

SCALE 1"=20'

(12122) FISHER'S DRIVE (60' ROW)

Found 1/2" Iron Rod

Found 1/2" Iron Rod

Found 1/2" Iron Rod

N06°56'45"E 90.00'

END OF SECTION

180.00'

5'x20' A.E.

10' U.E.

25' B.L.

130.00'

130.00'

= 6' Wood Fence

Lot 266

Lot 264

Conc.

5' B.L.

5' B.L.

N83°03'15"W

S83°03'15"E

Lot 265

Pool

①

12.0

8.0

24.8

5.5

5' x 20' A.E.

8' U.E.

Found 1/2" Iron Rod

S06°56'45"W 90.00'

Found 1/2" Iron Rod

Fisher's Landing
Section 2, Vol. A, Pg-113

① = Frame Shed on Blocks

NOTE: Restrictive Covenants as recorded in V-290, P-607, V-461, P-108, V-"B", P-122.

BUYER James R. Harrison and Melinda Harrison

12122 Fisher's Drive

DESCRIBED PROPERTY Lot 265, of FISHER'S LANDING, SECTION 3, a subdivision in Chambers County, Texas, according to the map or plat thereof recorded in Volume "B", Page 122, of the Plat Records of Chambers County, Texas.

NOTE: Restrictive Covenants as recorded in V-290, P-607, V-461, P-108, V-"B", P-122.

BUYER James R. Harrison and
Melinda Harrison

12122 Fisher's Drive

DESCRIBED PROPERTY Lot 265, of FISHER'S LANDING, SECTION 3, a subdivision in Chambers County, Texas, according to the map or plat thereof recorded in Volume "B", Page 122, of the Plat Records of Chambers County, Texas.

SURVEY 1, INC.

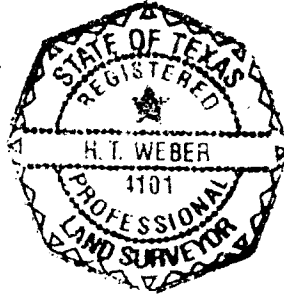
P. O. BOX 2543 • ALVIN, TX 77512
(281) 393-1382 • Fax (281) 393-1383

G.F. 03600245

Date: 10-22-03

Inv.#: 8331

JOB# 10-354-03



I do hereby certify that this survey was this day made on the ground of the property legally described hereon, (or on the attached sheet), and is correct, and there are no encroachments unless shown, and was done by me or under my supervision, and conforms to or exceeds the current standards as adopted by the Texas Board of Professional Land Surveying.

Note: There are no natural drainage courses on this property.

Note: This property does not lie in a flood hazard zone according to H.U.D./F.L.A.

480119 0155C 12-2-92 Zone C

H. T. Weber

