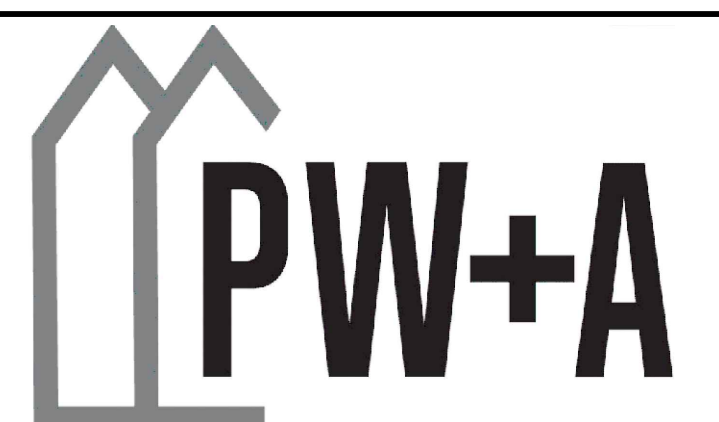


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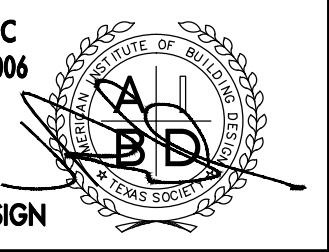
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 Jack Preston Wood PBD Certification: TX-431
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DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
12	12 December 2019	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
EB	9-13-22	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

CODE INFORMATION

BUILDING CODE: 2015 I.R.C. WITH CITY OF HOUSTON AMENDMENTS
OCCUPANCY: GROUP R-3 SINGLE FAMILY HOME
BUILDING CONSTRUCTION TYPE: TYPE V-B NON-RATED
FIRE PROTECTION: GROUP R-3 LESS THAN 4-STORIES NO FIRE SPRINKLER SYSTEM REQUIRED
ALLOWABLE HEIGHT: 2015 IBC, TABLE 503: 3 TOTAL FLOORS WITH MAXIMUM HEIGHT OF 50'-0"

FEMA ZONE: X

SCOPE OF WORK
 A NEW 3-STORY SINGLE FAMILY DETACHED DWELLING WITH A 2-CAR ATTACHED GARAGE ACCESSED FROM A PRIVATE DRIVE.

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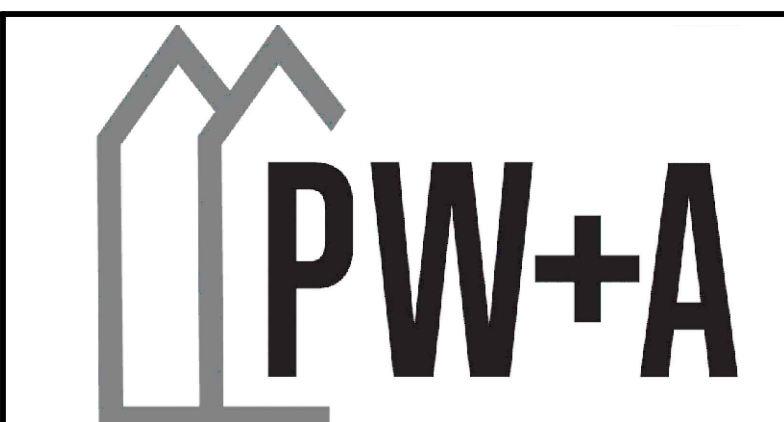
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SQUARE FOOTAGES

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TOTAL LIVING:	3381 S.F.
GARAGE:	411
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BALCONY:	46
COVERED ROOF DECK:	157
STORAGE:	35
TOTAL COVER:	4208 S.F.

STONEFIELD HOMES
 HOUSTON HEIGHTS LT 40, BLK 44
 219 W. 23RD STREET, HOUSTON, TX 7008

JOB # **F2162-A1.1-R-v4** | **1** OF **13**
 PERMIT SET | ISSUE DATE: 23 February 2023



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REDRAW # F0012-C1.1-3			
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XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

SCHEDULES		BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:
DOOR SCHEDULE:	SIZE AS NOTED ON PLANS.	
EXTERIOR DOORS ARE 1 3/4" SOLID CORE.		
INTERIOR DOORS ARE 1 3/8" SOLID OR HOLLOW CORE.		
DOOR GLAZING TO BE SAFETY GLASS.		
WINDOW SCHEDULE:	SIZE AS NOTED ON PLANS.	
FRAME TYPE:		
GLAZING:		
EXTERIOR TRIM:		
INTERIOR TRIM:		
ROOM FINISH SCHEDULE:		
FLOOR:		
WALLS:		
CEILING:		
SHOWER STALL:		
COUNTER TOPS AND SPLASHES:		
ALL OPENINGS TO HAVE SHROUDS RETURNING.		
RE: BUILDING FOR USE OF WOOD CO. RETURNING.		
- OR - AS NOTED ON PLANS.		
- OR - AS NOTED IN DETAILED SPECS. BETWEEN OWNER & BUILDER.		

PLAN NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. PRESTON WOOD & ASSOCIATES, L.L.C. WILL NOT BE HELD RESPONSIBLE FOR THE CONTENTS PRESENTED BY THIRD PARTY CONSULTANTS (M.E.P., CIVIL, STRUCTURAL, ETC.).
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAIL ON THE LAST SHEET OF THESE DRAWINGS.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
- PROVIDE PLUMBING ACCESS PANEL AT ALL BATHS PER IRC 2015 SECT. P210.4.1.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2015 SECT. R308.
- SEE STAIR NOTES AND DETAILS - LAST SHEET, CONFORM TO IRC 2015, SECTIONS R311.5.6 AND IRC 2015, CITY OF HOUSTON AMENDMENTS, SECTION 1003.3.1, EXCEPTION 4. PROVIDE CONTINUOUS RAILINGS WHEN THERE ARE 4 OR MORE RISERS.
- PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30". WHERE SERVING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A FULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2015 SECT. R301 AND SECT. M305.1.3.
- LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2015 SECT. P202.3.
- LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
- PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- ALL INSULATION SHALL HAVE A FLAME SPREAD RATINGS NOT TO EXCEED 25 AND A SMOKE DENSITY RATINGS NOT TO EXCEED 450. SEE IRC 2015 SECT. R320.1.
- PROVIDE ADEQUATE FURRING 50% VENT AND SOIL PIPES DO NOT PENETRATE FLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF FLAKE THAT SLOPES TO THE BACK.

SYMBOLS

SECTION CUTS	CABINET & WALL ELEVATIONS	FIRE WALL TYPE
(Symbol)	(Symbol)	(Symbol)
SHEET LOCATION	SHEET LOCATION	DETAIL LOCATED LAST SHEET (UNO.)

LINE LEGEND

WALLS:	4" STUD WALL	CLOSETS:	WALL
	6" STUD WALL		ROD & SHELF
CEILING:	DESIGNATION FOR FURRING DOWN CLG.		DOUBLE ROD & SHELF
	DESIGNATION FOR OPEN FRAMING ABOVE (STAIR VOIDS & OPENINGS).	CABINETS:	WALL
			UPPER CABINET
			18" ABOVE COUNTERTOP TYP.
			COUNTERTOP @ 36" HT. TYP.

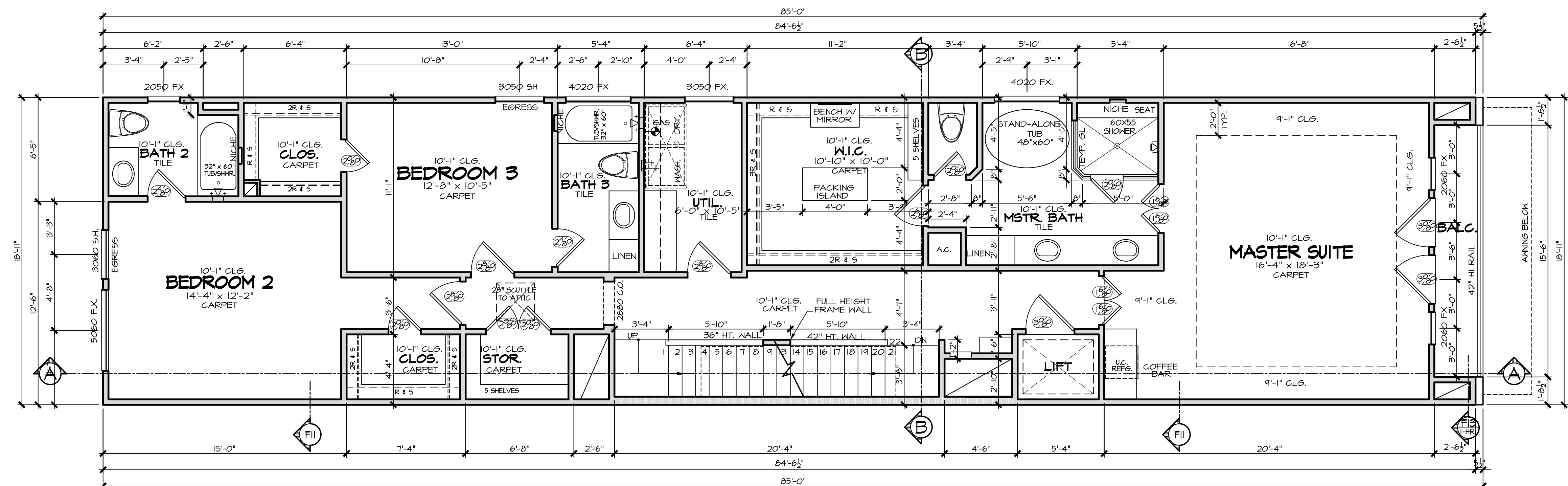
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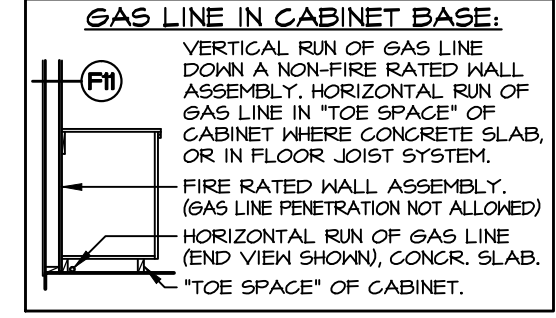
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JOB #	F2162-A1.1-R-v4	3 OF 13
PERMIT SET	ISSUE DATE:	23 February 2023



EGRESS REQUIREMENTS 2015 I.R.C.

R3101.1 IRC 2015 EMERGENCY ESCAPE AND RESCUE REQUIRED BASEMENTS W/ HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHERE OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118mm) ABOVE THE FLOOR.
 R3101.2 IRC 2015 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (0.530 M²).
 R3101.3 IRC 2015 MINIMUM OPENING HEIGHT THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).
 R3101.4 IRC 2015 MINIMUM OPENING WIDTH THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 mm).
 R3101.5 IRC 2015 OPERATIONAL CONSTRAINTS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS OPERABLE WINDOW SILL HEIGHT - A MINIMUM OF 2" OFF OF FINISH FLOOR HEIGHT AT SECOND FLOOR AND ABOVE.



