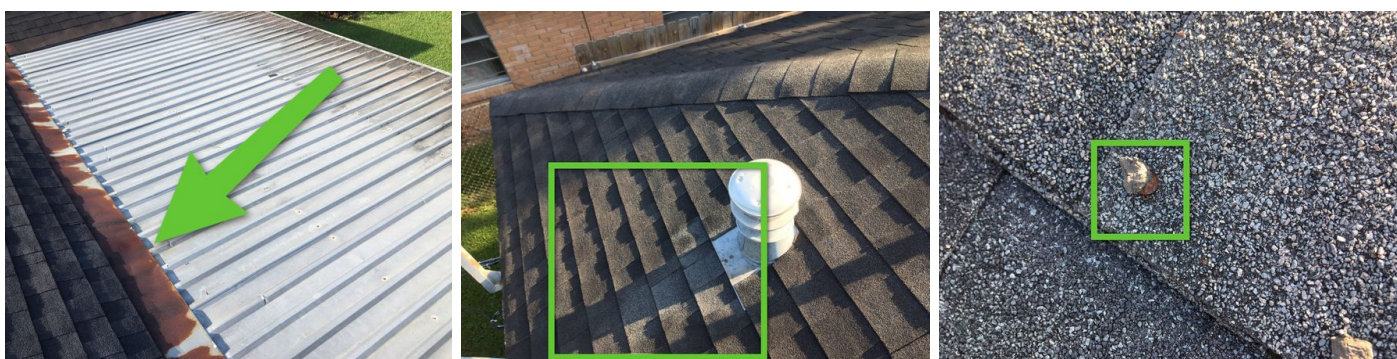
Whirlybird Vents, Screened Soffit Vents

The ventilation for the attic space was observed to include the following vents listed above.

Wear and Deterioration: Composition - Some

Discolored, Nail Heads not Sealed, Aggregate Missing, Rusted metal flashing

The composition roof surface was showing evidences of some deterioration of the roof surface as described above and shown below.





Limitations

Roof viewed from

LIMITATIONS OF ROOF INSPECTION

It is pointed out that our roof inspection is limited to viewing the surface of the roof from only those areas determined by the inspector to safely accessible at the time and conditions of the inspection. If the height of the roof, steepness of the pitch, or surface conditions due to wear or weather are such that the inspector determines that he cannot safely access some or all of the roof, then we will use a drone if possible (subject to weather limitations and/or No Fly Zones) to take photos of the surface of the roof. The roof will also be viewed from the underside of the roof, from the readily accessible attic access decking. For areas of the attic/roof that are not readily accessible from the safety of secure access decking, the inspector is not required to walk off the decking across the attic framing members to access all portions of the attic. Therefore, it is pointed out that there may be deficient roof conditions present in the attic that are not visible on the day of the inspection due to the limitations imposed on the inspector. This emphasizes the need and responsibility of the client to do further investigations with a roofing contractor to determine all deficiencies with the roof before any option period ends.

Recommendations/repair

5.5.1 Roof Details

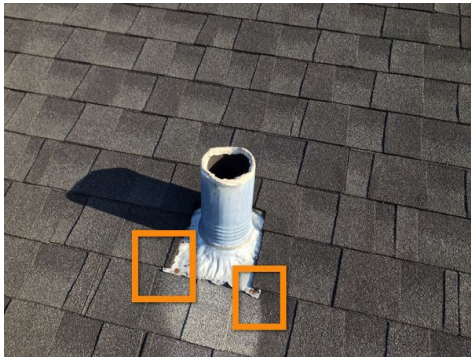
DETERIORATED/MISSING SEALANTS

We observed sealants that were cracked/separated/missing and repair is needed.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.5.2 Roof Details

ROOF: MISCELLANEOUS

BACK PORCH ROOF

Debris on Roof

We observed some miscellaneous items related to the surface of the roof, including the items listed above. Have a roofing contractor provide a cost estimate to make any needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.5.3 Roof Details

FLASHING/COUNTER FLASHING

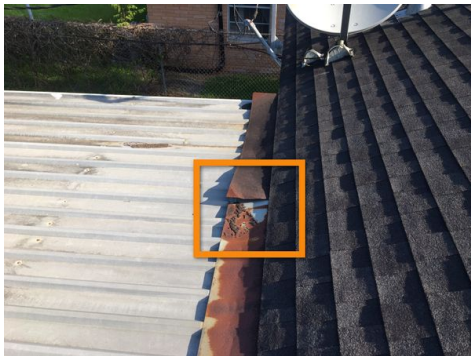
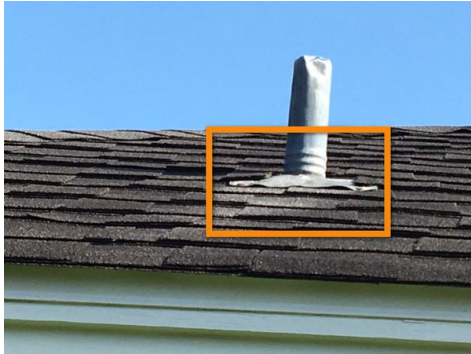
Flashing not secure at roof jack, Lifting flashing at the back porch

We observed one or more conditions with the roof flashing as pointed out above. Have a roofing contractor provide a cost estimate to make all needed repairs

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.5.4 Roof Details

METAL VENT PIPES

Storm Collar Sealant Deteriorated

We observed metal vent pipe(s) that were in need of repair, including the conditions listed above.

Locations include: Water Heater Vent Pipe.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.5.5 Roof Details

ROOF JACKS

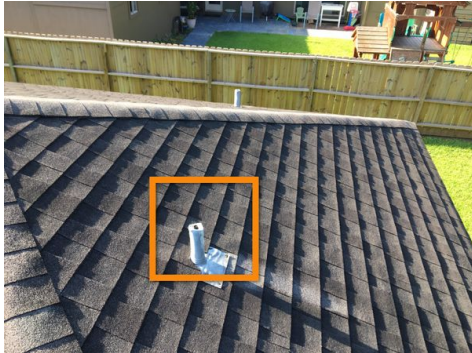
Lead - Squirrel Damage, Lead - Not completely covering vent pipe

The roof jacks at the plumbing vent pipes were observed to have the conditions as described above. Further investigation with a roofing contractor is recommended to make all needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.5.6 Roof Details

