

Ross Stevens

15868 Wooded Trail Way Willis, Montgomery County,
Texas 77378

DESIGN TECH HOMES CUSTOM BUILDER

Houston
18750 Interstate 45
Spring, Texas 77373
Phone: 281-355-1591
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1	CP2062422PG
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DESIGN TECH HOMES
CUSTOM BUILDER

Homeowner's Name: Ross Stevens #2995
Homeowner's Signature of Approval:
Sale's Consultant's Name: Brian Bromberg
Sale's Consultant's Signature of Approval:
FINAL PLAN

ISSUE DATE: 06-02-2022
DRAWN BY: DTH
CHECKED BY: DTH
SHEET NUMBER:
A0.01
SHEET NAME:
Cover Sheet

GENERAL NOTES

GENERAL CONSTRUCTION NOTES

- PULL ALL DIMENSIONS FROM REAR OF STRUCTURE.
- DETAILS AND SPECIFICATIONS ARE SHOWN AS TYPICAL REQUIREMENTS AND MAY HAVE TO BE ALTERED TO REFLECT MUNICIPALITY, CODE, OR DEED RESTRICTION REQUIREMENTS PER LOCATION.
- THIS PLAN IS SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- ALL MEASUREMENTS AND DIMENSIONS ARE GUIDELINES FOR CONSTRUCTION USE ONLY.
- THIS PLAN IS THE PROPERTY OF DESIGN TECH HOMES, L.P.
- SPECIFICATIONS AND FEATURES SHALL BE DETAILED ON DESIGN TECH SPECS FEATURE SHEET.

TYPICAL DESIGN DATA

General Conditions:
The work contained in these drawing documents shall be performed under the general conditions of the latest edition of the contract for construction.

On site verification of all dimensions and conditions shall be the responsibility of the contractors.

The builder shall be notified should any discrepancy or questions arise pertaining to these drawings. No changes shall be made without review by the designer or builder.

All work performed and materials used shall comply with the following:
a) All applicable local and state codes, ordinances and regulations.
b) Manufacturers specifications and trade association recommendations.
c) Accepted engineering and construction practices

Notes on drawings shall apply to all similar conditions whether they are repeated or not.

Doors and Windows:
Main entry doors and exterior doors to be either fiber classic or solid raised panel unless otherwise noted on the drawings.

Interior doors to be hollow core and painted unless otherwise specified by owner.

Mount door hardware as required to comply with governing standards.

Finishes:
Interior and exterior colors to be selected by home owner. Gypsum wallboard to comply with applicable Industry requirements.
Ceramic tile to comply with the manufacturers specifications.
All carpeted surfaces to be installed per manufacturer's specifications.

Special Construction:
All fireplace equipment shall be installed in accordance with manufacturer's recommendations and in compliance with all applicable codes

Foundations / Concrete:
All foundations shall be designed and built according to the engineer's specifications. Concrete flatwork shall conform to building code requirements for reinforced concrete and specifications for structural concrete. Apply broom finish to exterior concrete porches and steps.

Mechanical:
Contractor shall provide all labor, materials and equipment to complete the design and installation of heating, cooling, and ventilating systems, including but not limited to heating distribution, air conditioning system humidification, temperature and humidification controls, exhaust fans, gas fired equipment flues and appliance vents.

Masonry:
Brick or stone masonry shall conform to building code requirements for engineered brick or stone masonry. All brick and stone colors are based on manufacturer's specifications and are not the responsibility of Design Tech Homes.

Masonry ties; galvanized 20 gauge corrugated metal ties, provide 24" o.c. vertically and 16" o.c. horizontally as necessary. All ties to be secured with galvanized nails at each location.

Do not install masonry work when temperature falls below 30 degrees F.

Dryer to be vented directly to the exterior and provided with back draft dampers.
All water heaters to have a drain pan and auxiliary drain line installed to the exterior.

Electrical:
For service and distribution, provide a fully grounded, electrical service of amperage required by electrical demand.
Maximum 10 receptacles or lights on a single circuit. All directly connected HVAC and kitchen appliances are to be direct wired by electrician.
Electrical installation per 2008 national electric code. All smoke detectors shall be wired in sequence with battery backup smoke detectors per code in all bedrooms and adjacent halls per UBS requirements. 200 amp min. service to home.
All outlets within 6 feet of sink of wet location shall have GFI protection.

Wood and Lumber Construction:
All rough carpentry framing and materials shall conform to recognized industry standards.

Pressure treated lumber to be used wherever lumber is in contact with masonry or concrete.

GRAPHICAL SYMBOLOGY
ELECTRICAL SYMBOLS

- CABLE TELEVISION OUTLET
- CABLE TELEVISION OUTLET W/ SATELLITE PREWIRE
- CEILING FAN OR CEILING FAN W/ LIGHT
- CEILING MOUNTED EXHAUST FAN
1X4(1 LAMP) - 120V
(REFERENCE DRAWING FOR SIZE)
- CEILING MOUNTED INCANDESCENT LIGHT
- STANDARD OUTLET (CEILING OR SOFFIT MOUNTED)
- COMPUTER DATA LINE JACK
- DOOR BELL CHIMES
- PUSH BUTTON DOOR BELL (LOCATION PER PLAN)
- INTERIOR OR EXTERIOR ELECTRICAL PANEL (LOCATION PER PLAN)
- EXTERIOR FLOOD LIGHT (2 BULB)
- EXTERIOR FLOOD LIGHT PHOTO CELL (2 BULB)
- FAX LINE JACK
- LED DISC FIXTURE
- RECESSED DAMP LIGHT FIXTURE
- RECESSED EYEBALL FIXTURE
- SECURITY KEYPAD LOCATION
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- TELEPHONE JACK
- WALL MOUNTED INCANDESCENT LIGHT
- HEAT LAMP
- 220 OUTLET (36" A.F.F. @ UTILITY)
- GROUND FAULT INTERRUPTER
- GROUND FAULT INTERRUPTER W/ WATER PROOFING
- HALF HOT OUTLET
- STANDARD OUTLET 12" A.F.F.
- QUAD. GROUND FAULT INTERRUPTER
- QUAD. OUTLET 12" A.F.F.
- STANDARD SWITCH
- STANDARD DIMMER SWITCH
- 3 WAY SWITCH
- 3 WAY DIMMER SWITCH
- 4 WAY SWITCH
- 4 WAY DIMMER SWITCH
- STANDARD JAMB SWITCH
- 3.5" SLAB DROP / CAR STOP / FOUNDATION BREAK

UTILITY CONNECTION SYMBOLS

- COLD WATER CONNECTION (TYPICAL @ REFRIGERATOR)
- HOT AND COLD WATER CONNECTION (TYPICAL @ WASHER AND DRYER)
- HOSE BIB (VERIFY NUMBER AND LOCATION PER PLAN)
- GAS CONNECTION (natural or propane)
- SEPTIC PUMP (verify location per septic design)
- SANITARY WASTE CONNECTION (septic or city sewer)
- WATERLINE CONNECTION

TEXT SYMBOLOGY
FLOORING SYMBOLS

- H.S. HARD SURFACE / SELECTION BY H/O
- CONC. CONCRETE
- CPT. CARPET
- TILE CERAMIC FLOOR TILE
- VINYL SHEET VINYL
- WOOD WOOD FLOOR OR WOOD LAMINATE FLOOR