FIRE NOTE **

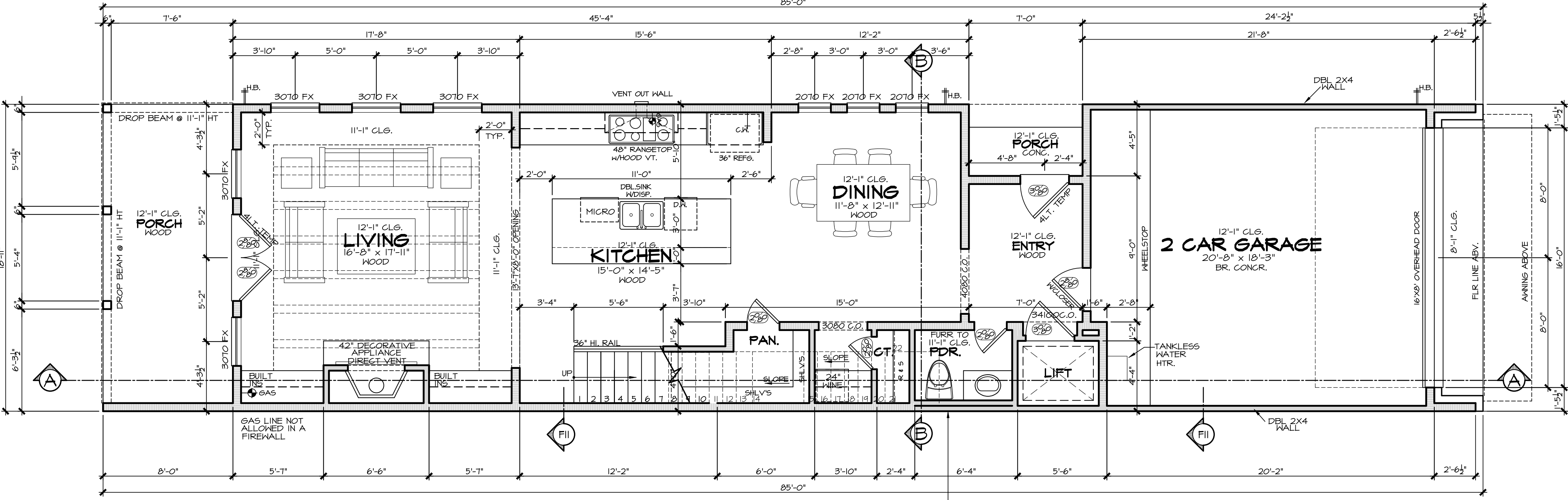
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO THE GARAGE (4 CARPORT) SIDE OF STUDS AND JOISTS.
- INSTALL MINIMUM 1-3/8" IN. SOLID CORE DOOR, OR SOLID OR HONEY COMB STEEL DOOR 1-3/8" IN. THICK, OR 20 MIN. FIRE RATED DOOR WITH SELF-CLOSING HARDWARE FROM GARAGE AREA TO CONDITIONED AREA. (R304.1)
- UNRAISED DISAPPEARING STAIRS IN GARAGES TO HAVE MIN. 3/8" THICK FIRE RETARDANT PLYWOOD OR MIN. 16 GA. SHEET METAL.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO ENCLOSED AREAS LOCATED UNDER ALL STAIRS.

SECONDARY FURR WALL REQUIRED

BEFORE INSTALLING SECONDARY (FURR) WALL, APPLY 5/8" TYPE 'X' GYPSUM BOARD TO THE INTERIOR SIDE OF THE EXTERIOR WALL. PVC AND OTHER NON-FERROUS PIPES ARE NOT ALLOWED TO PENETRATE THE TYPE 'X' GYPSUM BOARD.

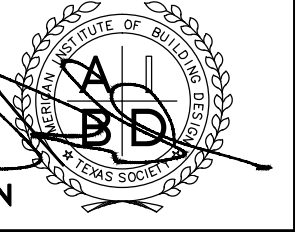
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 11'-1" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. UNO. (UNLESS NOTED OTHERWISE.)
 PRIMARY FLOOR COVERING: WOOD UNO.



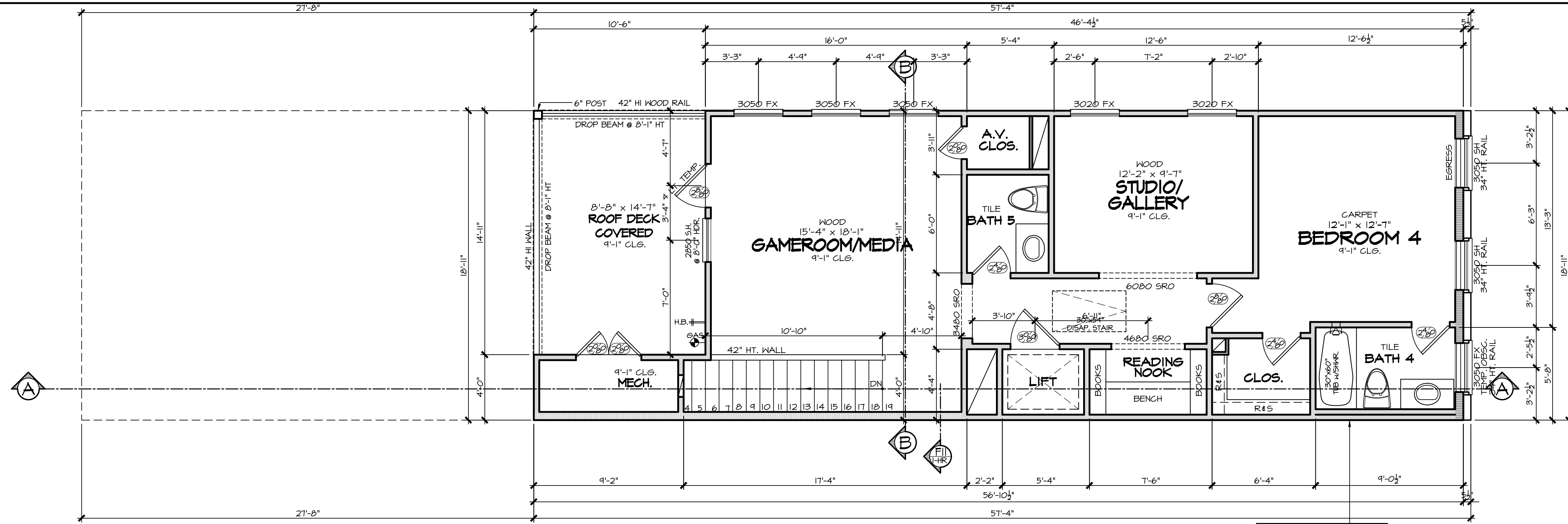


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XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	12 December 2019	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
EB	9-13-22	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"
10' STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE).
PRIMARY FLOOR COVERING: ? U.N.O.

SUGGESTED FLOOR SYSTEM:

SECONDARY FURR WALL REQUIRED

BEFORE INSTALLING SECONDARY (FURR) WALL, APPLY 5/8" TYPE 'X' GYPSUM BOARD TO THE INTERIOR SIDE OF THE EXTERIOR WALL. PVC AND OTHER NON-FERROUS PIPES ARE NOT ALLOWED TO PENETRATE THE TYPE 'X' GYPSUM BOARD.

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HOUSTON HEIGHTS LT 40, BLK 44
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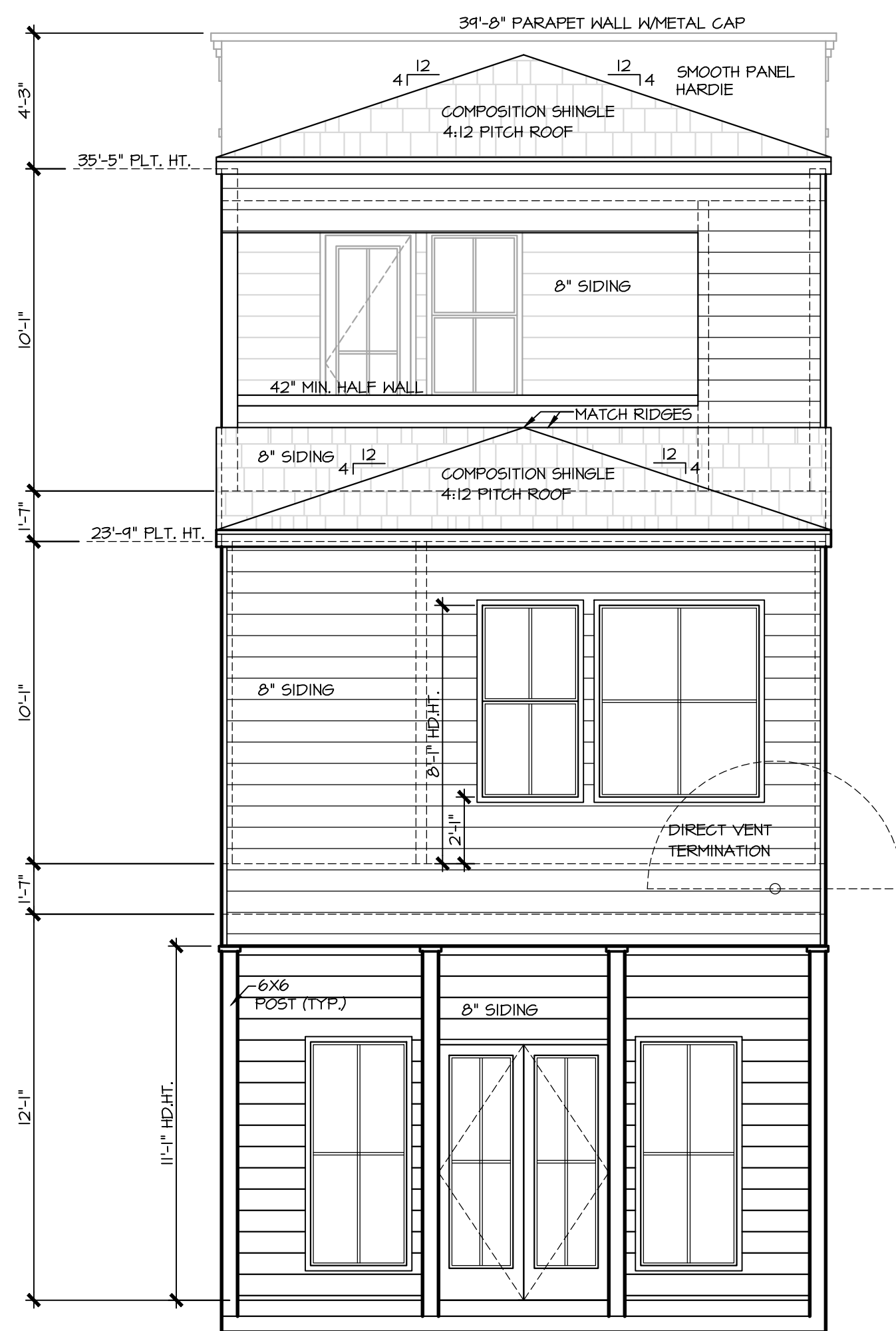
JOB # **F2162-A1.1-R-v4** **4** OF **13**

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BACK ELEVATION

SCALE: 1/4" = 1'-0"

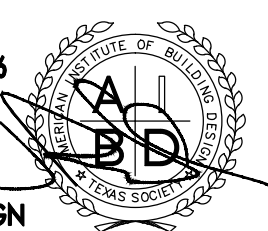


FRONT ELEVATION

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	PRODUCTION 1: DATE: 12 December 2019	SENT TO ENGINEER: XXX	DATE: X-X-XX
	PRODUCTION 2: DATE: 9-13-22	CORRECTIONS: XXX	DATE: X-X-XX
	PRODUCTION 3: DATE: X-X-XX	CHECKED: XXX	DATE: X-X-XX