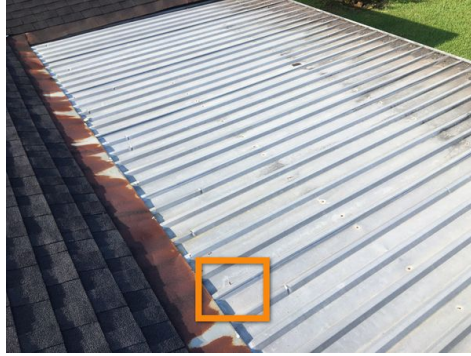
HOLES IN ALUMINUM ROOF

Some holes and non-sealed screws were observed on the aluminum roof. Contact a roofer to seal all the areas in need.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.6.1 Roof Leaks

OBSERVED ON CEILING

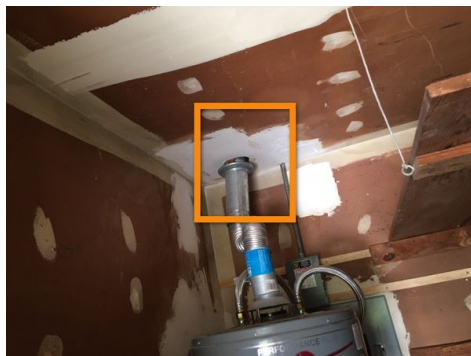
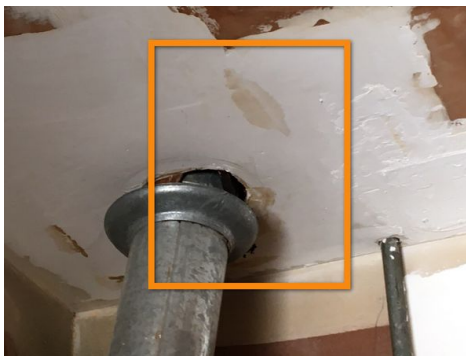
AROUND THE WATER HEATER FLUE PIPE

After observing the interior of the structure, evidences of roof leaks were visible, where the ceiling was water stained. It is recommended that a roofing contractor be contacted to find the source of the leaks, and to make any needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.6.2 Roof Leaks

ATTIC ROOF DECKING AND/OR FRAMING MEMBERS

SEWER VENT AT THE REAR OF THE HOUSE

After observing the interior of the structure, evidences of roof leaks were visible in the attic, where the roof decking and/or roof framing members were water stained. It is recommended that a roofing contractor be contacted to find the source of the leaks, and to make any needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



5.7.1 ROOF CONCLUSION

SERVICEABLE CONDITION - SOME REPAIRS NEEDED

The roof appears to be in generally serviceable condition at this time with some repairs needed for the item(s) shown under Recommendations/Repair. Have a roofing contractor provide a cost estimate to make all necessary repairs to bring the roof into a completely serviceable condition.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

6: STRUCTURAL FRAMING

Information

Framing Description: OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Framing Description: One story house wood frame

The house was observed to be a one story wood frame structure that includes the standard major framing components, including wall framing and ceiling joists, and roof framing.



Attic Framing: Viewed from attic access walkway

The attic space was viewed only from the areas determined by the inspector to be safely accessible from the access walkway.

Attic Framing: Roof Framing Less than Current Standards

The roof framing in the attic was observed to be less than the current construction standards for roof framing. Typical differences between older structures and current code requirements can include purlins that are not the same size as the rafters; the vertical bracing for the purlins being spaced more than four feet apart; ridge beams not sized large enough for the miter cuts on the rafters, etc.

Recommendations/repair

6.4.1 Rafters

SPLIT RAFTER

Some of the rafters in the attic were observed to be split, and need to be repaired.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



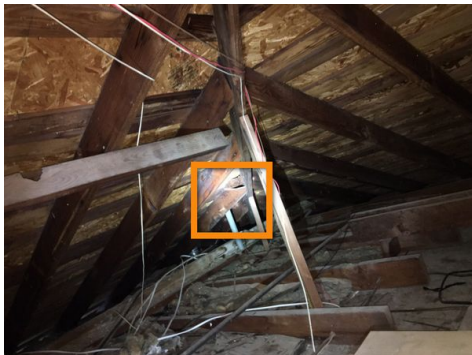
Center of the house



Center of the house



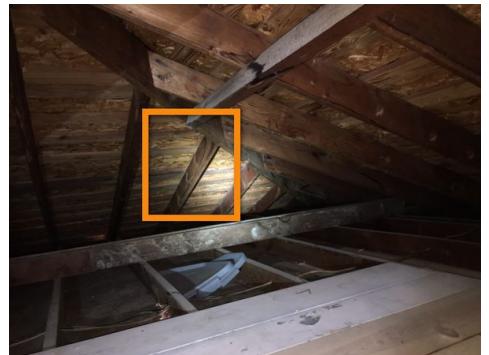
Rear of the garage



Rear of the garage



Front of the garage



Front of the garage

6.5.1 Purlins

REPAIR - PURLIN DAMAGED

GARAGE AREA

One of the roof purlins was damaged and is in need of repair.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



6.8.1 Hip rafter

REPAIRS - SPLICED, SEPARATED

The hip rafter was spliced and the two side of the hip rafter have separated and it is recommended that additional support be provided at the joint.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



6.19.1 STRUCTURAL FRAMING CONCLUSION

REPAIRS NEEDED

The primary load carrying members of the structural framing that were accessible and viewed at the time of the inspection were generally functional with the exception of the item(s) listed above as in need of repair. Have a contractor confirm the scope of repairs needed, along with a cost estimate for all repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

7: WATER PENETRATION

Information

Water Penetration: OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Water Penetration: No Visible Evidences + Moisture Meter

No visual evidences of water penetration to the interior of the structure were observed at the time of the inspection. It is pointed out that this statement is based upon the limitations of a visual inspection, without the moving or removal of items causing visual obstruction, including, but not limited to, furniture, furnishings, floor or wall coverings, foliage, soil, etc.

We checked around window and door openings and other location susceptible to moisture with a moisture meter, and found no evidence of elevated moisture at the time of the inspection.

Recommendations/repair

7.1.1 Water Penetration

VULNERABILITY TO WATER PENETRATION

Sealants deteriorated/missing, Window sealants, Light Fixtures, Piping, Brick Veneer, Wires, Vent Caps

A substantial vulnerability to water penetration was observed at penetrations/openings through the exterior building envelope, and it is recommended that all penetrations/openings be sealed against water penetration. Typical examples on a structure may include light fixtures, air conditioning refrigerant lines, water piping, gas piping, vent caps, windows, doors, expansion joints, etc. Below is a representative sample of locations and/or photographs showing some, but not necessarily all, locations where there is a vulnerability to water penetration. Have a contractor provide a cost estimate to seal all vulnerable areas on the exterior building envelope against water penetration and/or open up any clogged weepholes in the veneer.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



8: ATTIC

Information

OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Ladder: Original ladder - Not rated

The access ladder into the attic appeared to be the original installation ladder, and the ladder was not labeled to indicate the rated capacity of the ladder. The ladder does not meet current code requirements for ladders into attics. Consideration should be given to replacing the ladder with a ladder that meets current code requirements.