FRAMING SYMBOLS

- CANT. CANTILEVER
- DB DROP BEAM
- DBL. DOUBLE JOIST OR RAFTER
- FB FLUSH BEAM
- LVL. LAMINATED VENEER LUMBER
- MICRO. MICROLLAM LVL BEAM
- O.C. ON CENTER
- PARA. PARALLAM PSL BEAM
- S.Y.P. SOUTHERN YELLOW PINE

GENERAL SYMBOLS

- A.F.F. ABOVE FINISHED FLOOR
- C.O. CASED OPENING
- 1R1S 1 ROD & 1 SHELF
- 2R1S 2 ROD & 1 SHELF
- 2R2S 2 ROD & 2 SHELVES
- 3R2S 3 ROD & 2 SHELVES
- 3R3S 3 ROD & 3 SHELVES
- D.W. DISHWASHER
- DISP. DISPOSAL
- F.F. FINISHED FLOOR
- F.P. FIREPLACE
- HRDBD. HARDBOARD
- K.S. KNEE SPACE
- M.C. MEDICINE CABINET
- MICRO. MICROWAVE
- MLD. MOLDING
- O.H.DOOR OVERHEAD DOOR
- OVEN/MICRO OVEN WITH MICROWAVE
- PLT. PLATE
- PLT. HT. PLATE HEIGHT
- PROJ. PROJECT
- REF. REFRIGERATOR
- SHLVS. SHELVES
- TYP. TYPICAL

WINDOW SYMBOLS

- CT CIRCLE TOP NON-DIVIDED LIGHT
- CTDL CIRCLE TOP DIVIDED LIGHT
- DH DOUBLE HUNG NON-DIVIDED LIGHT
- DHDL DOUBLE HUNG DIVIDED LIGHT
- FX FIXED GLASS NON-DIVIDED LIGHT
- FXDL FIXED GLASS DIVIDED LIGHT
- HS HORIZONTAL SLIDER NON-DIVIDED LIGHT
- HSDL HORIZONTAL SLIDER DIVIDED LIGHT
- SH SINGLE HUNG NON-DIVIDED LIGHT
- SHDL SINGLE HUNG DIVIDED LIGHT
- TEMP TEMPERED GLASS

The measurements, dimensions, and other specifications shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as representation of what the completed structure will look like

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Sales Consultant's Signature of Approval:
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ISSUE DATE: 06-02-2022
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SHEET NUMBER: A0.02
SHEET NAME: General Notes

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DRAWN BY: DTH

CHECKED BY: DTH

SHEET NUMBER:

A0.03

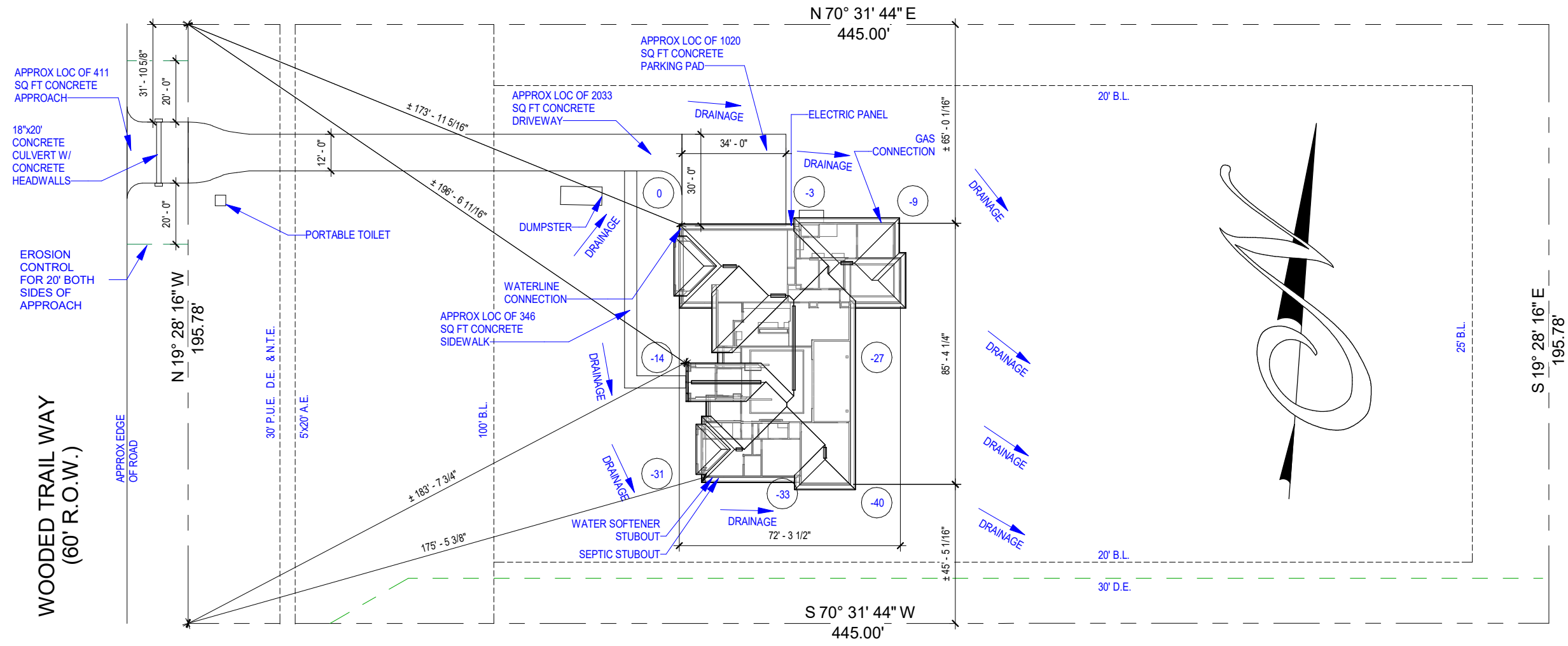
SHEET NAME:

Plot Plan

COMMUNITY: Republic Grand Ranch
 LOT: 44
 BLOCK: 2
 SECTION: 3

15868 WOODED TRAIL WAY
 WILLIS, MONTGOMERY
 COUNTY
 TX 77378

PLANTED SOD 20' AROUND
 HOME AND 4' AROUND
 DRIVEWAY BY HOME OWNER



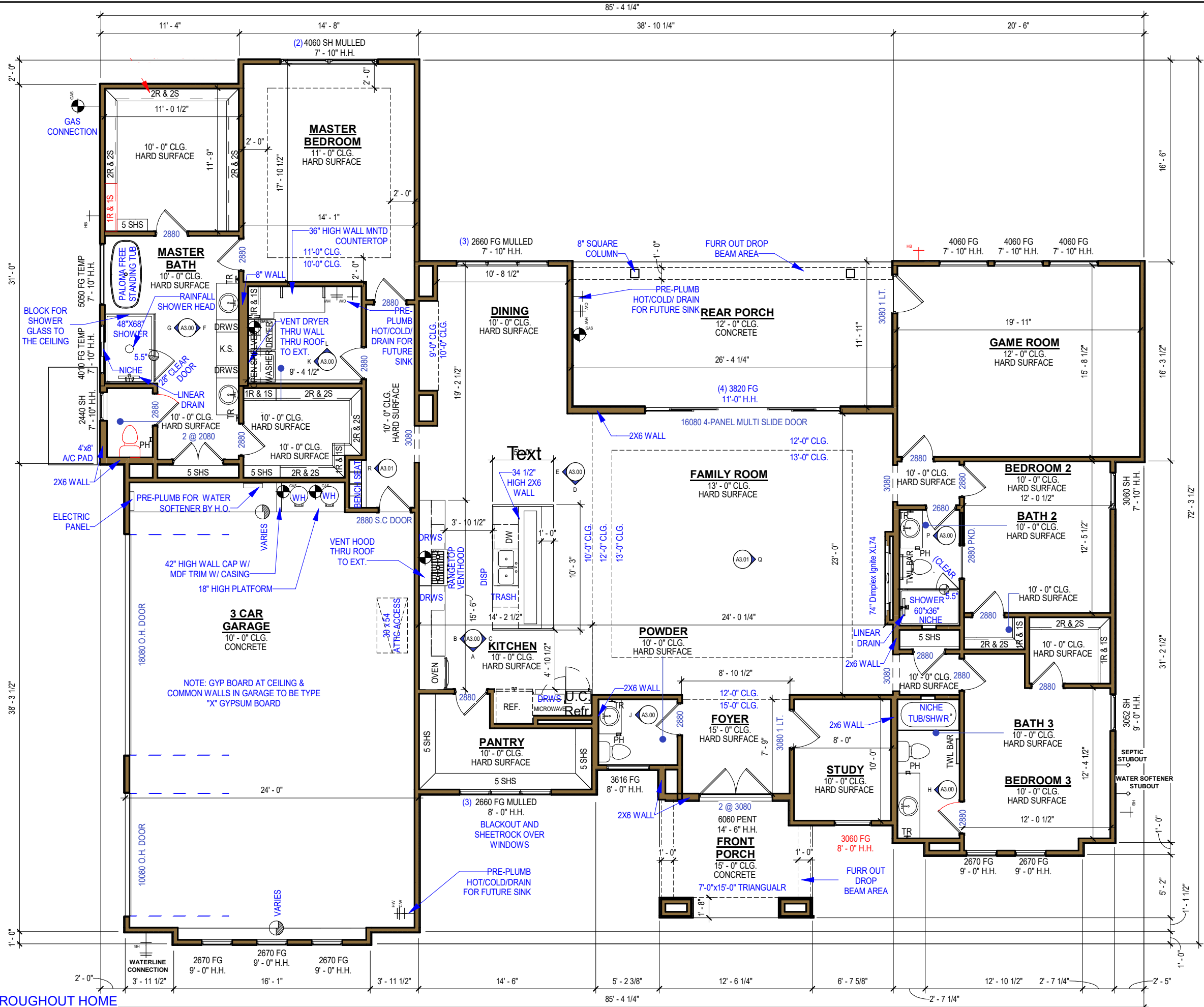
1 Architectural Site Plan
 1" = 40'-0"

SQUARE FOOTAGES	
	SQ. FT.
1ST FLOOR	3,225 SF
TOTAL LIVING	3,225 SF

GARAGE	884 SF
FRONT PORCH	118 SF
REAR PORCH	309 SF
TOTAL NON-LIVING	1,310 SF

TOTAL FRAME	4,535 SF
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TOTAL SLAB	4,535 SF
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FIRST FLOOR PLAN
 THIS IS A LP GAS HOME
 CUSTOM FEATURE LEVEL
 SQUARE SHEETROCK CORNERS THROUGHOUT HOME
 HARD WATER TO ALL HOSEBIBS

L1 - FLOOR PLAN

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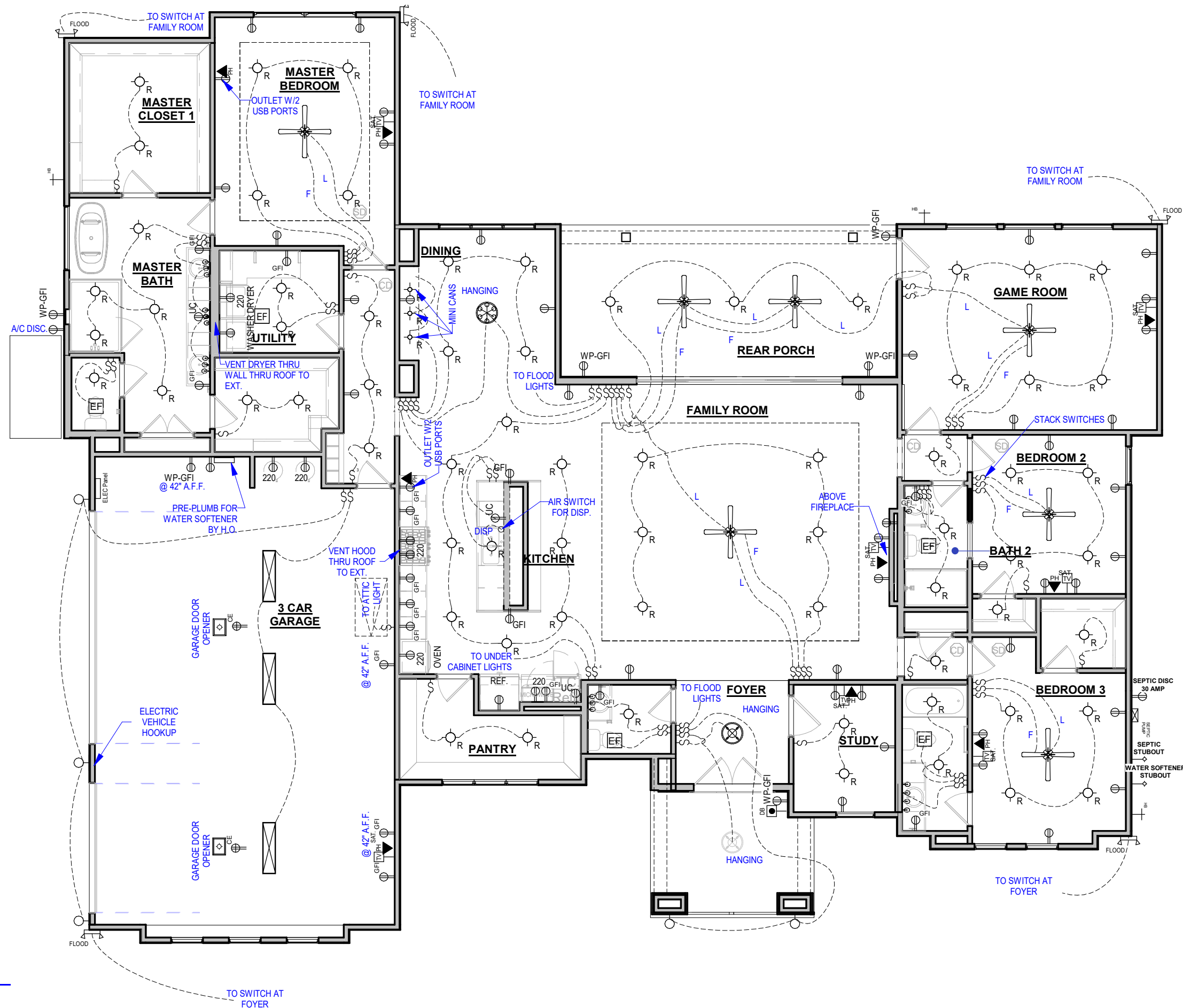
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A1.00
 SHEET NAME:
 Floor Plan L1



PREWIRE FOR (2) SPEAKERS IN CEILING OF FAMILY ROOM AND CEILING OF GAMEROOM. FIELD VERIFY LOCATION WITH H.O.