ELEVATION NOTES

- ALL DRAWINGS HERE REFERENCES THE 2015 INTERNATIONAL RESIDENTIAL CODE (BY CITY OF HOUSTON AMENDMENTS) AND THE 2015 INTERNATIONAL BUILDING CODE (BY CODE AMENDMENTS)
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, LLC OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH 20" WIDE AND MINIMUM 5.7 SQ. FT. NET CLEAR OPENING. WHERE DOORS ARE USED AS EGRESS, KEY LOCKING HARDWARE MAY BE USED (2015 IRC CITY OF HOUSTON AMENDMENTS, R310.2).
- ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM (FIRST) FLOOR LEVEL (AT THE STAIRWELL).
- OPENINGS ON A ONE-HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATINGS OF NOT LESS THAN 3/4 HOUR. SEE IRC 2015, SECTIONS T14.3.1 AND T14.3.4 AND TABLE T14.2 (EXTERIOR WALLS). PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2015, SECTION T11.3, BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY (GLASS BLOCK SELECTION OF YOUR CHOICE).
- PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (R308.4):
 - GLAZING IN TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
 - GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
 - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR.
 - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
- ALL RAILINGS (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACINGS BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2015, SECTION R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2015 TABLE R301.4, AND ON THE LAST SHEET OF THIS DOCUMENT.
 - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT. R316.2).
 - EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".
- ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL, U.O.N.
- ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2015, CHAPTER 10, AND BE U.L. AND I.C.B.C. APPROVED (A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW).
- CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGES). SEE IRC 2015, SECTION R101.6. CHIMNEY PIPES SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
- PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2". MINIMUM GAP OF 3/8" AND TO CONFORM WITH IRC 2015 CHAPTER 10.
- ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.

PRIMARY EXTERIOR MATERIAL: BRICK
 SECONDARY EXTERIOR MATERIAL: 8" SIDING
 ROOF MATERIAL: COMPOSITION SHINGLES

ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS. MATCH TRANSOMS TO UNITS BELOW. HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.

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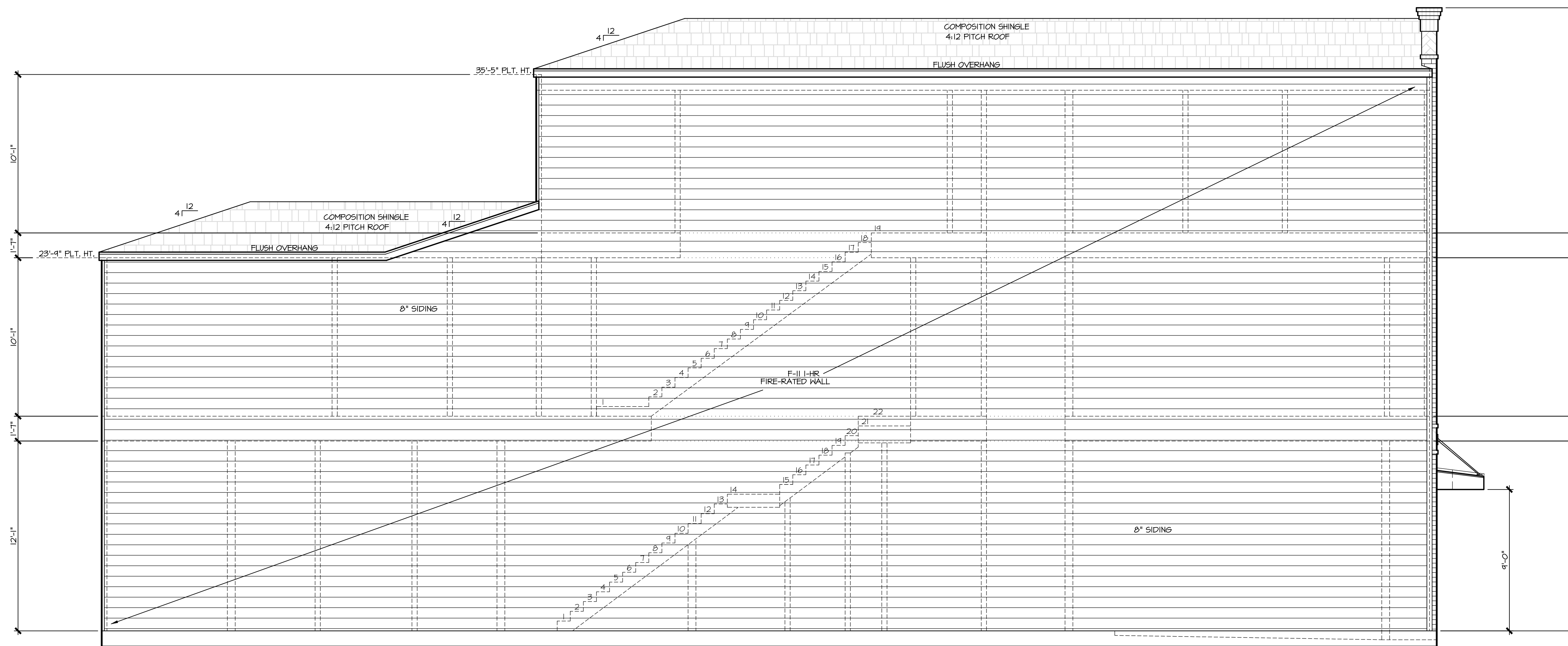
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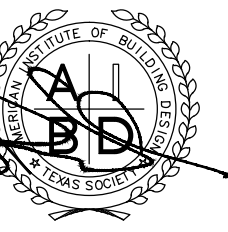


LEFT ELEVATION

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REDRAW # F0012-C1.1-v3			
DESIGNER: XXX	DATE: X-X-XX	PRODUCTION 4: XXX	DATE: X-X-XX
PRODUCTION 1: 7/15	DATE: 12 December 2019	SENT TO ENGINEER: XXX	DATE: X-X-XX
PRODUCTION 2: EB	DATE: 9-13-22	CORRECTIONS: XXX	DATE: X-X-XX
PRODUCTION 3: XXX	DATE: X-X-XX	CHECKED: XXX	DATE: X-X-XX

SQUARE FOOTAGES

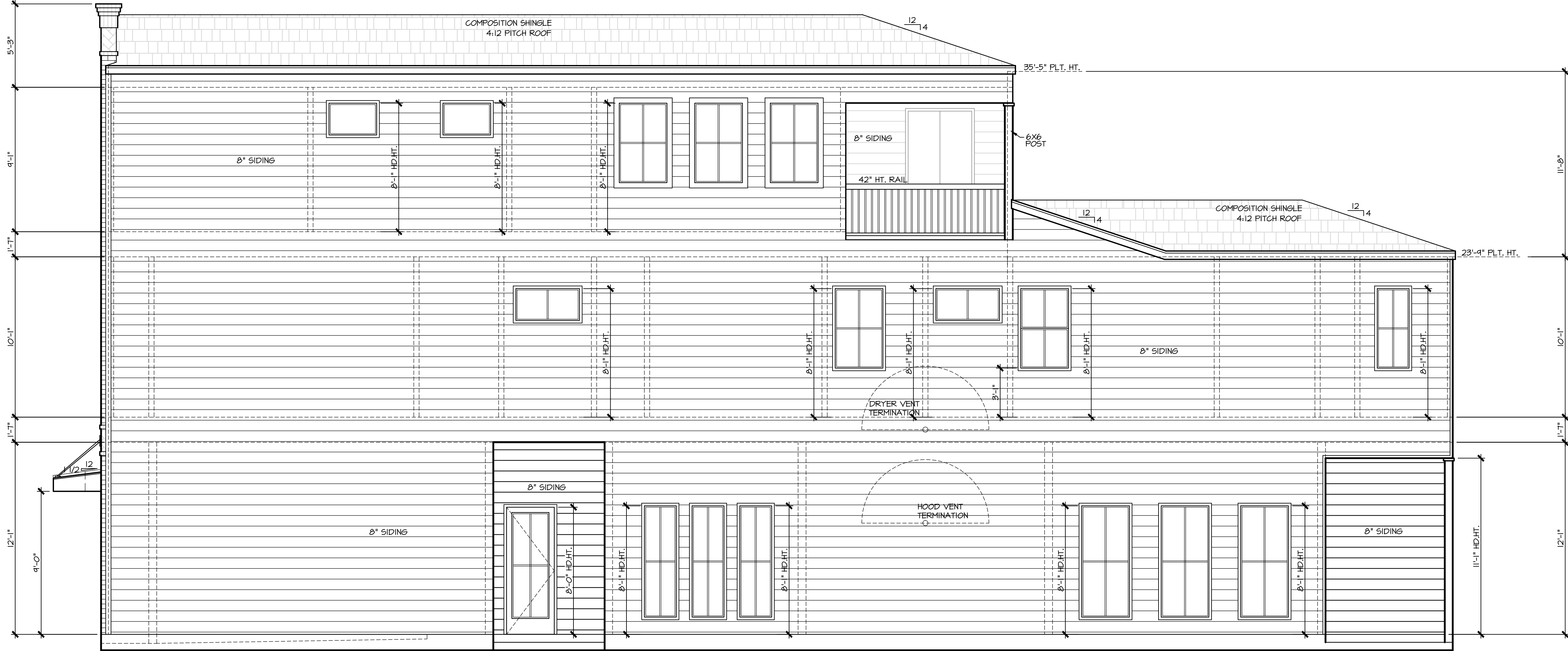
FIRST FLOOR:	976
SECOND FLOOR:	1561
THIRD FLOOR:	844
TOTAL LIVING:	3381 S.F.
GARAGE:	411
PORCH:	31+147= 178
TOTAL SLAB:	1565
BALCONY:	46
COVERED ROOF DECK:	157
STORAGE:	35
TOTAL COVER:	4208 S.F.