Viewed from attic decking

The attic was entered and was viewed from the access decking provided in the attic. It is pointed out that the inspector is not required to access areas of the attic without the safety of adequate walkway decking.

Insulation: Varied in thickness 4"-5" to 9"-10"

The insulation in the attic varied in thickness from approximately 4-5 inches to approximately 8-9 inches. It is pointed out that the normal amount of insulation for new houses in this area is currently an R38 energy rating, or approximately 14 inches of blown in fiberglass insulation.

Table N1102.1.1



Limitations

Attic Viewed From

ATTIC NOT ALL ACCESSIBLE

The entire attic space was not accessible from the decking provided, and if remote areas were viewed at all, it would be from the safety of the access decking. Note that it is our policy to not walk off the access decking nor climb over equipment to walk across framing members due to safety hazards and the potential for damaging equipment/ductwork and/or slipping off the framing members and falling through the ceiling. It is pointed out that there may be deficiencies in the attic and/or for the roof that were not viewed at the time of the inspection due to a lack of access walkway decking.

Recommendations/repair

8.1.1 Ladder

LADDER ATTACHMENT IMPROPER

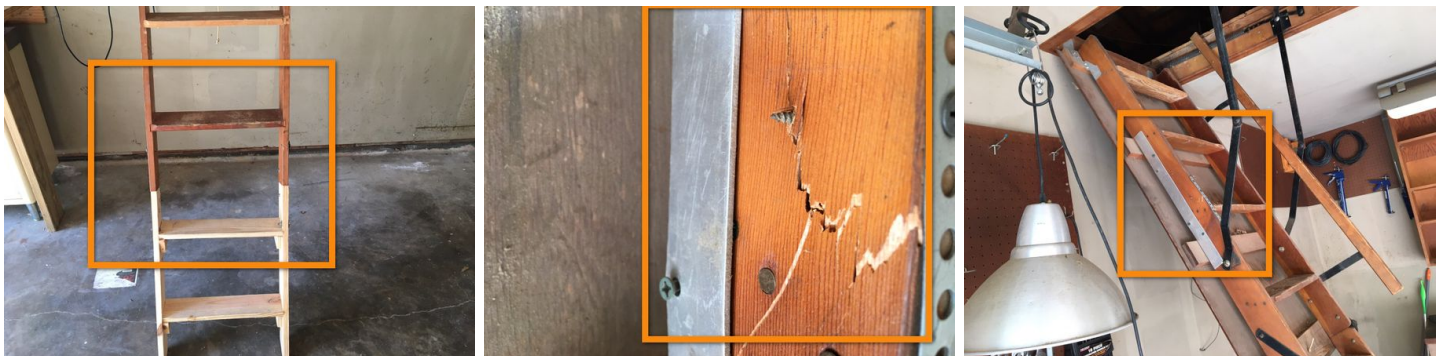
Stringer cracked, Assembly is secured with screws instead of sixteen 16d nails, Improper space in between stairs steps

The stair assembly was not properly installed or secured to the framing members, and repair is needed for safety purposes. The condition(s) can be a safety hazard, and repair is needed, as an improperly installed stair assembly can possibly collapse.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



8.1.2 Ladder

LADDER NOT CLOSING PROPERLY

The pull down access ladder does not close properly, and can allow unconditioned air from the attic into the living space. The assembly needs to be adjusted to fit the opening properly.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



8.1.3 Ladder

GARAGE ATTIC LADDER NOT FIRE RATED

The attic pull down ladder in the garage was not labeled to indicate that it was a one hour fire rated ladder, and it is recommended for fire safety reasons that the pull down ladder be replaced.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

8.2.1 Service decking/platform decking

INADEQUATE WALKWAY DECKING

The attic did not have adequate service decking to all the equipment in the attic. The service decking should be a continuous deck that is a minimum of 24 inches wide, that extends from the attic access opening to all equipment in the attic. In addition, the decking should be free from any obstructions, such as gas lines, electrical wiring, ductwork, framing members, etc.

M1305.1.3**Obtain Cost Estimate**

Recommendation

Contact a qualified professional.

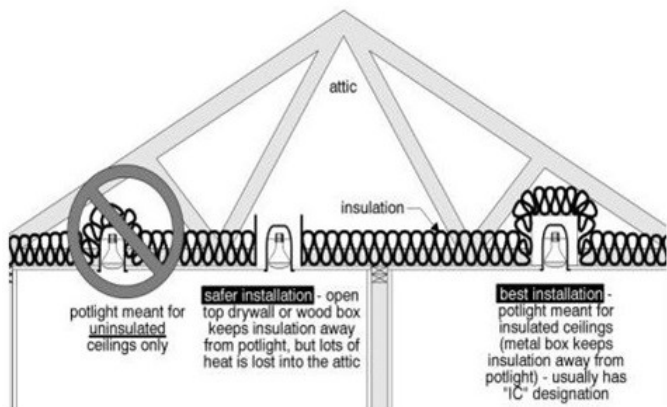
8.4.1 Insulation

CONTACT WITH RECESSED LIGHTS

The insulation was in contact with the recessed lights, which can be a fire hazard and shorten the life of the light bulbs. It is recommended that the insulation be pulled back to provide a three inch air space.

Obtain Cost Estimate

Potlights in insulated ceilings



Recommendation

Contact a qualified professional.



9: EXTERIOR ITEMS

Information

OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Flatwork Concrete/Patios/Walkways: Flatwork Concrete OK

Sidewalk, Patio

The flatwork concrete listed above was in generally good condition at the time of the inspection with no significant repairs needed. Note that there may be some small cracks in the concrete, but in the opinion of the inspector, the concrete is still functional.



Gates and Fences: Gates and Fences - Some Repairs

The gates and fences were in generally good condition at the time of the inspection with some repairs observed to be needed as shown below under Recommendations/Repairs.

Sheds/Playground Equipment:

Shed

The shed was not inspected as part of this inspection.