PREWIRE ALL OPERABLE DOORS AND WINDOWS FOR FUTURE ALARM WITH 2 KEYPADS.

ELECTRICAL NOTES

1. ALL KITCHEN BACKSPLASH OUTLETS TO BE INSTALLED ON BOTTOM OF UPPER CABINETS AND NOT IN BACKSPLASH. FIELD VERIFY LOCATION / OUTLET TYPE.

2. FIELD LOCATE (1) DMARC RUNS INCLUDE CAT5E(2), RG6(2) & 16/2 POWER

3. PROVIDE FLEXIBLE CONDUIT THRU SLAB FOR ELECTRICAL @ ISLAND

CM TO VERIFY LOCATION FOR SECURITY & STRUCTURED WIRING BOX W/ H.O. @ PRE-ELECTRICAL WALK

FIRST FLOOR ELECTRICAL PLAN

THIS IS AN LP GAS HOME
 CUSTOM FEATURE LEVEL
 SQUARE SHEETROCK CORNERS THROUGHOUT HOME
 HARD WATER TO ALL HOSE BIBS

L1 - ELECTRICAL PLAN

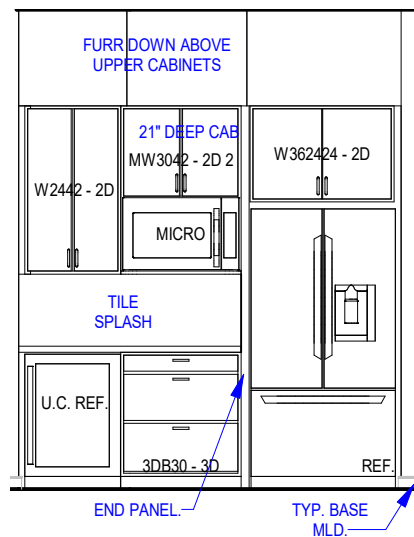
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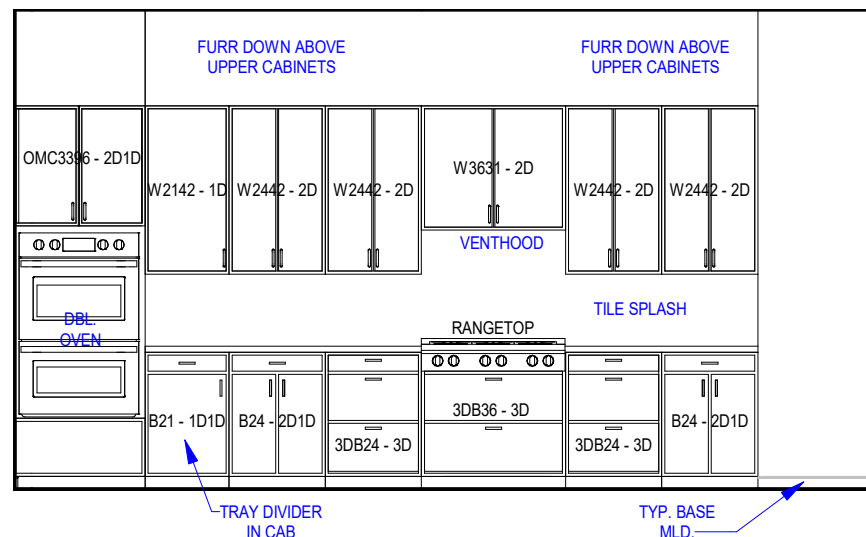
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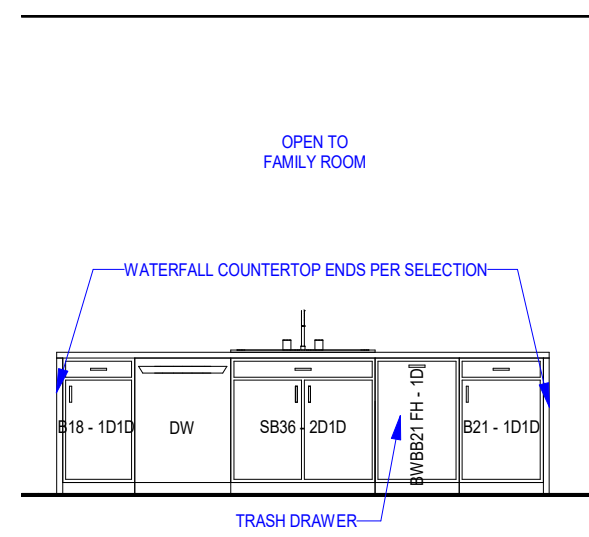
ISSUE DATE: 06-02-2022
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SHEET NUMBER: A2.00
SHEET NAME: Electrical Plan L1



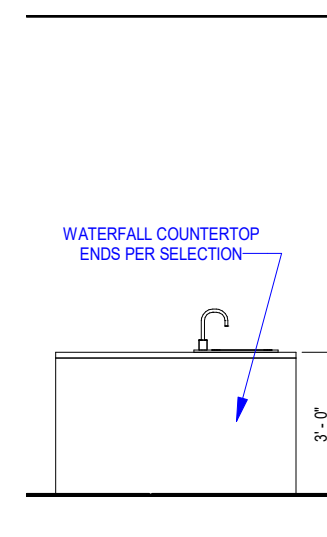
A KITCHEN
1/4" = 1'-0"



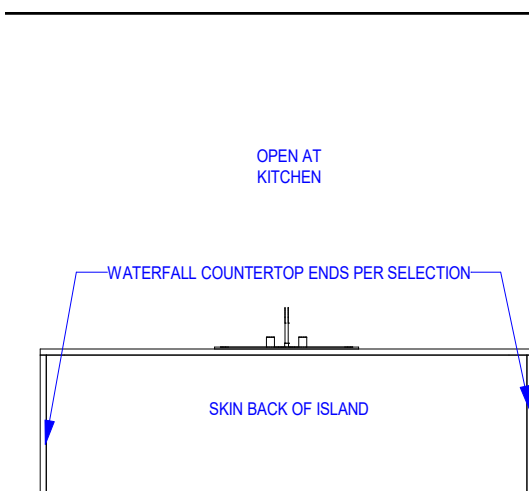
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1/4" = 1'-0"



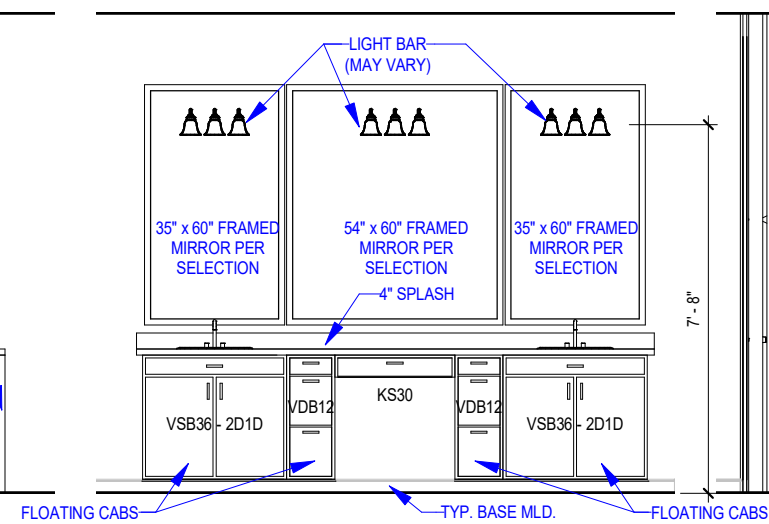
C KITCHEN
1/4" = 1'-0"