STONEFIELD HOMES
 HOUSTON HEIGHTS LT 40, BLK 44
 219 W. 23RD STREET, HOUSTON, TX 7008

JOB # **F2162-A1.1-R-v4** **6** OF **13**

PERMIT SET ISSUE DATE: 23 February 2023

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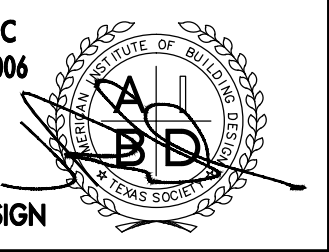


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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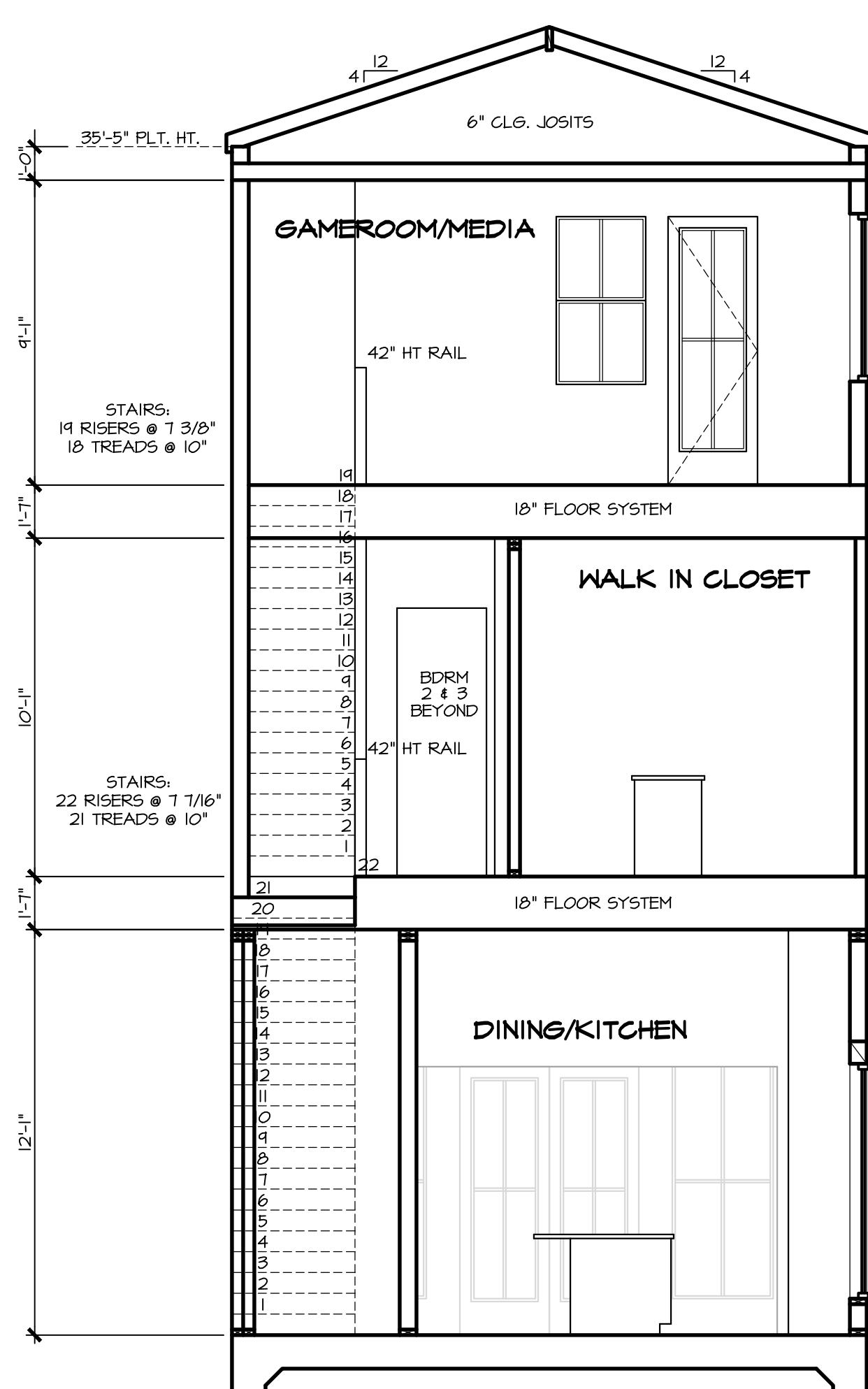
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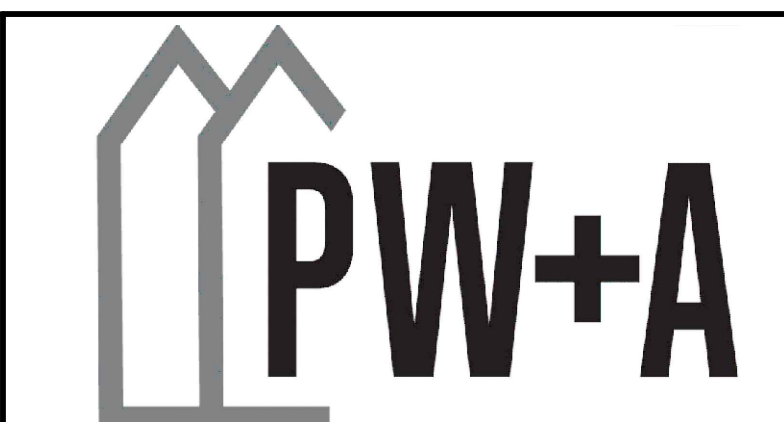
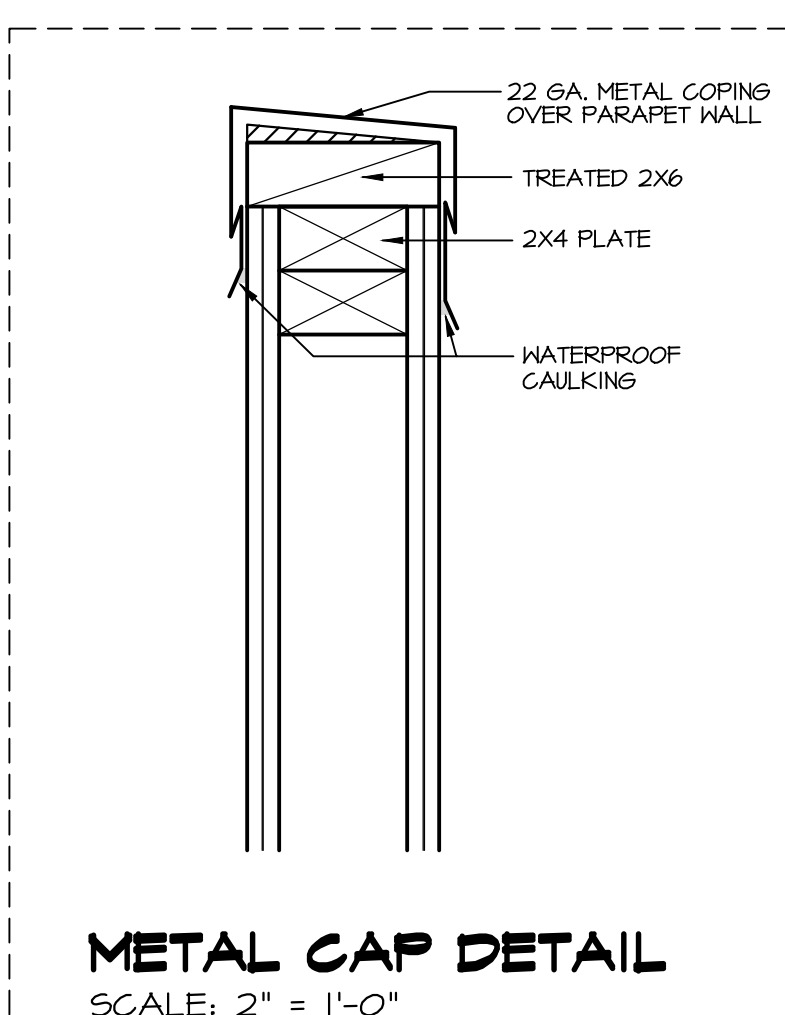
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F2162-A1.1-R-v4 **7** OF **13**

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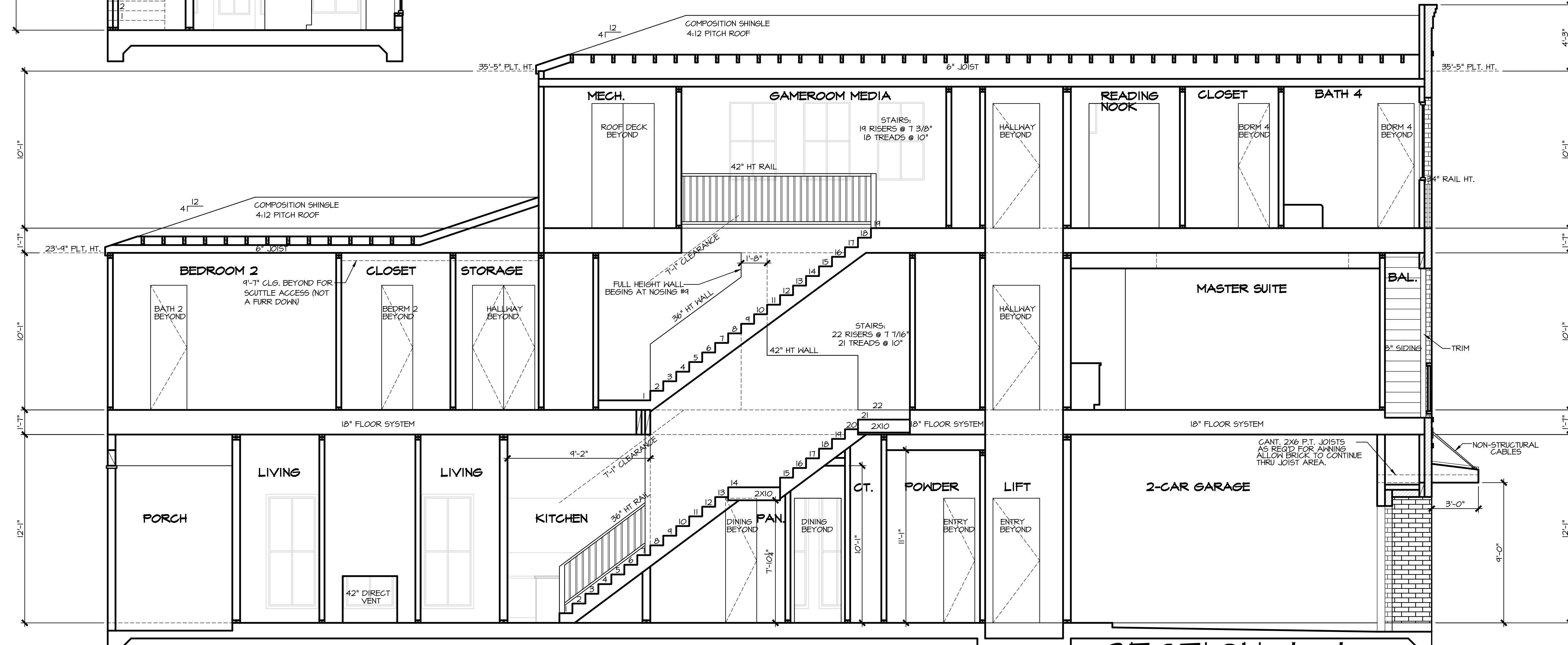
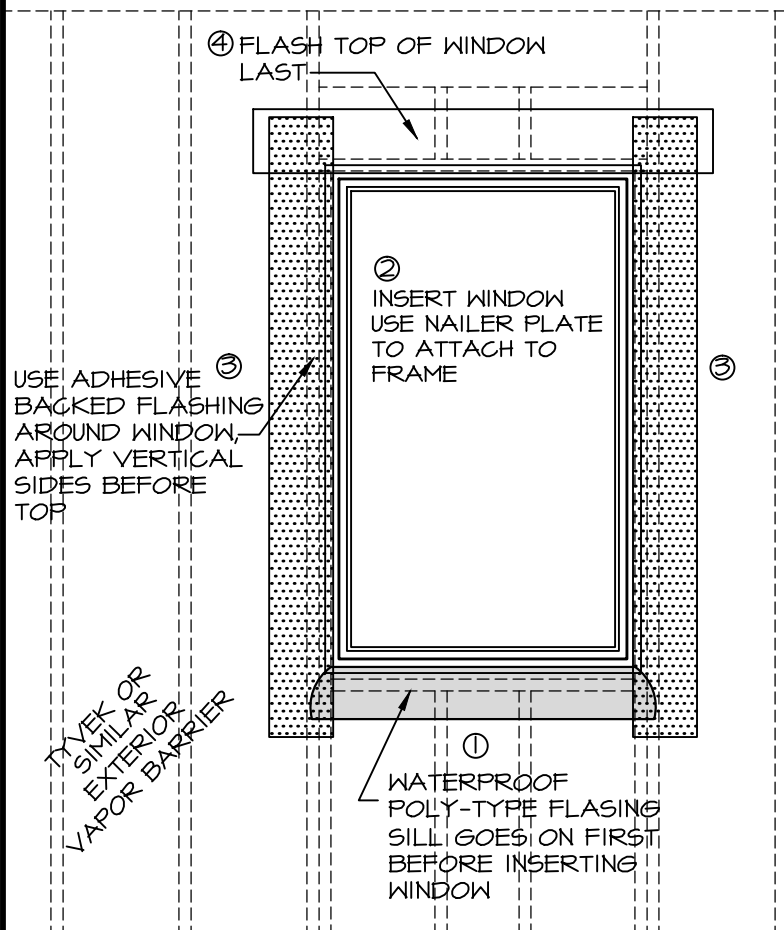
SECTION B-B
SCALE: 1/4" = 1'-0"
SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWING.