Recommendations/repair

9.1.1 Flatwork Concrete/Patios/Walkways

DRIVEWAY REPAIR

The driveway concrete was badly cracked, and the damaged portion presents a tripping hazard. It is recommended that a contractor be contacted to provide a cost estimate to make the needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.2.1 Gutters and Downspouts

NONE

No gutters have been installed on this house, and it is recommended that they be installed to help control differential foundation movement and prevent wood rot and water entry.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

9.3.1 Gates and Fences

WOOD GATE

NEAR THE GARAGE

Sticking

The wood gate was in need of some repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.3.2 Gates and Fences

WOOD FENCE

Leaning, Starting to rot

The wood fence was in need of some repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.3.3 Gates and Fences

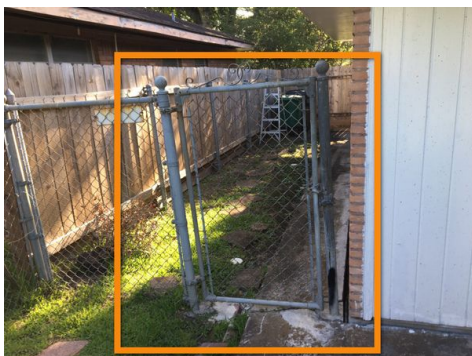
CHAIN LINK GATE

The chain link gate was in need of repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.4.1 Wood Rot

WOOD ROT

REAR OF THE HOUSE

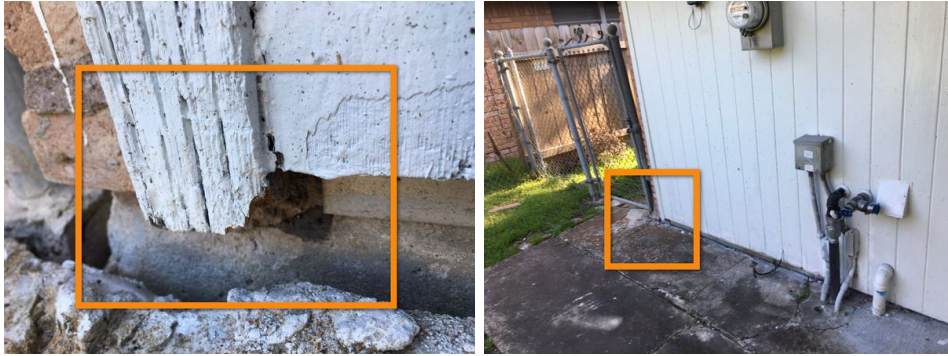
Corner Trim

Wood rot was observed and needs to be replaced. Have a contractor provide a cost estimate to determine the entire scope of the wood rot, and provide a cost estimate to replace all rotted wood in the house.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.9.1 Miscellaneous Exteriors

MISSING LATERAL SUPPORT

One of the lateral supports the back porch roof framing was missing and needs to be installed.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



9.9.2 Miscellaneous Exteriors

RUSTED COLUMNS

Several of the back porch columns from the roof framing were severely rusted and need to be repaired/replaced.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



10: INTERIOR ITEMS

Information

OBSERVATIONS AND CONCLUSIONS

The following items were inspected, with our Observations and Conclusions noted.

Doors: Keyed deadbolts

We observed exterior doors that were equipped with keyed deadbolts, rather than thumbed deadbolts. In case of emergency, you would have to find a key to unlock the door, which could be hazardous. It is recommended that the keyed deadbolts be replaced with thumbed deadbolts. It is pointed out for informational purposes that current code requirements prohibit the use of keyed deadbolts.

R311.4.4

Smoke alarms: Installed at required locations

Smoke alarms were observed to be installed at all required locations in the house as set forth in the 2012 International Residential Code. The current code gives the Locations required, the Power Source, and the Interconnectivity requirements.

R314.3 Location.

Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

R314.4 Power source.

Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

R314.5 Interconnection.

Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm.

Carbon monoxide detector: No repairs

We observed that the home was equipped with carbon monoxide detectors. The current requirements for carbon monoxide alarms in homes is listed in the 2012 International Residential Code.

R315.1 Carbon monoxide alarms.

For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Limitations

Smoke alarms

SMOKE ALARMS NOT OPERATIONALLY CHECKED

We could not determine if the smoke alarms are connected to a security alarm system as is common practice, therefore, to avoid possibly triggering a security alarm we did not operationally check each device, nor did we check the interconnectivity of the alarms. For safety purposes, it is recommended that smoke detectors and carbon monoxide detectors be replaced every ten years.

Recommendations/repair

10.1.1 Doors

STICKING DOORS

FRONT DOOR, FOYER CLOSET, MASTER CLOSET, AND THE HALLWAY BATHROOM.

Doors were observed that were sticking and are in need of adjustment. Contact a service company to make the needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.1.2 Doors

GARAGE DOOR NO SELF-CLOSING HINGES

The door to the attached garage did not have self-closing hinges, and the hinges need to be installed.

Obtain Cost Estimate

R302.5.1

Recommendation

Contact a qualified professional.

10.1.3 Doors

SCRATCHED GLASS

The glass on the patio door was scratched. It is recommended to repair the glass if possible or to replace it if it is not fixable.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.2.1 Windows

DOUBLE PANE WINDOW SEAL DAMAGED

BREAKFAST AREA, AND DINING ROOM.

Some double pane windows were observed where the seal has been compromised and allowed moisture between the two panes. It is pointed out that we were not able to view every window under differing lighting conditions at different times of the day, and we may not be able to see discoloration that may become visible under different lighting and/or weather conditions, other than at the locations listed below. Further investigation with a window specialist is recommended concerning the windows to determine the extent of the condition throughout the house, and to make all needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.2.2 Windows

WINDOWS STUCK-HARD TO OPEN

MASTER BEDROOM, AND THE FRONT BEDROOM.

Windows that were stuck and hard to open were observed.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.2.3 Windows

DAMAGED LOCK

FRONT BEDROOM, AND THE HALLWAY BATHROOM.

We observed windows with a damaged lock that needs to be replaced.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.2.4 Windows

WINDOW SCREENS DAMAGED

FRONT BEDROOM, MASTER BEDROOM, AND THE SOUTH BEDROOM.

Window screens were observed to be damaged.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.