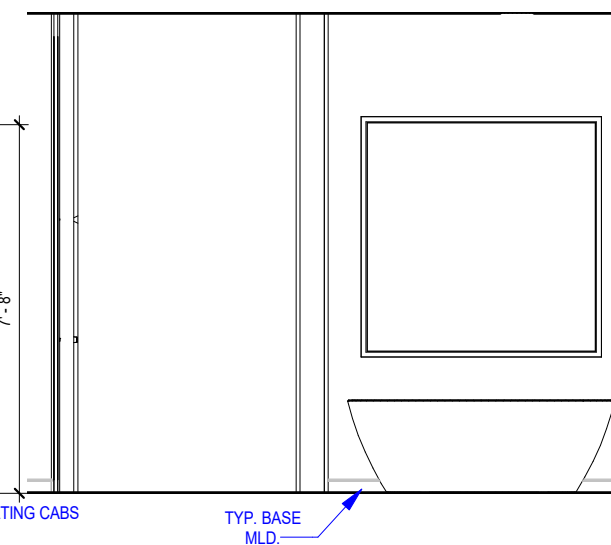
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1/4" = 1'-0"



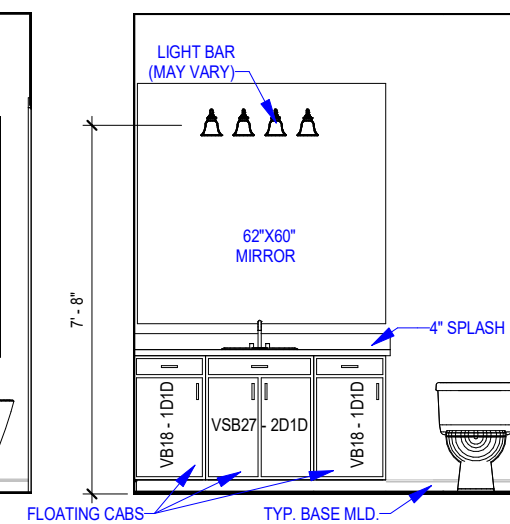
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1/4" = 1'-0"



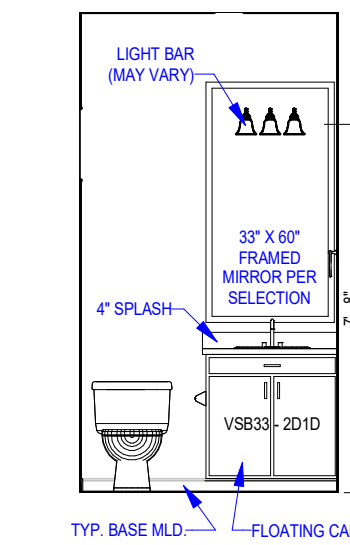
F MASTER BATH
1/4" = 1'-0"



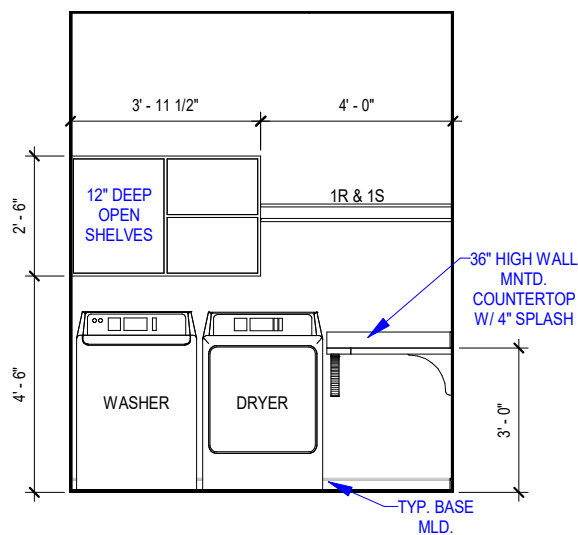
G MASTER BATH
1/4" = 1'-0"



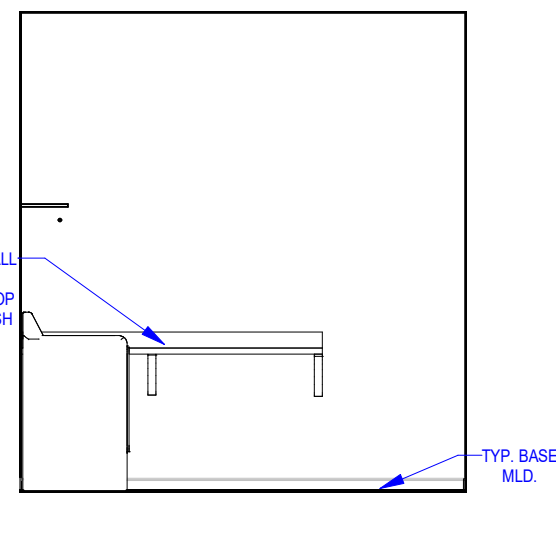
H BATH 3
1/4" = 1'-0"



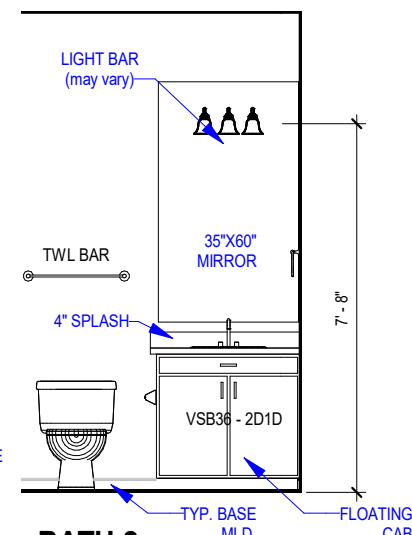
J POWDER
1/4" = 1'-0"



K UTILITY
1/4" = 1'-0"



L UTILITY
1/4" = 1'-0"



P BATH 2
1/4" = 1'-0"