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PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

WINDOW FLASHING DETAIL



SECTION A-A
SCALE: 1/4" = 1'-0"
SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWING.

SQUARE FOOTAGES

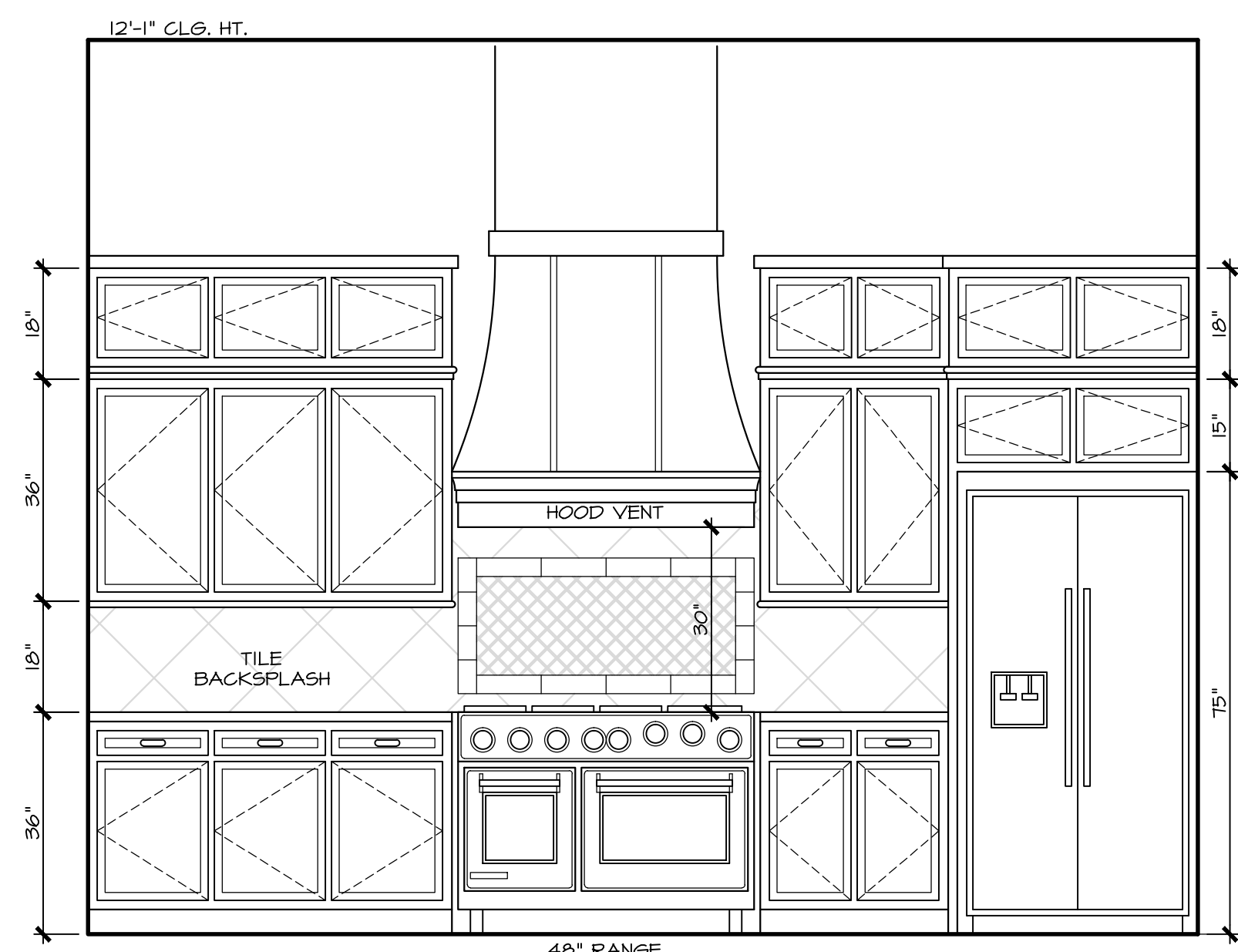
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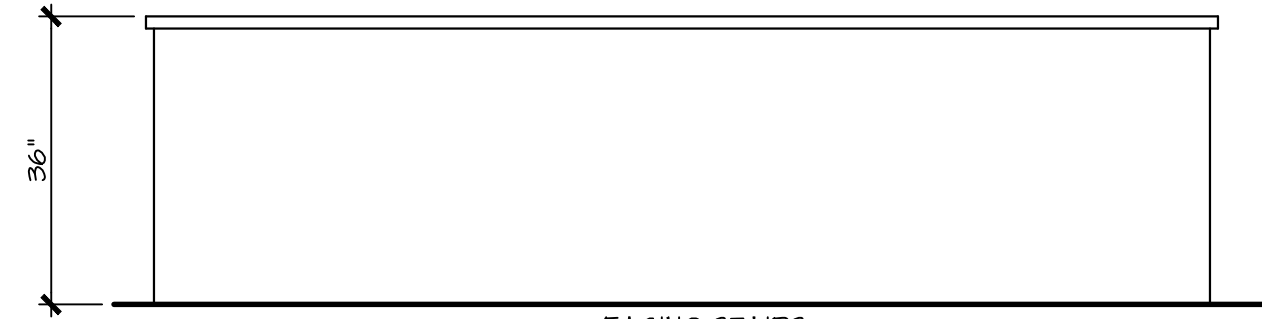
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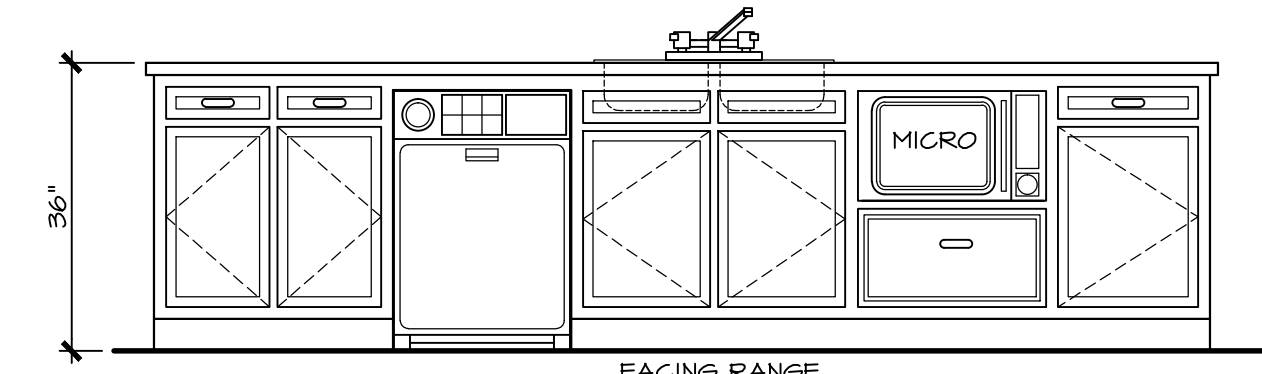
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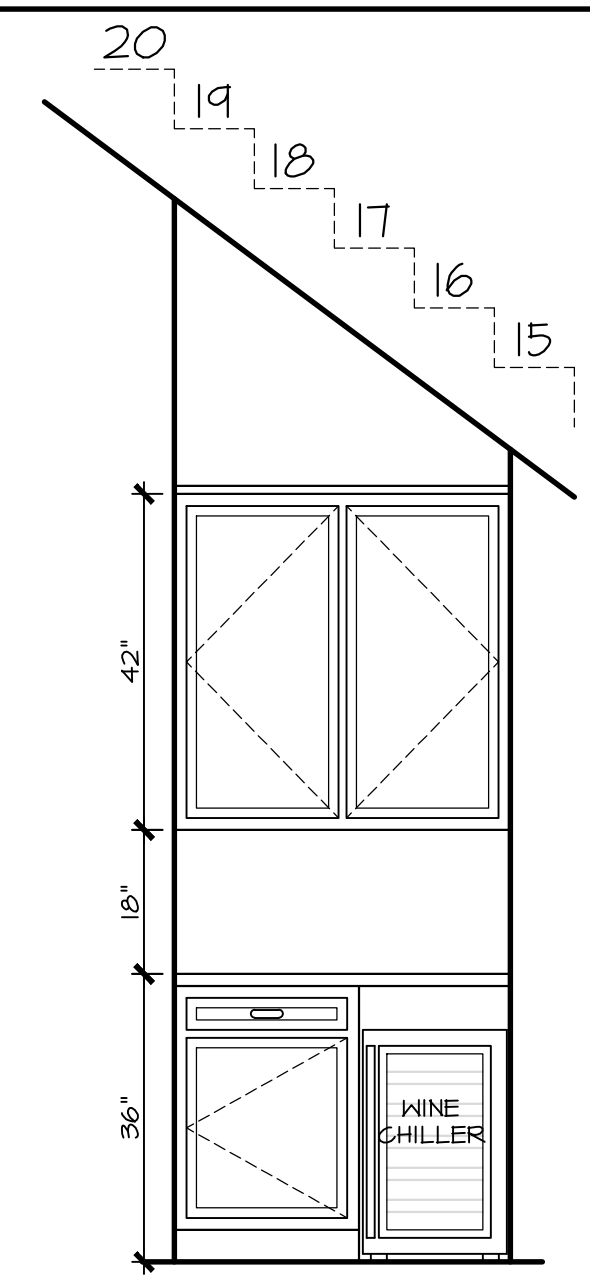
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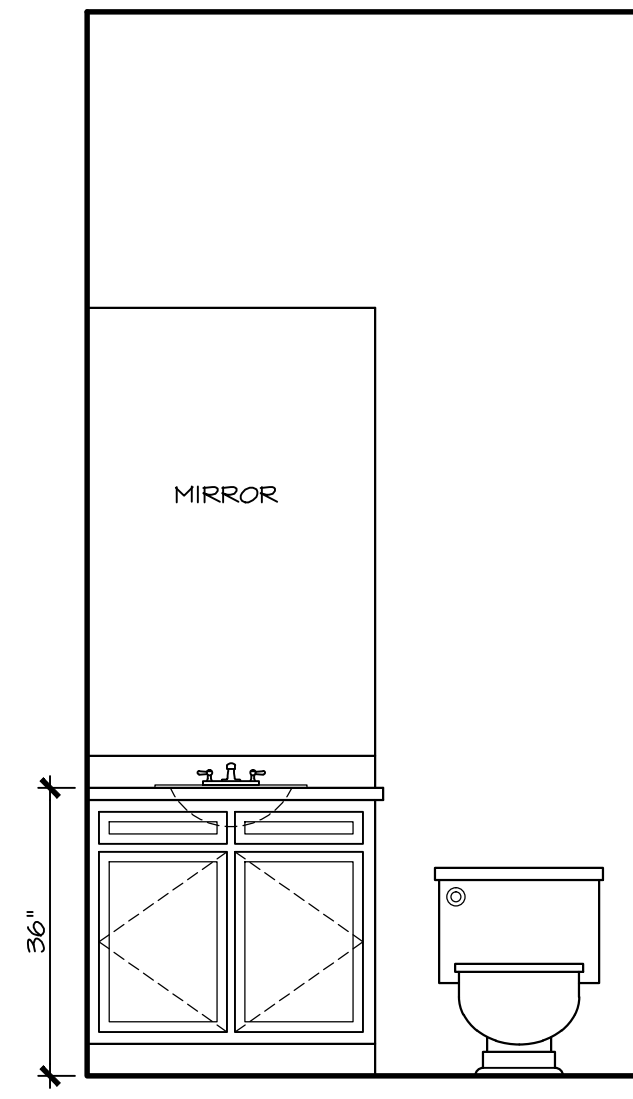
FACING STAIRS



