

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 12/30/2023 GF No. _____
Name of Affiant(s): John Lock
Address of Affiant: 16203 Oak Lace Ln, Magnolia, Tx. 77355
Description of Property: TIMBERLOCH ESTATES 02, BLOCK 4, LOT 1
County MONTGOMERY, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since _____ there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

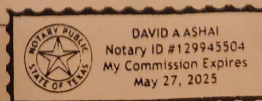
EXCEPT for the following (If None, Insert "None" Below:)

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

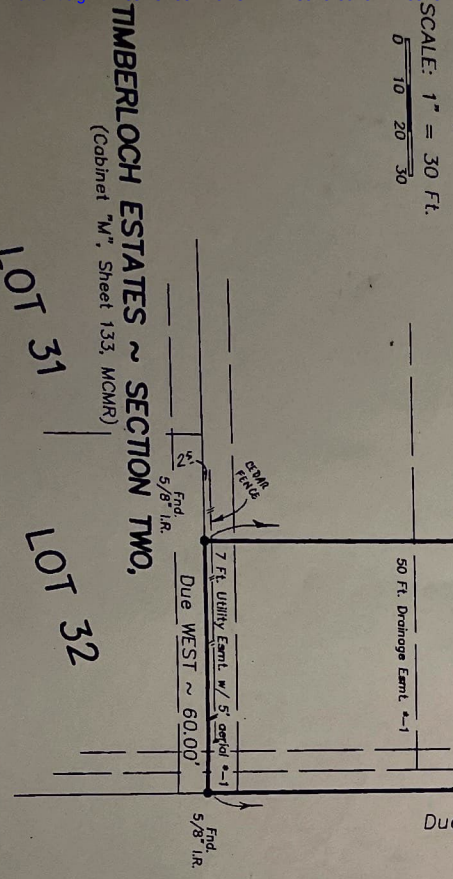
John W. Lock

SWORN AND SUBSCRIBED this 2ND day of JANUARY, 2024.

Notary Public
(TXR 1907) 02-01-2010



Page 1 of 1



16203
OAK LACE
LANE
(60 Ft. R-O-W)

EAST TIMBERLOCK TRAIL
(60 Ft. R-O-W)

A plat of Lot 1 in Block 4 of
TIMBERLOCH ESTATES ~ SECTION TWO,
a subdivision in Montgomery County, Texas,
according to the map or plat thereof recorded
in Cabinet "S", Sheet 28, of the Map Records
of Montgomery County, Texas.

G.F.No. 05 4160 6461 BUYER: _____ ADDRESS: _____
Alamo Title - Tomball

16203 Oak Lace Lane
Magnolia, TX 77355

FLOOD INFORMATION: According to the recorded subdivision plat,
this property is in Zone "X" and not in the 100-Year Flood Zone.

NOTE #1: H.L. & P. easements per MCCFN0. 9734670.
lie within easements shown.

NOTE #2: Subject to general utility easements per
MCCFN0's 2002-034884, 2002-034885 & 2002-034886.

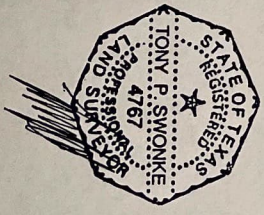
NOTE #3: Subject to aerial easements per MCCFN0. 2002-058533
*-1 is per the recorded subdivision plat.

I do hereby certify that this survey substantially conforms to the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A Condition II Survey.

and...

that this survey was made under my supervision on the ground of the property described and depicted above. All major, above-ground improvements are shown and there are no conflicts, discrepancies, shortages in area or boundary lines, or any overlapping of improvements except as shown hereon. All visible easements and rights-of-way are shown.

Signed, stamped and dated this 3rd day of AUGUST, 2005.



Surveyed by
Tony Swonke Land Surveying
700 Kaate Street
Tomball, TX 77375
281 351-SRYY 7789