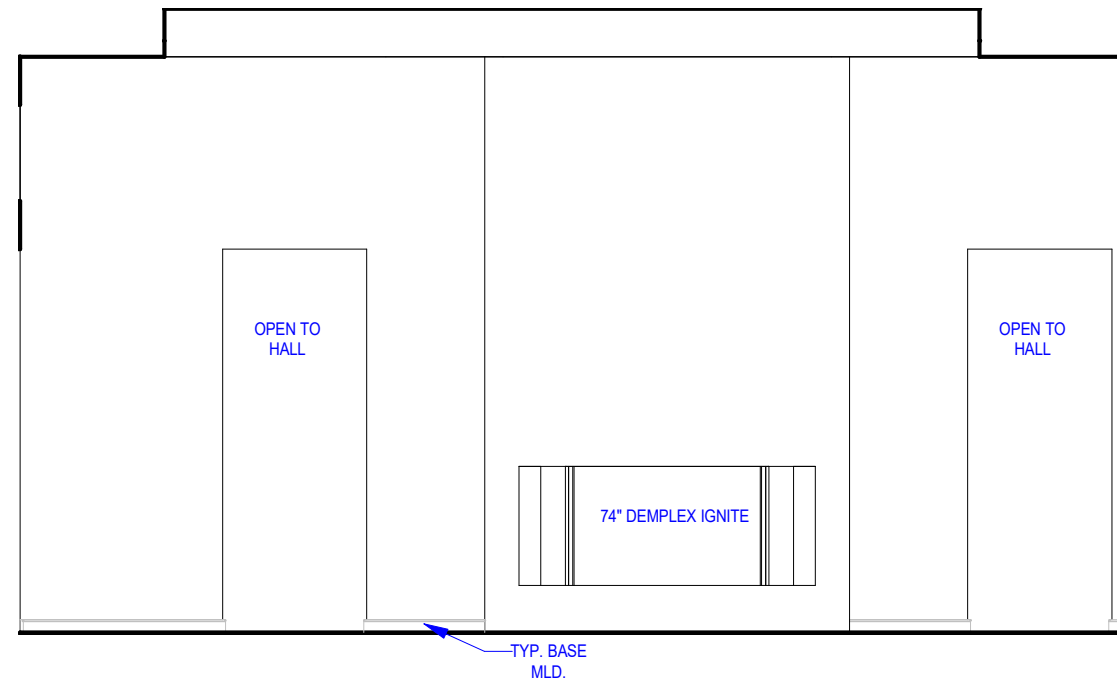
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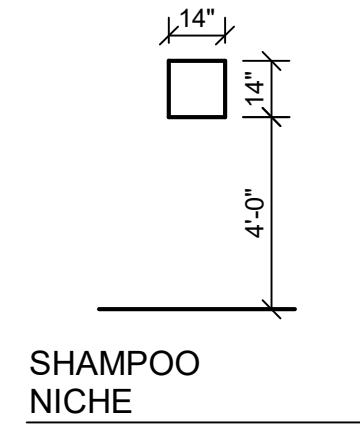
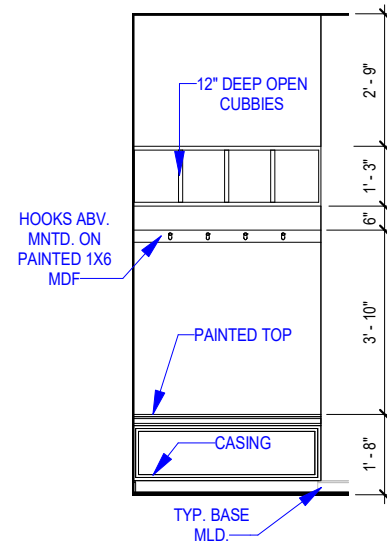
DESIGN TECH HOMES
CUSTOM BUILDER

Homeowner's Name: Ross Stevens #2995
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Sales Consultant's Signature of Approval:
FINAL PLAN

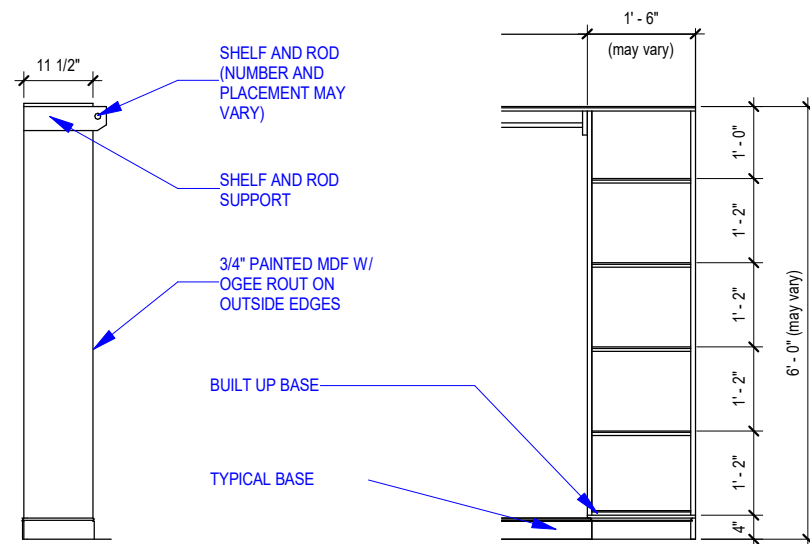
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A3.00
SHEET NAME:
Interior Elevations



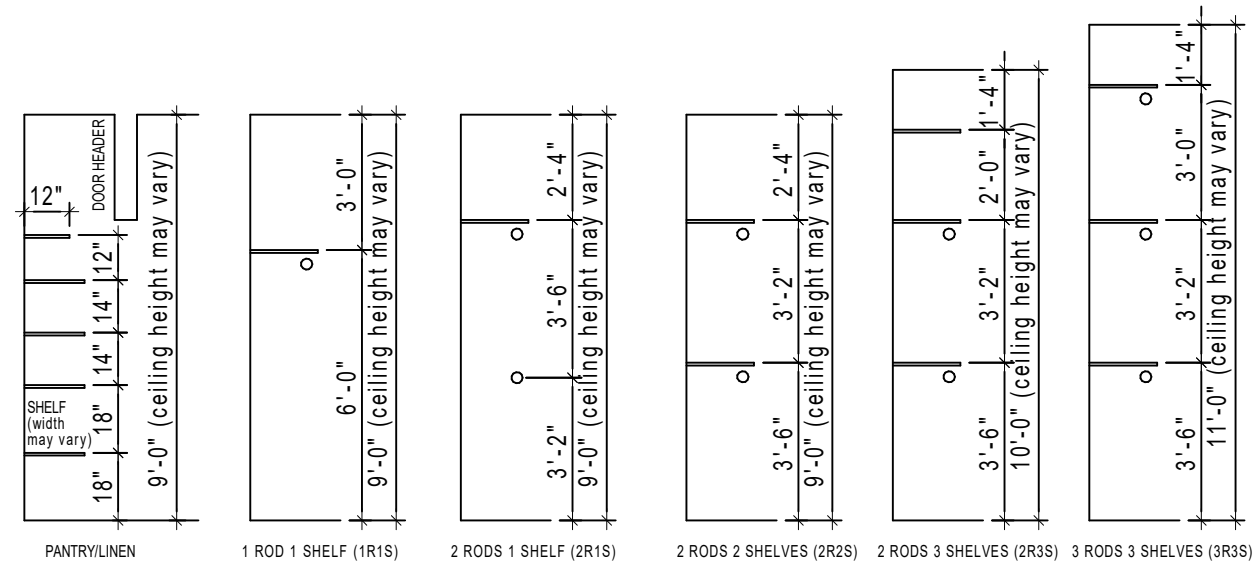
Q FAMILY
1/4" = 1'-0"



R HALL TO MASTER BEDROOM
1/4" = 1'-0"



MASTER CLOSET (If applicable)



TYPICAL SHELF/CLOSET HANG HEIGHTS

NOTE:
36" MAXIMUM SPAN
ON CLOSET RODS

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SHEET NAME:

Interior Elevations

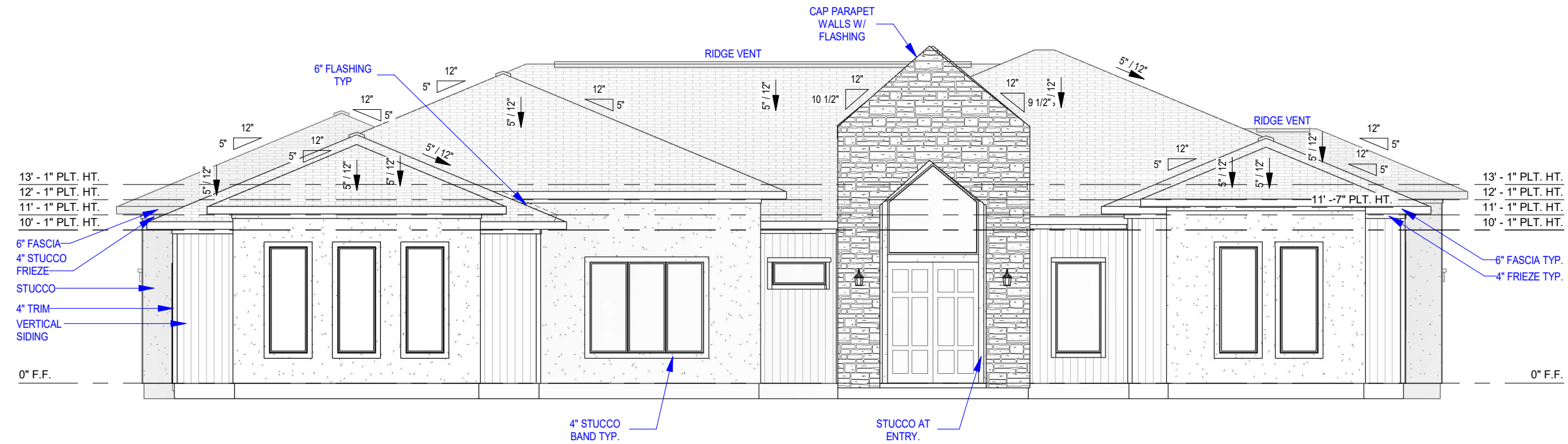
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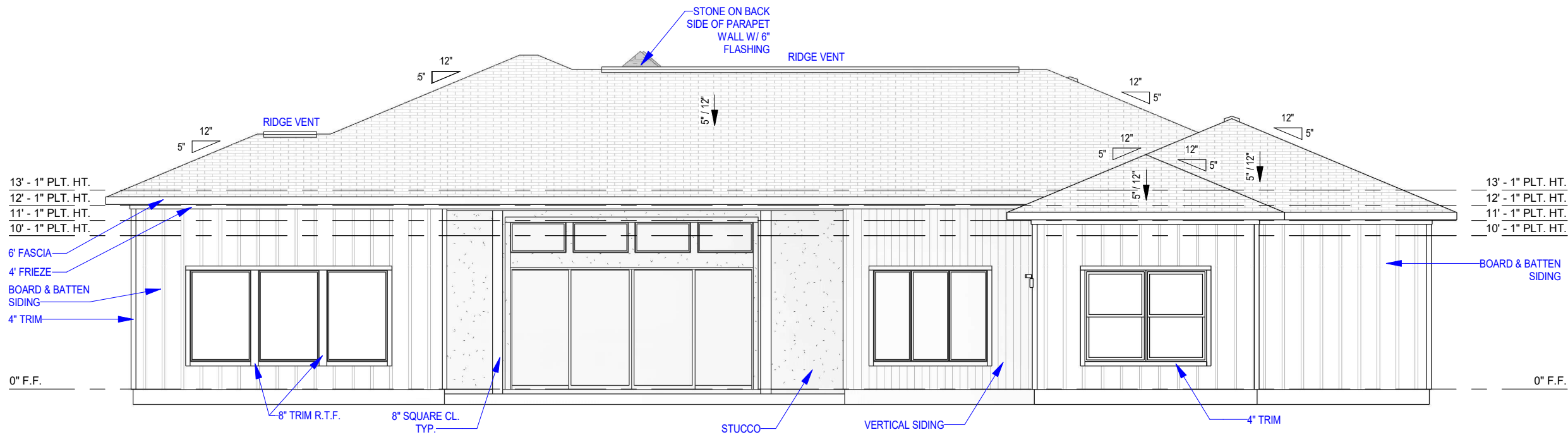
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A4.00
SHEET NAME:
Exterior Elevations