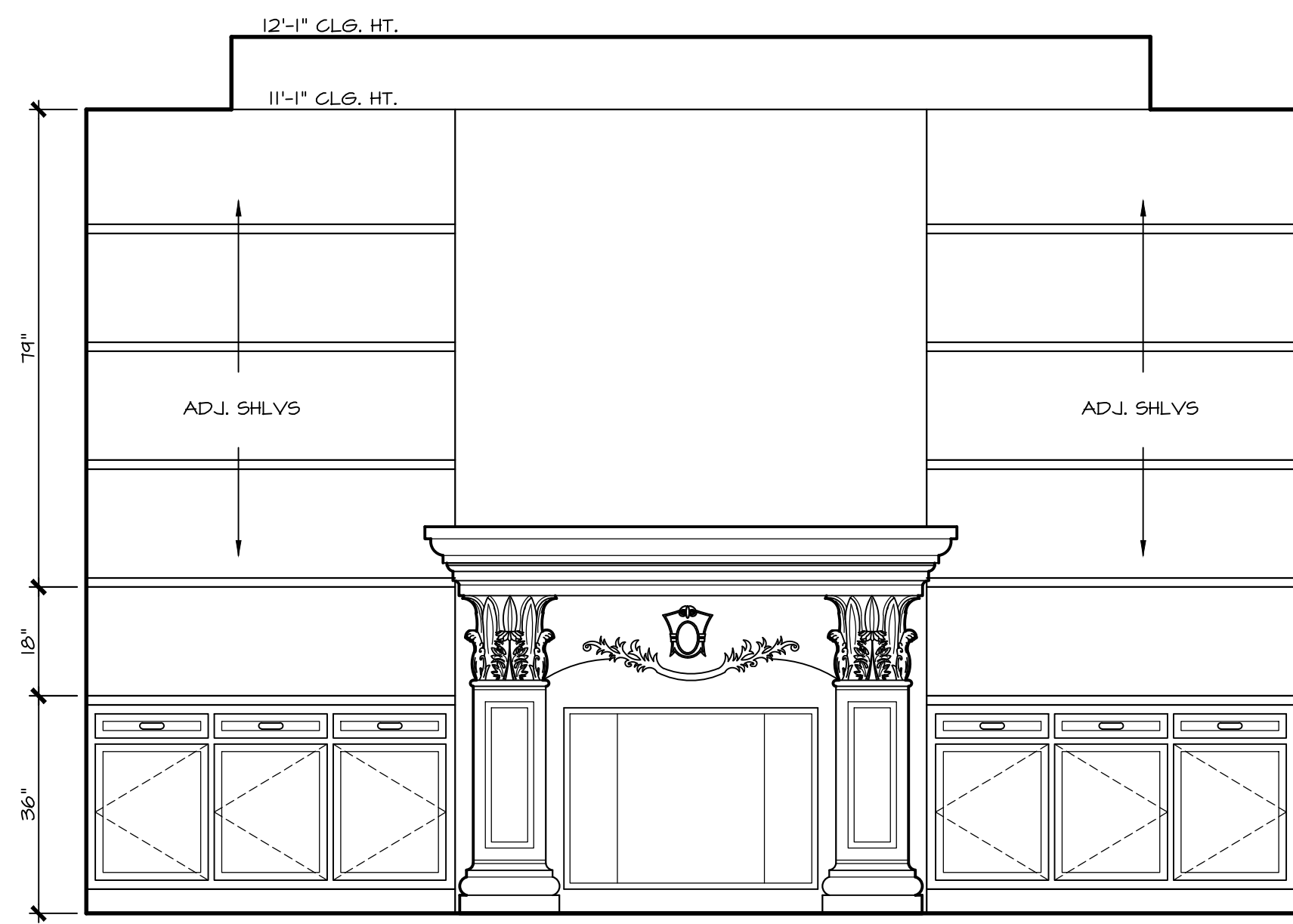
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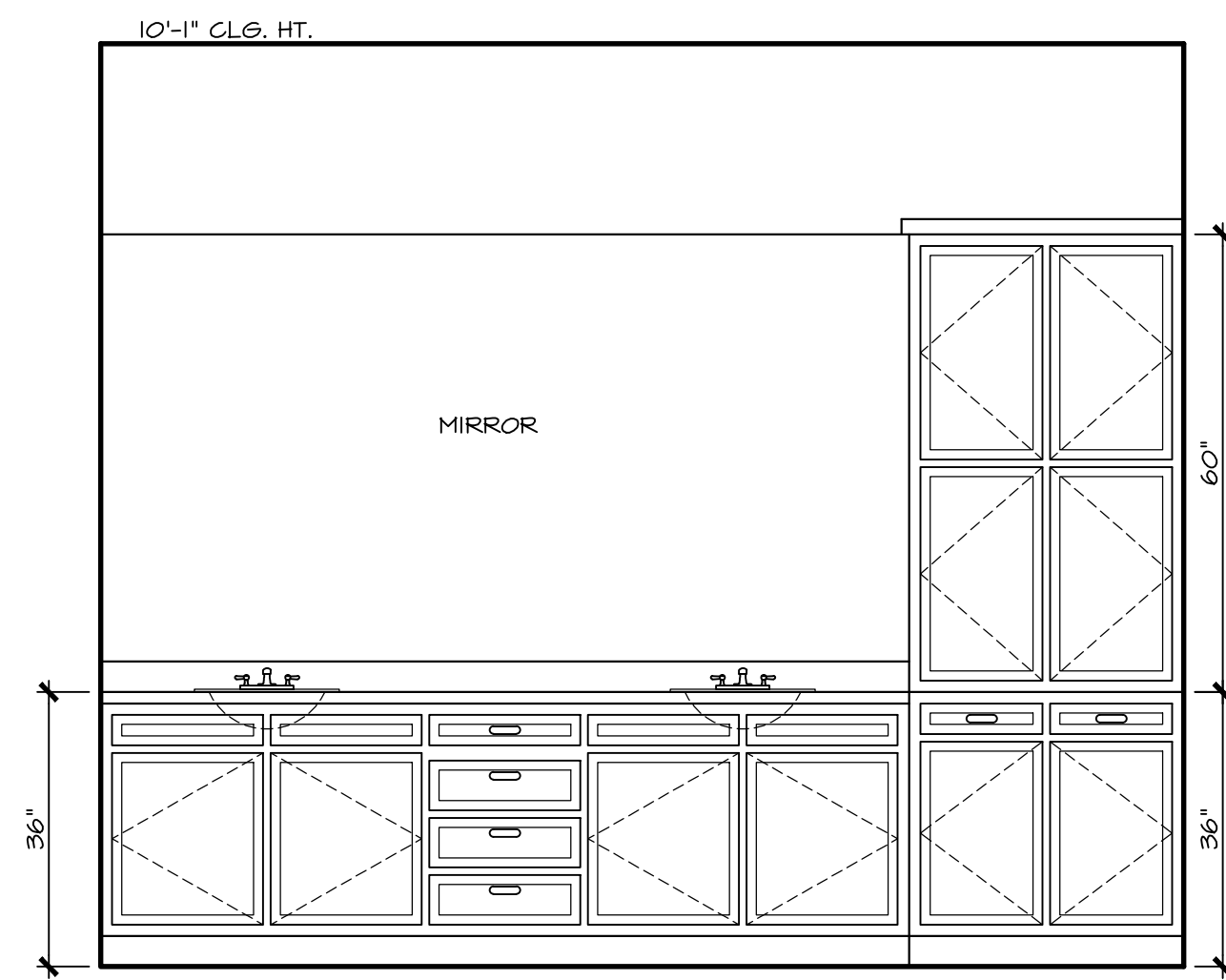
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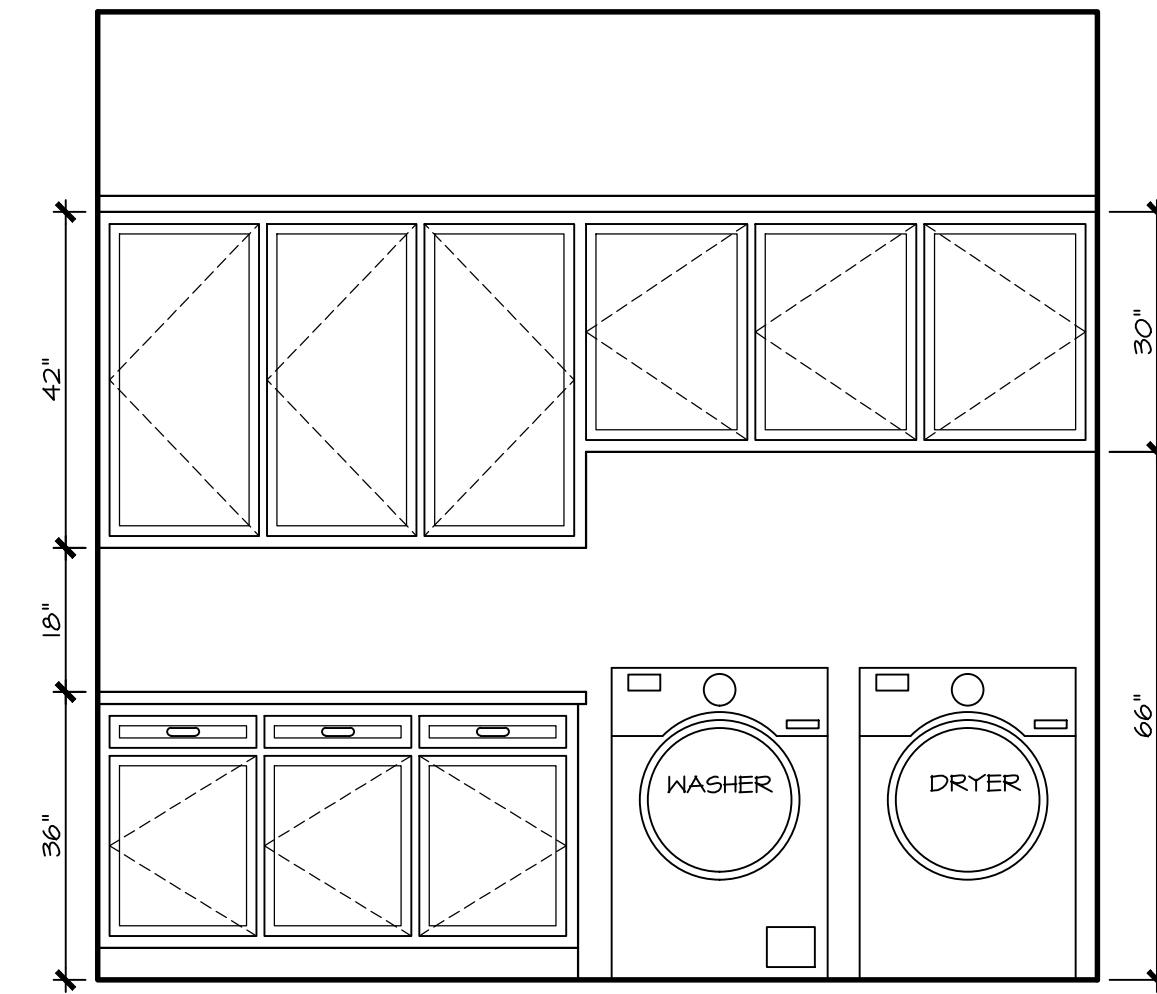
PWDR.