10.3.1 Floor coverings

WOOD FLOOR WASHBOARD

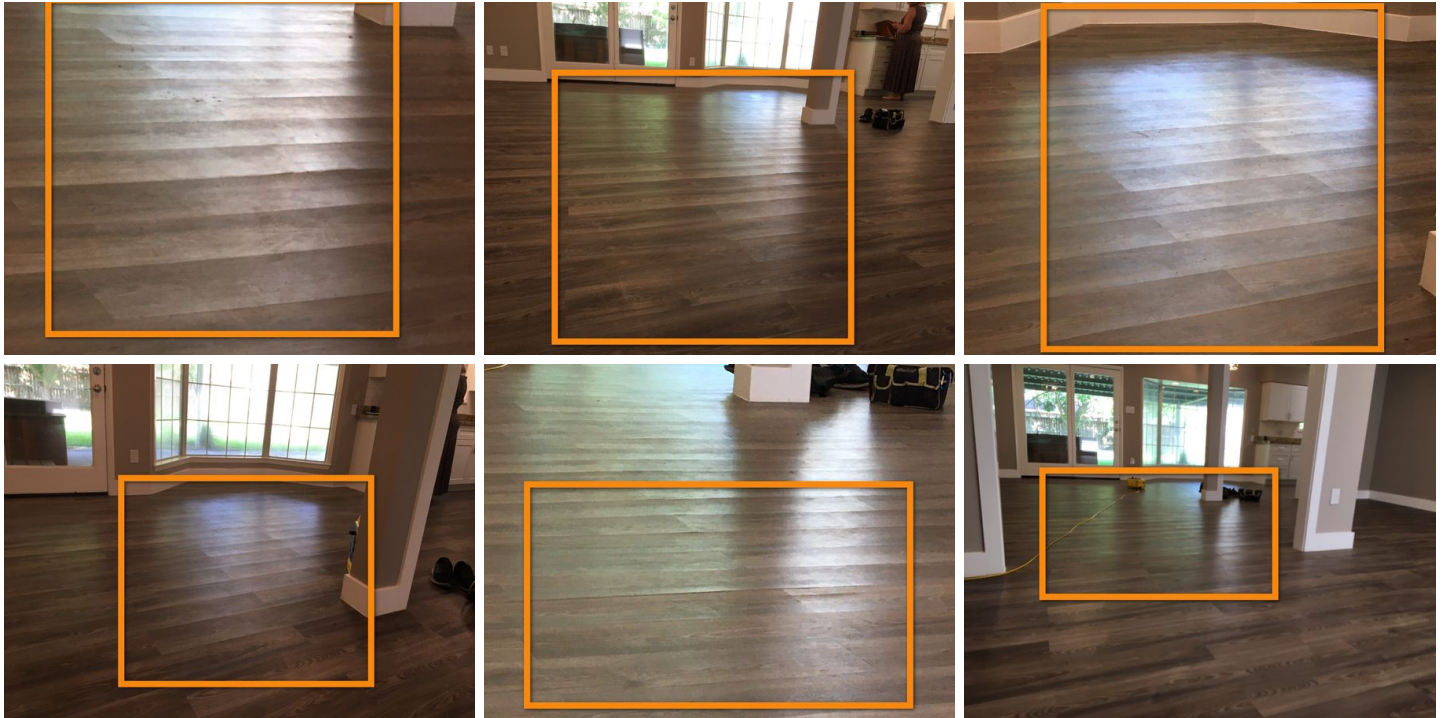
DINING ROOM, AND THE BREAKFAST AREA

The wood floor was observed to be buckled, with the edges of the boards curling upwards into a "washboard" effect. Further investigation with a wood floor specialist and/or a service company is recommended to make any needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



10.9.1 Miscellaneous interiors

WALL TILES CRACKED

KITCHEN

Wall tiles were cracked and it is recommended they be replaced.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



10.9.2 Miscellaneous interiors

MICROBIAL GROWTH

GARAGE

A microbial growth was observed, and further investigation is recommended with a service company to determine the cause of the growth, and to provide a cost estimate for any needed repairs.

Obtain Cost Estimate

Recommendation

Contact a qualified professional.



11: CLOSE

Information

CLOSE

Opinions and comments stated in this report are based on the apparent performance of the items included within the scope of the inspection, at the time of the inspection. Performance standards are based on the knowledge gained through the experience and professional studies of the inspector. There is no warranty or guarantee, either expressed or implied, regarding the habitability, future performance, life, merchantability, and/or need for repair of any item inspected. It is suggested that it would be a prudent thing to purchase a Home Warranty Policy to protect the appliances and equipment against unforeseen breakdowns during the first year and for preexisting conditions. It is recommended that you research the various options available and protect yourself with a policy. Check with your agent for details and please read our comments concerning Home Warranty policies on page 2 of this report.

Items identified as being deficient and in need of repair along with our Recommendations are provided in the above report. Many, but not all, recommendations are highlighted in bold red text. It is our intention, and your responsibility, that you follow up on these deficiencies and recommendations as part of your due diligence by contacting the appropriate service contractor for **Further Investigation** and to **Obtain a cost estimate**. It is pointed out that other related and/or underlying conditions may be present, and which may not be apparent without further investigation.

We also recommend that you review the Service Agreement at the end of this report regarding any complaint concerning the inspection services provided pursuant to the service agreement, As agreed to, Client must notify HEI in writing of such complaint within ten (10) business days of the date of Client's actual discovery and thereafter allow a prompt reinspection of the item relating to the claimed condition. Client further agrees that client and he/she/it's agents, employees or independent contractors **will make no alterations, repairs or replacements to the item complained about prior to a reinspection by HEI as agreed above.**

As an additional service, we recommend using a new tool we have on our website that can quickly turn your inspection report into an easy-to-read estimate of repairs for a nominal fee. These pricing reports from a third party company called **RepairPricer** not only make the inspection report easy to understand in terms of dollars and cents, but they are also useful negotiation tools. Just visit the page below on our website and upload your report into **RepairPricer**. If you have any questions when you receive your report, you can contact them at info@repairpricer.com

<http://www.heddermanengineering.com/repair-cost-estimates>

Thank you again for asking HEDDERMAN ENGINEERING, INC. to perform this inspection for you. If you have any questions after reviewing this report, please feel free to call the office. It is emphasized that the executed Service Agreement contract, which has been included at the end of this report, contains a provision under "Dispute Resolution" for you to contact HEI to resolve any disputes.

At your service,

Kyle Kuhl

Registered Professional Engineer #141672

Texas Firm Number: 7942



12: RECEIPT PAGE

Information



HEDDERMAN ENGINEERING, INC.

www.heddermanengineering.com Office 281-355-9911 Fax 281-355-9903 office@heddermanengineering.com

08/31/2021

TO: Joel Love & Amelia Love

REF: Inspection of the property at 10818 Moonlight Dr, Houston TX 77096.

Total cost of inspection: \$600.00

Total Paid: \$600.00

Total Due: - 0 -

13: SERVICE AGREEMENT

Information

For your records, following is the Service Agreement that you executed for this inspection.