FRONT ELEVATION



REAR ELEVATION

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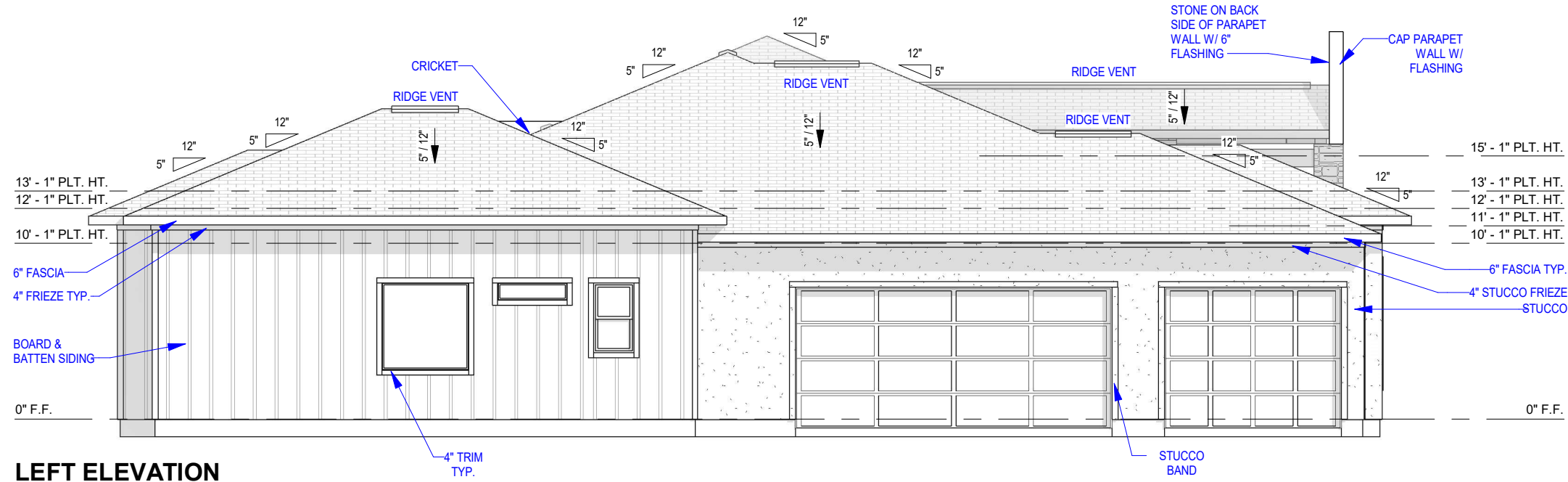
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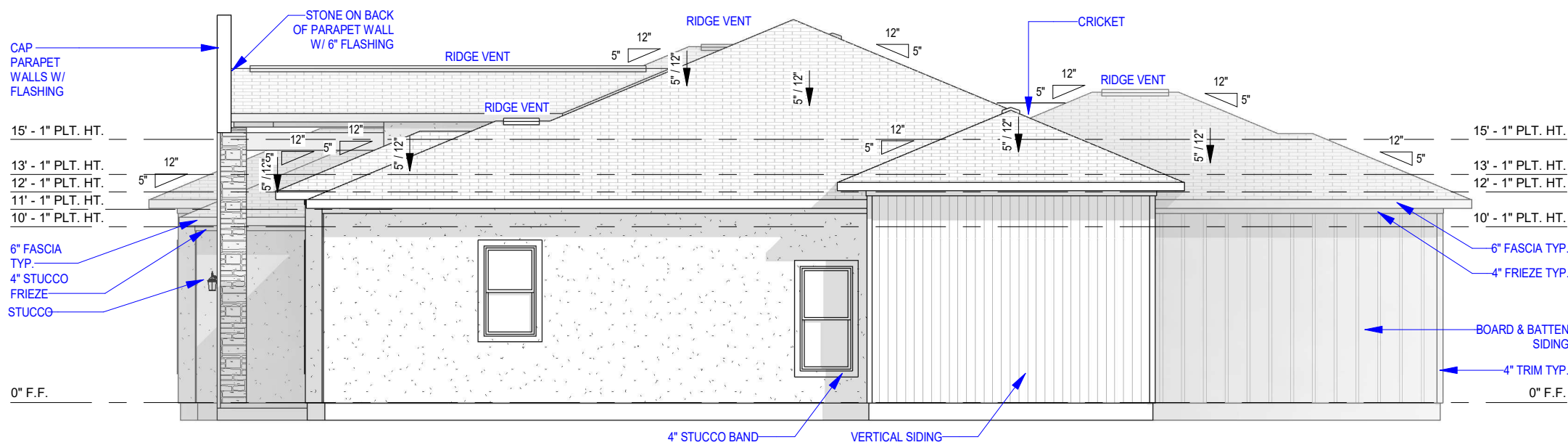
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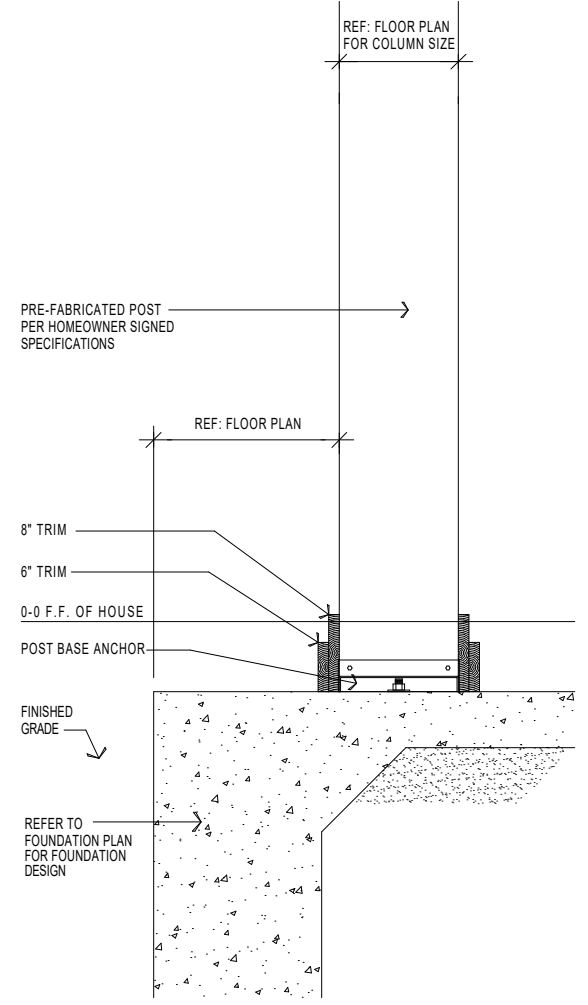
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LEFT ELEVATION

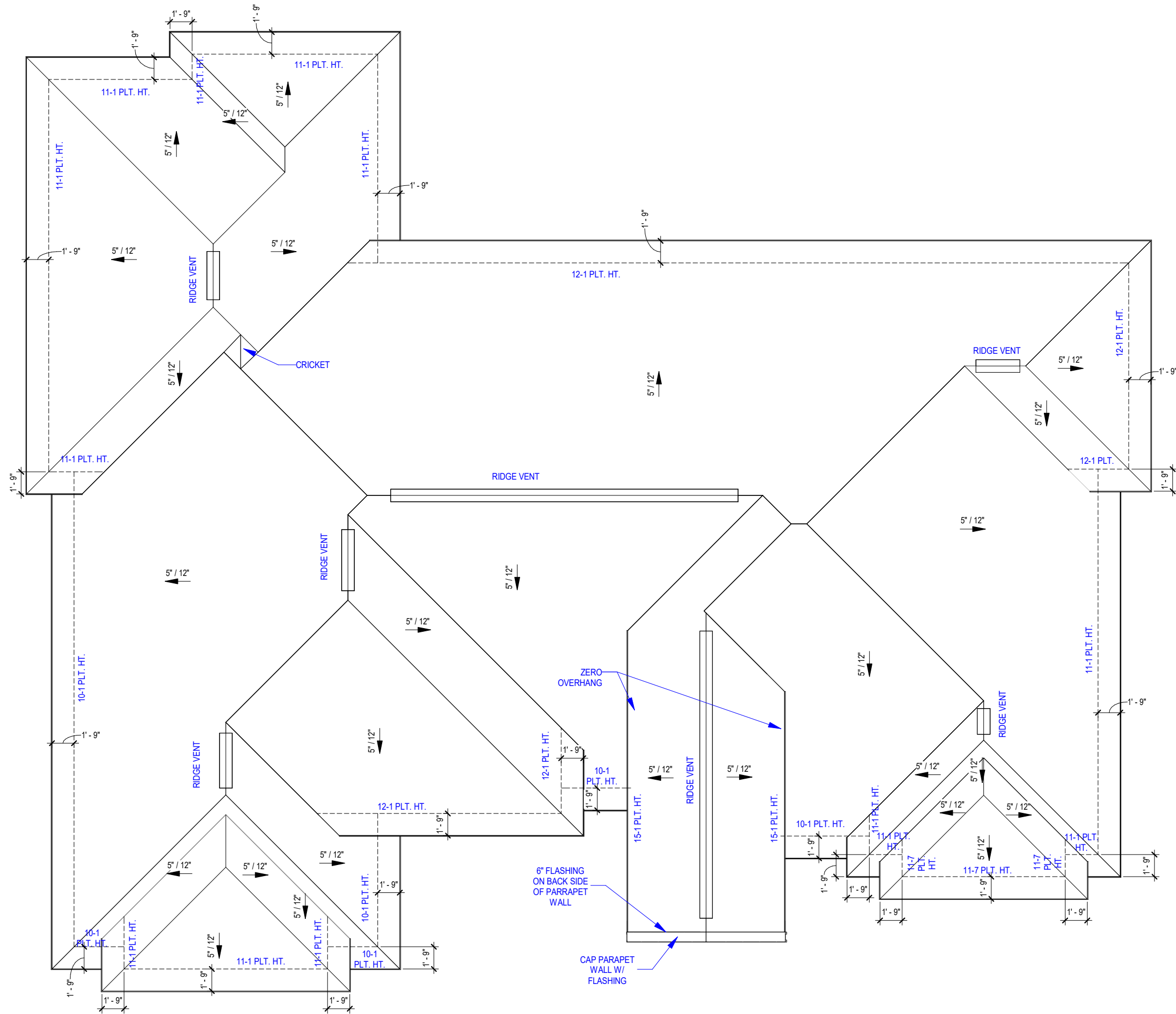


RIGHT ELEVATION



TYPICAL 8" SQUARE COLUMN

L1 - ROOF PLAN



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SHEET NAME: Roof Plan