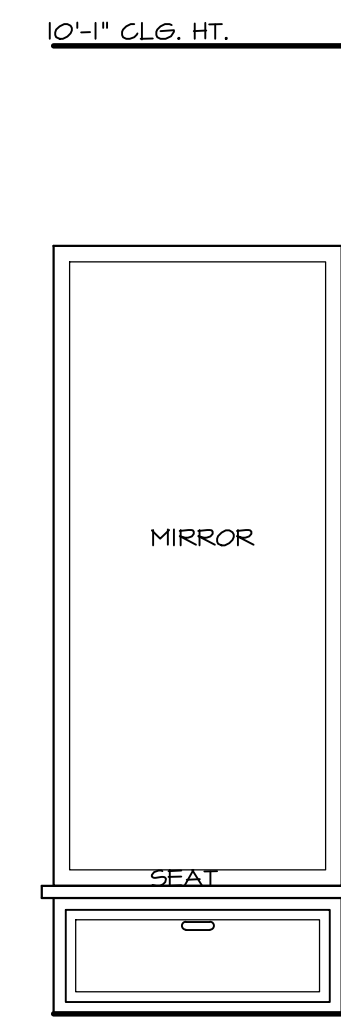
LIVING



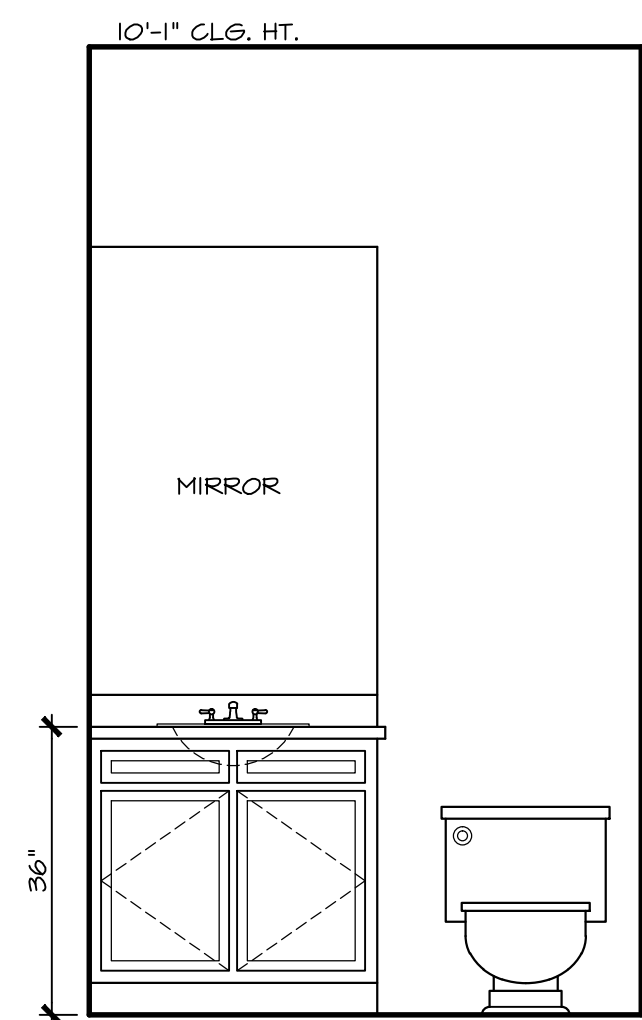
MASTER BATH



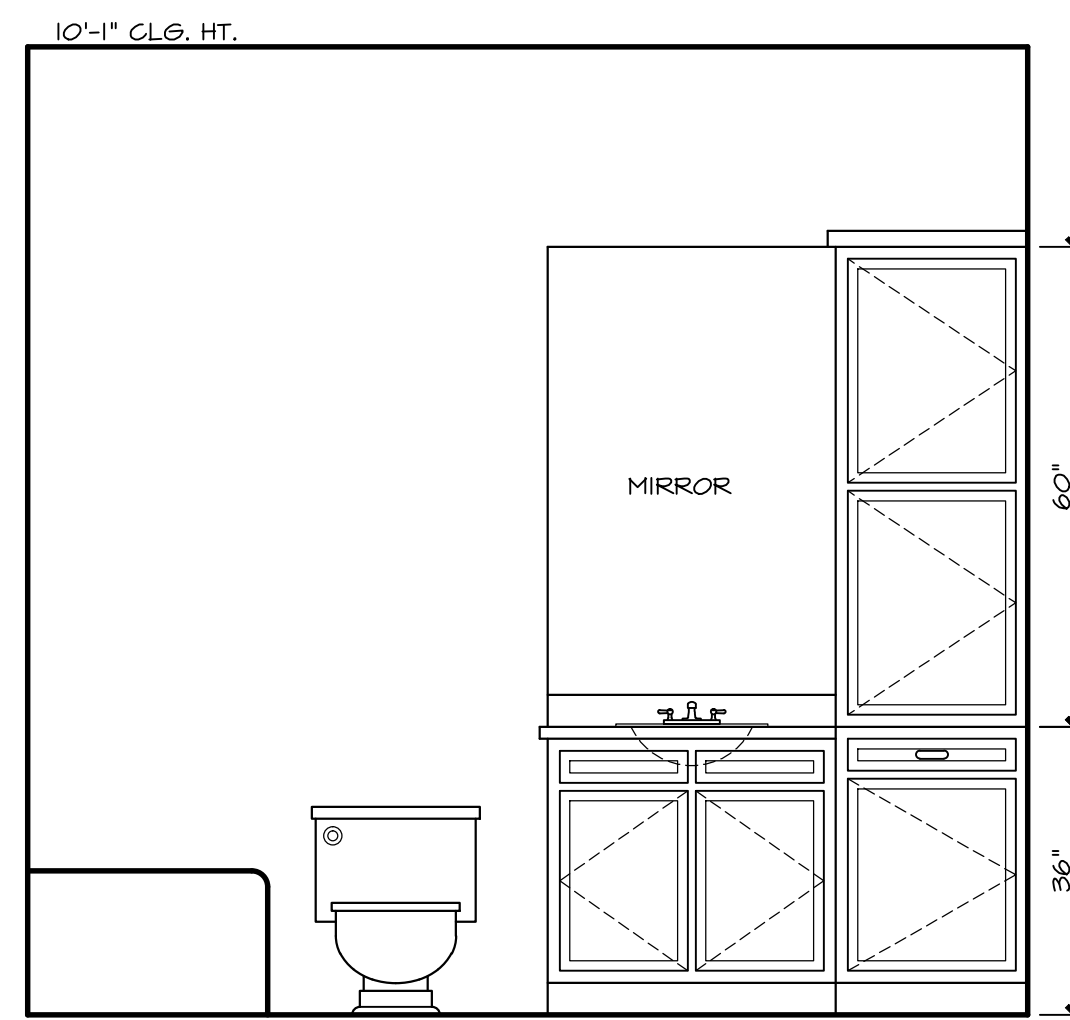
UTILITY



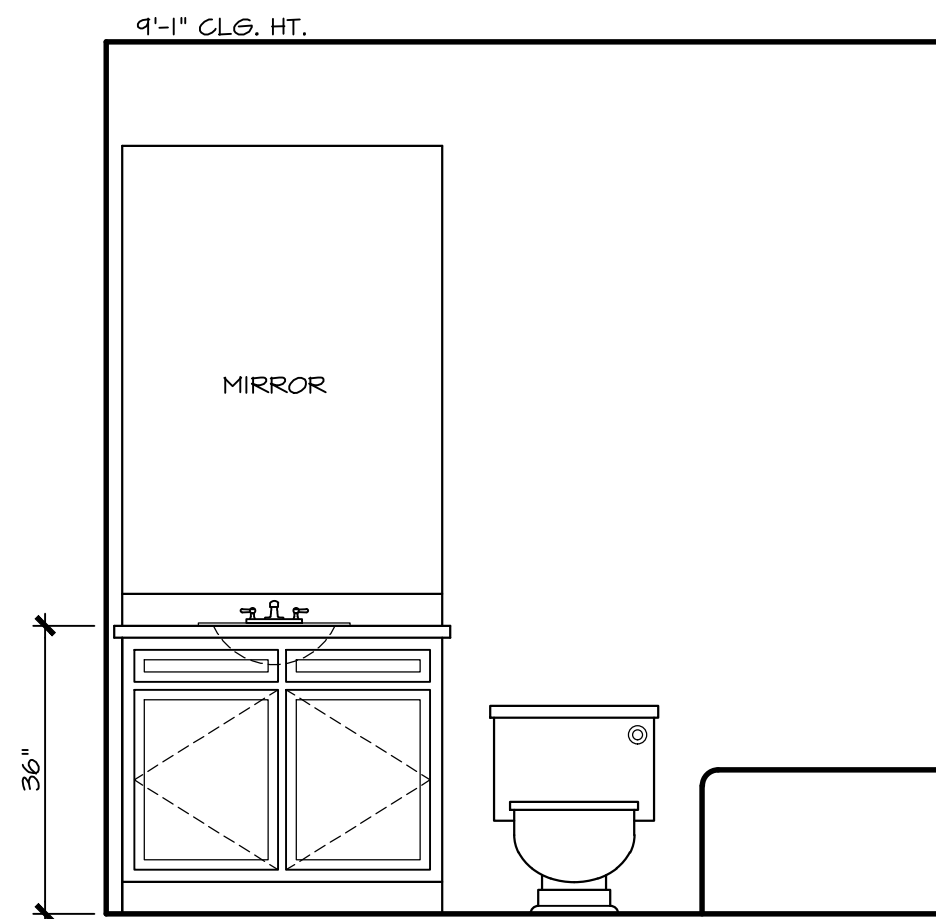
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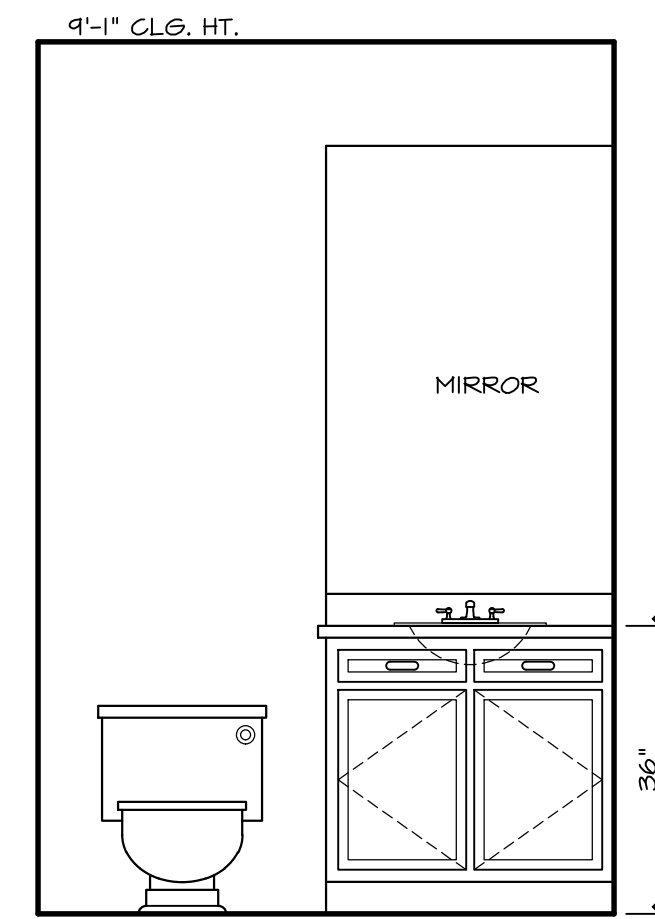
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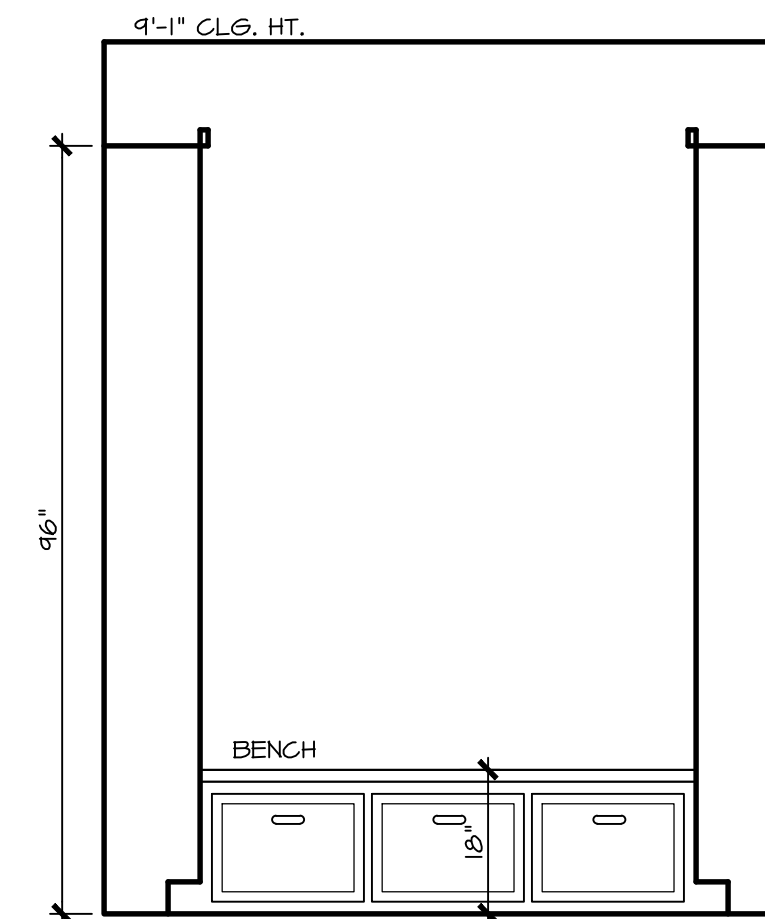
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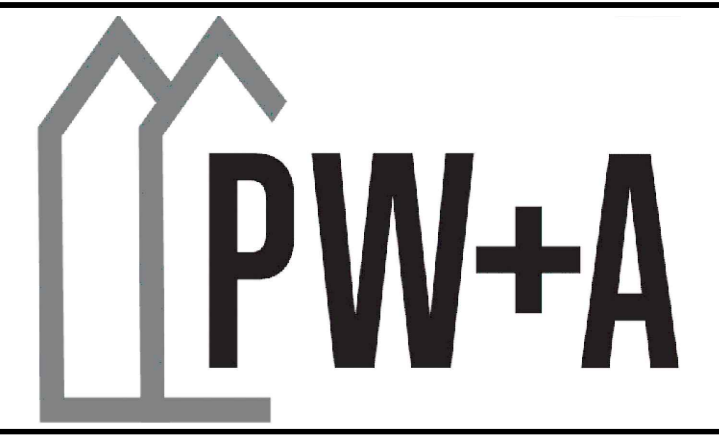
BATH 4



BATH 5



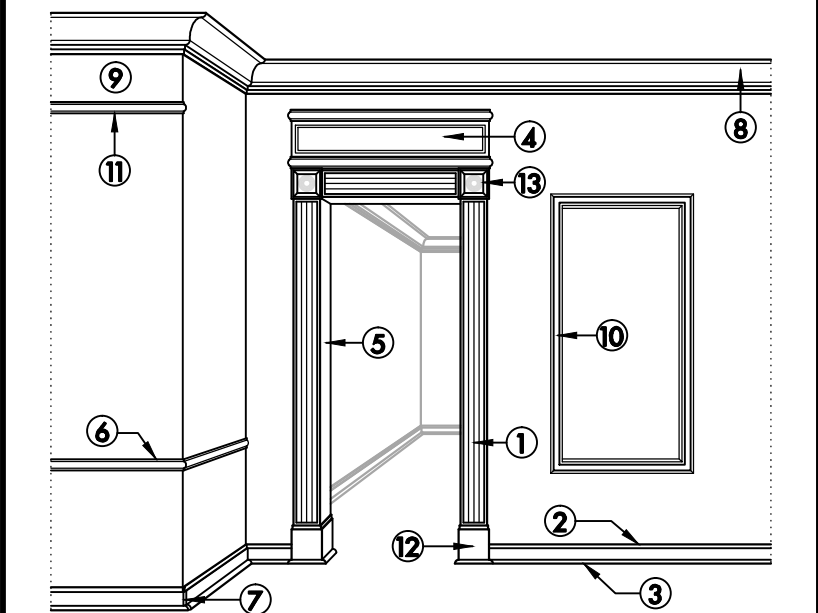
READING NOOK



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MOULDING DEFINITIONS

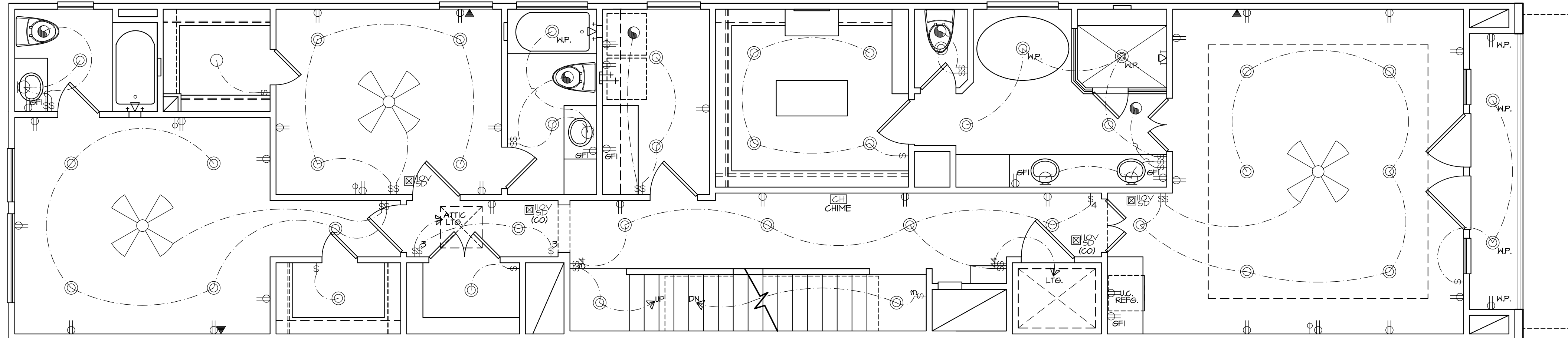


- 1. ARCHITRAVE - THE MOULDED FRAME SURROUNDING A DOOR, WINDOW OR C.O. - ALSO CALLED CASING.
- 2. BASEBOARD - THE BOARD (PLAIN OR MOULDED) WHICH RUNS AROUND THE BOTTOM OF AN INTERIOR WALL AND COVERS THE JUNCTION OF THE FLOORBOARDS WITH THE WALL.
- 3. BASEBOARD SHOE - A THIN PIECE OF MOULDING USED TO CONCEAL THE GAP BETWEEN THE BOTTOM OF THE BASEBOARD AND THE FLOOR.
- 4. CABINET HEAD - IS THE BOXED-IN HEAD AT THE TOP OF AN ARCHITRAVE (DOOR FRAME).
- 5. CASING - THE INNER PART OF THE FRAME IN WHICH THE DOOR OR WINDOW IS HUNG. IT IS ALSO WHERE THE ARCHITRAVE AND OTHER TRIM DETAILS, SUCH AS STOPS, ARE FIXED. THE CASING IS COMPRISED OF THE HEAD & JAMB. SEE ARCHITRAVE DEFINITION.