HEDDERMAN ENGINEERING, INC.

Office: 281-355-9911 Fax: 281-355-9903

office@heddermanengineering.com www.heddermanengineering.com

Real Estate Inspection Service Agreement

NOTICE: THIS AGREEMENT IS INTENDED TO BE A LEGALLY BINDING CONTRACT - PLEASE READ IT CAREFULLY

NAME OF CLIENT(S): Joel Love & Amelia Love

DATE OF INSPECTION: 08/31/2021

PROPERTY ADDRESS: 10818 Moonlight Dr, Houston TX 77096

Purpose of inspection

The purpose of the inspection is to view selected accessible components and/or systems, and to inform you, our client, of our observations and professional opinions from a NON-INVASIVE VISUAL SURVEY on whether or not those selected components and/or systems appear to be functioning on the day of the inspection, or appear to be in need of repair. Although this report may include observations of some building code violations, total compliance with structural, mechanical, plumbing, electrical codes, specifications, and/or legal requirements is specifically excluded. HEI does not perform Code inspections. Since building codes change every few years, our inspections are not done with the intention of bringing every item in the house into compliance with current code requirements. Rather, the standard of our inspections is a **PERFORMANCE STANDARD** to determine if the items inspected in the opinion of HEI appear to be functioning at the time of the inspection, or appear to be in need of repair. It is pointed out that other engineers/inspectors may have different opinions to those given in this report. It is also not our purpose to verify the adequacy and/or design of any component of the house, including the proper sizing and compatibility of HVAC, Electrical, and/or Plumbing components.

It is also not within the purpose and/or scope of this report to determine the insurability, habitability, merchantability, future performance, suitability of use, economic life span, or deferred maintenance issues, and/or issues unnamed in this report. This report is not an insurance policy, neither is it an express or implied warranty or guarantee as to future life and/or continued performance of the items inspected. Our inspection and report are intended to express HEI's perceived impression of the apparent performance of the inspected components and systems viewed on the date of the inspection. HEI's intent is to reduce your risk associated with this transaction, however we cannot eliminate all risk, nor assume your risk. Any items pointed out as in need of repair or further investigation should be evaluated by a qualified repair specialist or service company who should provide estimated repair costs **PRIOR TO CLOSING ON THE PROPERTY**. By accepting this agreement, the Client understands that the services provided by HEI are the types of services described in the Professional Services Exemption of the Texas Deceptive Trade Practices-Consumer Protection Act ("DTPA") and agrees that no cause of action exists under the DTPA related to the services provided.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any seller's disclosures, previous inspection or engineering reports, building drawings and/or specifications, bids to perform repair work on the property, receipts from repair work that has been performed, reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, renovations, remodeling, additions or other such activities have taken place at this property.

Scope of inspection

The scope of the inspection includes limited, visual observations at the interior and exterior of the structure, the attic (if applicable) as viewed only from the areas determined by the inspector to be safely accessible, the underside of the house (if applicable) as viewed only from the crawlspace areas determined by the inspector to be safely accessible, and the roof as viewed from the ground and/or only from the locations on the roof **if the roof is determined by the inspector to be safely accessible**. Only those items **readily** accessible and visible at the time of the inspection will be viewed and included in this report. Any items causing visual obstruction, including, but not limited to, furniture, furnishings, floor or wall coverings, registers and grills on HVAC ductwork,, foliage, soil, appliances, stored items, insulation, etc., will not be moved or removed. Only those electrical outlets that are readily accessible will be operationally checked. Disassembly or removal of any portion of the structure, mechanical equipment, plumbing equipment, or electrical equipment is beyond the scope of this inspection.

The components of the property included, if applicable, in the scope of the inspection:

Structural:

Foundation, elevation survey including sketch of house and level readings, primary load-carrying framing members, roof surface, water penetration, grading and drainage, fireplace/chimney, and miscellaneous items related to the house.

Mechanical:

Air conditioning and heating systems, water heater, built-in appliances, and garage door opener.

Plumbing:

Water and gas supply lines that are visible, sinks, toilets, tubs, showers, visible drain lines, and vents.

Electrical:

Service entrance conductors, electric meter, distribution panel, visible wiring, light fixtures, switches, and accessible receptacle outlets.

Lawn Sprinkler:

Control panel, solenoid valves, backflow prevention device, visible piping, and sprayer heads.

Pool:

Basin, deck, waterline tiles, pumps, filters, piping, heater, timer, and electrical.

The following items, even if present in the subject property, are not inspected and do not constitute any part of the inspection services to be performed hereunder unless a specific notation is made on this report stating its condition:

Tainted and Corrosive drywall (Chinese Drywall), Clock Timers, Landscape Lighting, Sump Pumps, Wood Destroying Insects/Pests, Antennas, Environmental Hazards, Laundry Equipment, Water Filters, Geological faults/subsidence, Automatic Oven Cleaners, Fire Sprinklers System, Mold/Microbial, Water Wells, Mosquito Misting Systems, Buried/Concealed Plumbing, Fire/Smoke Alarm Systems, Septic Systems, Indoor Air Quality, Asbestos, Low Voltage and data Systems, Lights on Photo-cell/timers, Carbon Monoxide Alarms, and Water Softeners/Water Treatment systems/Reverse Osmosis systems with all related piping.

Reinspections:

HEI typically does not perform reinspections on the property. However, if we agree to return to the property, it is with the understanding that we are not certifying the adequacy of any repair work that has been done, and there will be an additional fee charged. This is also true for conditions that are beyond the control of the inspector and hinder the inspector during the inspection, such as inclement weather, lack of adequate access to attics, crawlspaces, or other areas, utilities that are off, non-functional equipment, etc. If a return trip to the house is requested to finish items that were not able to completed at the time of the originally scheduled inspection, then an additional fee will be charged.

Limitations of Inspection

A visual inspection method will generally produce a competent first impression assessment of the apparent performance of the structural, mechanical, plumbing, and electrical components, provided repairs have not been performed which would cover distress patterns normally produced by problems. Because the inspection procedure is visual only, and is not intended to be diagnostic and/or technically exhaustive, an inherent residual risk remains that undiscovered problems exist and/or future problems will develop.

This report is provided solely for the use of the person to whom this report is addressed, and is in no way intended or authorized to be used by a third party, who may have different requirements, and to whom we have not contracted with to perform an inspection. If a third party chooses to use this inspection report, they do so without HEI's permission or authorization, and they do so at their own risk.

