



LEGEND

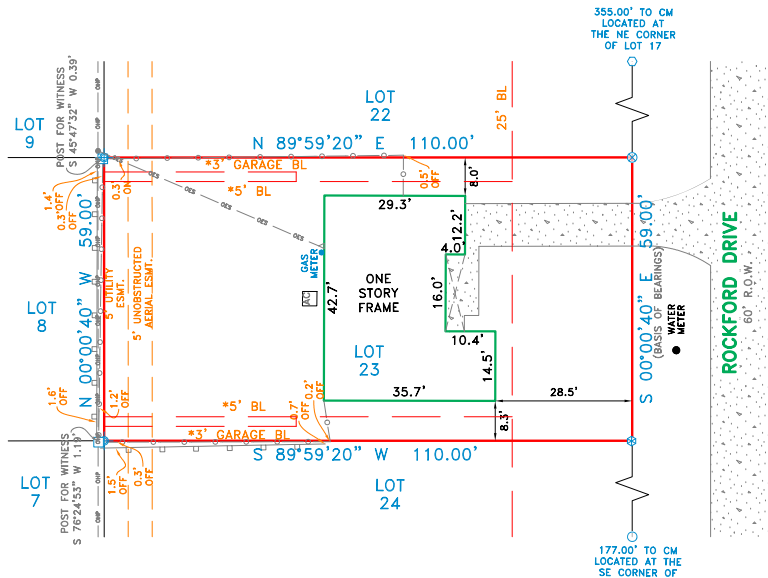
○ 1/2" ROD FOUND	□ FENCE POST FOR CORNER
⊙ 1/2" ROD SET	CM CONTROLLING MONUMENT
⊙ 1" PIPE FOUND	AC AIR CONDITIONER
⊙ 3" FOUND/SET	PE EQUIPMENT
⊙ 4" POINT FOR CORNER	● POWER POLE
⊙ 5/8" ROD FOUND	△ OVERHEAD ELECTRIC
T TRANSFORMER PAD	□ IRON FENCE
■ COLUMN	— X — BARBED WIRE
▲ UNDERGROUND ELECTRIC	— O — EDGE OF ASPHALT
— O — OVERHEAD ELECTRIC	— O — EDGE OF GRAVEL
— O — OVERHEAD ELECTRIC POWER	— O — CHAIN LINK
— O — OVERHEAD ELECTRIC SERVICE	— O — STONE
— O — CHAIN LINK	— O — CONCRETE
— O — WOOD FENCE 0.5' WIDE TYPICAL	— O — COVERED AREA
— O — DOUBLE SIDED WOOD FENCE	— O — BRICK

EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOLUME 44, PAGE 35, *VOLUME 2748, PAGE 588, 20110490465, 20140030092.

BUILDING SET-BACK LINE 5 FEET IN WIDTH ALONG THE SIDE PROPERTY LINES, EXCEPT FOR WHERE A DETACHED GARAGE IS LOCATED 70 FEET FROM THE FRONT PROPERTY LINE. IT MAY BE NO NEARER THAN 5 FEET AS SET FORTH BY INSTRUMENT RECORDED IN VOLUME 2748, PAGE 588, OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS.

THE ABOVE PROPERTY LIES WITHIN THE AREA DESIGNATED AND ZONED BY THE CITY OF HOUSTON AS THE WILLIAM P. HOBBY AIRPORT HAZARDOUS AREA AND IS SUBJECT TO THE RESTRICTIONS AND REGULATIONS IMPOSED BY ORDINANCE NO. 70-345 DATED MARCH 4, 1970. A CERTIFIED COPY OF WHICH IS RECORDED IN VOLUME 7940, PAGE 233 OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS.



NOTES:
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48201C0890M, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Stewart Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____ Accepted by: _____
Purchaser Purchaser
Purchaser

Drawn By: JLM
Scale: 1" = 20'
Date: 08/10/2023
GF NO.: 2097882
Job No. 2312703

419 Century Plaza Dr.,
Houston, TX 77073
P 281.445.9288
F 281.445.9224
Firm No. 10194280
www.cbgtllc.com