Dispute Resolution

In the event of a complaint concerning the inspection services provided pursuant to this agreement, Client must notify HEI in writing of such complaint within ten (10) business days of the date of Client's actual discovery and thereafter allow a prompt re-inspection of the item relating to the claimed condition. Client further agrees that client and he/she/it's agents, employees or independent contractors **will make no alterations, repairs or replacements to the item complained about prior to a reinspection by HEI as agreed above**. You agree that failure to comply with

this procedure shall result in your express release of all claims Client may have against HEI, known and unknown, related to the item complained about and any related alleged act or omission by HEI.

LIMITATION OF LIABILITY: In any event the inspector fails to fulfill the obligations under this agreement, CLIENTS EXCLUSIVE REMEDY AT LAW OR IN EQUITY AGAINST INSPECTOR IS LIMITED TO A MAXIMUM RECOVERY OF DAMAGES EQUAL TO THE INSPECTION FEE PAID HEREIN. CLIENT VOLUNTARILY AGREES TO WAIVE THEIR RIGHTS UNDER THE DECEPTIVE TRADE PRACTICES-CONSUMER PROTECTION ACT, SECTION 17.41 ET SEQ. BUSINESS & COMMERCE CODE. This limitation of liability applies to anyone, including client, who is damaged or has to pay expenses of any kind, including attorney fees and costs. Client assumes the risk of losses greater than the refund of the fee paid herein. Client acknowledges that this limitation of liability is reasonable in view of the relatively small fee that inspector charges for making the inspections when compared with the potential of exposure that inspector might otherwise incur in the absence of such limitation of liability, and that a much higher fee would be charged if the inspector were subject to greater liability.

Statute of Limitations

The parties agree that no claim, demand, or action, whether sounding in contract or in tort, may be brought to recover damages against HEI, or its officers, agents, or employees MORE THAN TWO YEARS AND ONE DAY AFTER THE DATE OF THE INSPECTION OR THE DATE ANY PURPORTED CAUSE OF ACTION ARISING OUT OF THE INSPECTION ACCRUES. TIME IS EXPRESSLY OF THE ESSENCE HEREIN. Client understands that this time period may be shorter than otherwise provided by law.

Acceptance of Report

By signing I confirm that I have read, understood, and agree to the above pre-inspection service agreement, and that I agree to be bound by these terms and conditions. In the absence of Client signing this service agreement prior to or at the time of the inspection, then acceptance of the report and/or payment for the inspection shall constitute agreement with all of the terms of this agreement. The report to be prepared by HEI shall be considered the final and exclusive findings of HEI regarding the inspection of the property which is the subject of this agreement. Client shall not rely on any oral statements made by HEI or its representatives prior to issuance of the printed report.

NOTE: IF THE INSPECTION IS CANCELLED LESS THAN ONE FULL BUSINESS DAY BEFORE THE SCHEDULED TIME, INCLUDING SATURDAYS, SUNDAYS, AND/OR HOLIDAYS, THE CLIENT WILL BE CHARGED ½ OF THE ORIGINAL INSPECTION FEE AND AGREES TO PAY SUCH PENALTY FEE. IF THE INSPECTION IS CANCELLED LESS THAN ONE HOUR BEFORE THE SCHEDULED TIME OF THE INSPECTION, THE CLIENT WILL BE CHARGED THE FULL INSPECTION FEE.



I HAVE READ AND ACCEPT THIS AGREEMENT



HEDDERMAN PEST CONTROL

281 - 355 - 9980 HPC@Hedderman.com
TPCL License Number #0816143

Wood Destroying Insect Report

Inspection Performed by Andrew Dabbs TPCL #0828555 8/31/2021



10818 Moonlight Dr



Inspected Address

City

Zip Code

TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment; has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). The warranty should specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture

10818 Moonlight Dr

Houston

77096

Inspected Address

City

Zip Code

1B. HEDDERMAN PEST CONTROL

1A.

0816143

Name of Inspection Company

SPCS Business License Number

1C. 10678 Ehlers Rd.

Conroe

Texas

77302

281 - 355 - 9980

Address of Inspection Company

City

State

Zip

Telephone No.

Andrew Dabbs TPCL #0828555

1E. Certified Applicator (check one)

Name of Inspector (Please Print)

Technician

Inspection Date August 31, 2021

2. Joel and Amelia Love

Seller Agent Buyer Management Co. Other:

Name of Person Purchasing Inspection

Unknown

3. Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee Purchaser of Service Seller Agent Buyer

(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Department of Agriculture Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. House and Garage

List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:

Foundation: Slab Pier & Beam Pier Type: _____ Basement Other: N/A

Siding: Wood Hardie Plank Brick Stone Stucco Other: _____

Roof: Composition Wood Shingle Metal Tile Other: _____

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A

If treating for subterranean termites, the treatment was: Partial Spot Bait Other

If treating for drywood termites or related insects, the treatment was: Full Limited

6B. N/A

N/A

N/A

Date of Treatment by Inspecting Company

Common Name of Insect

Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes No List Insects: N/A

If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase or sale of this property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this real estate transaction.

Signatures:

7A. Andrew Dabbs #0828555

Inspector (Technician or Certified Applicator Name and License Number)

Others Present:

7B. N/A

Apprentices, Technicians, or Certified Applicators Name(s) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:

8A. Electric Breaker Box 8B. Date Posted: 8/31/2021
Water Heater Closet
Beneath the Kitchen Sink

9A. Were any areas of the property obstructed or inaccessible? Yes No
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:

Attic Insulated area of attic Plumbing Areas Planter box abutting structure
Deck Sub Floors Slab Joints Crawl Space
Soil Grade Too High Heavy Foliage Eaves Weepholes
Other Specify: _____

10A. Conditions conducive to wood destroying insect infestation: Yes No
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:

Wood to Ground Contact (G) Formboards left in place (I) Excessive Moisture (J)
Debris under or around structure (K) Footing too low or soil line too high (L) Wood Rot (M) Heavy Foliage (N)
Planter box abutting structure (O) Wood Pile in Contact with Structure (Q) Wooden Fence in Contact with the Structure (R)
Insufficient ventilation (T) Other (C) Specify: _____

Licensed and Regulated by the Texas Department of Agriculture
PO Box 12847, Austin, Texas 78711-2847 Phone 866-918-4481, Fax 888-232-2567

Inspected Address

City

Zip Code

11. Inspection Reveals Visible Evidence in or on the structure:

Active Infestation

Previous Infestation

Previous Treatment

11A. Subterranean Termites

Yes No

Yes No

Yes No

11B. Drywood Termites

Yes No

Yes No

Yes No

11C. Formosan Termites

Yes No

Yes No

Yes No

11D. Carpenter Ants

Yes No

Yes No

Yes No

11E. Other Wood Destroying Insects

Yes No

Yes No

Yes No

Specify:

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

11G. Visible evidence of: has been observed in the following areas:

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed in the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 11. (Refer to Part G, H, and I, Scope of Inspection) Yes No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows: Yes No

Specify reason: The conducive conditions listed in sections "10A" and in "Additional Comments" should be corrected to deter insect activity.

Refer to Scope of Inspection Part J

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E- Evidence of Infestation, A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify:

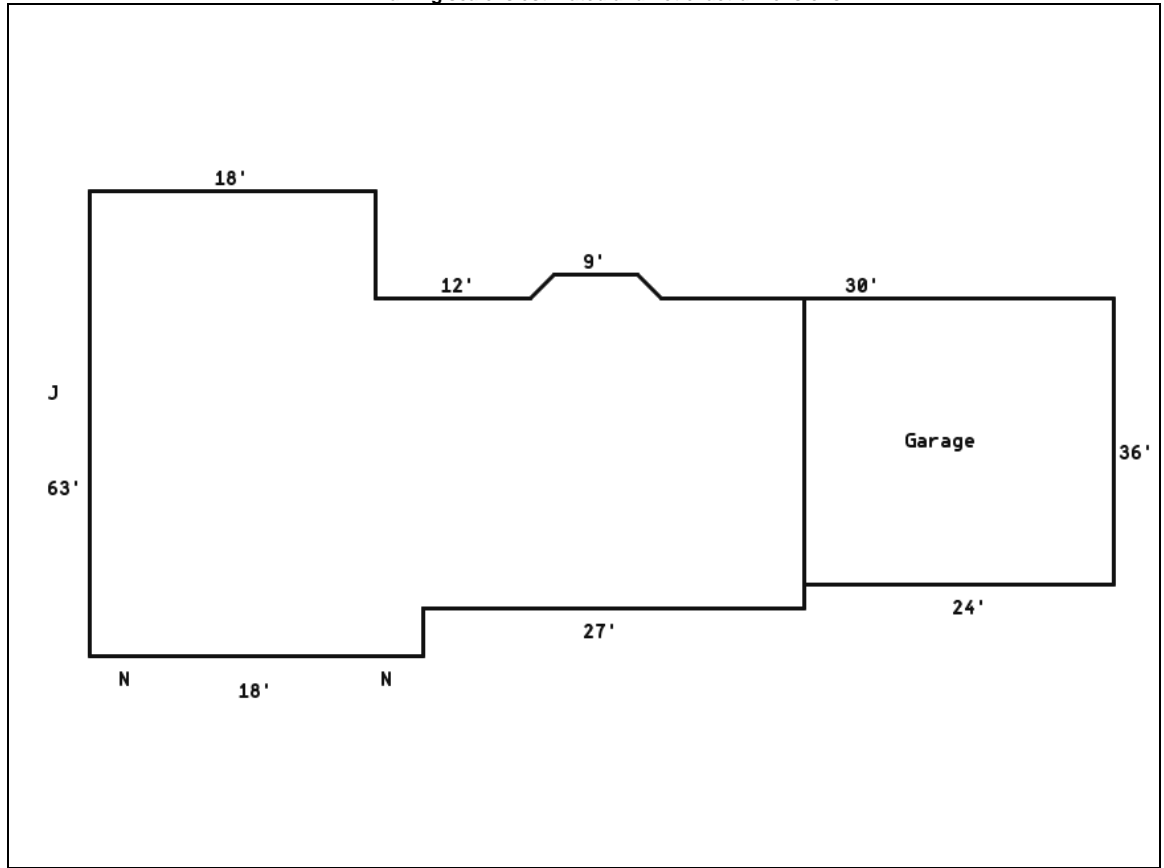
Drawing scale is estimated and not exact dimensions

Conducive Conditions

- G - Wood to ground contact
I - Formboards left in place
J - Excessive moisture
K - Debris under / around structure
L - Footing low / Soil too high
M - Wood rot
N - Heavy foliage
O - Planter box abutting structure
Q - Wood pile contact structure
R - Wooden fence contact structure
T - Insufficient ventilation
C - Other

Types of Insects

- E - Evidence of infestation
A - Active
P - Previous
D - Drywood
S - Subterranean Termites
F - Formosan Termites
C - Conducive conditions
B - Wood boring beetles
H - Carpenter ants
E - Other(s)



Additional

Comments: (N) Heavy Foliage - Foliage should be cut back to provide at least 3 inches of clearance to the structure.

(J) Excessive Moisture - The primary A/C drain line should be relocated to prevent excessive moisture by the structure.

Treatment drill holes present - Further investigation with owner is recommended regarding subterranean termite treatment and warranty.

Conducive conditions obstruct visibility and limit the inspection for wood destroying insects. It is recommended that all conducive conditions be corrected and the obstructed areas be reinspected once the work is complete.

10818 Moonlight Dr

Houston

77096

Inspected Address

City

Zip Code

Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: 1 Cover Page, 1 Receipt Page, and/or One or More Photo Pages

Signature of Purchaser of Property or their Designee

Date

Customer or Designee Not Present

Buyer's Initials _____

Addendum to Report

Obstructed/Limited Visibility

The inspection of certain areas was limited due to obstructed visibility and/or a lack of adequate access. The inspection for wood destroying insects was significantly limited and could not be thoroughly checked at some areas due to the following conditions:

- Stored items in closets
- Vehicle(s) in garage
- Behind locked door
- Zero property line
- Insulated sub floors at crawlspace
- Materials behind vinyl siding
- Stored items in attic
- Tiles/Pavers cover foundation
- Crawlspace not accessible
- Common walls between properties
- Stored items in garage
- Furniture throughout the house
- Portions of crawlspace not accessible
- Vines covering wall(s)
- Foam insulation coating roof framing
- Porch/Deck covers foundations

Evidence of Wood Destroying Insect Treatment



Drill Holes observed around the structure.

Conducive Conditions



Foliage needs to be trimmed back from the structure.



Moisture was observed due to the A/C primary drain line. Condition needs to be corrected.

10818 Moonlight Dr

Houston

77096

Inspected Address

City

Zip Code



HEDDERMAN PEST CONTROL

281 - 355 - 9980 HPC@Hedderman.com

TPCL License Number #0816143

RECEIPT

DATE: 8/31/2021

TO: Joel and Amelia Love

REF: WDI inspection for the house located at 10818 Moonlight Dr

Total cost of inspection: \$120.00

Total Paid: \$120.00

Total Due: - 0 -