- 6. CHAIR RAIL - A HORIZONTAL PIECE (PLAIN OR MOULDED) ATTACHED 32" ABOVE THE FLOOR PARALLEL TO THE BASEBOARD.
- 7. CORNER BLOCK - A THIN BLOCK (PLAIN OR MOULDED) FOR INSIDE AND OUTSIDE CORNERS, USUALLY THE SAME HEIGHT AS THE BASEBOARD.
- 8. CROWN MOULDING - ANY MOULDING USED FOR THE CROWNING OR TOP FINISHING MEMBER OF A STRUCTURE. MOST COMMONLY USED IN HIGH CORNERS (WALL & CLG.).
- 9. FRIEZE - THE SPACE BETWEEN THE CEILING AND THE PICTURE RAILING (BETWEEN THE CROWN AND THE RAIL).
- 10. PANEL MOULDING - A DECORATIVE (PLAIN OR MOULDED) FLATBACK PIECE USED TO FRAME-OUT A RECTANGLE OR SQUARE ON A WALL.
- 11. PICTURE RAIL - IS A HORIZONTAL MOULDING WHICH RUNS AROUND A ROOM JUST BELOW THE CEILING.
- 12. FLINT BLOCK - A BLOCK OF WOOD PLACED AT THE DOOR MOULDINGS TO SEPERATE THE BASEBOARD FROM THE ARCHITRAVE.
- 13. ROSETTE - A DECORATIVE (PLAIN OR MOULDED) BLOCK USED AT THE UPPER CORNER OF A DOOR, WINDOW OR C.O. ATTACHED TO THE ARCHITRAVE TO ELIMINATE THE NEED FOR MITERED ARCHITRAVE CORNERS.

MILLWORK
SCALE: 1/2" = 1'-0"
THE OWNER AND BUILDER TO DETERMINE FINAL MATERIAL MAKEUP AND FINISHES. ALL VIEWS SHOWN ARE SIMPLIFIED FOR CLARITY.

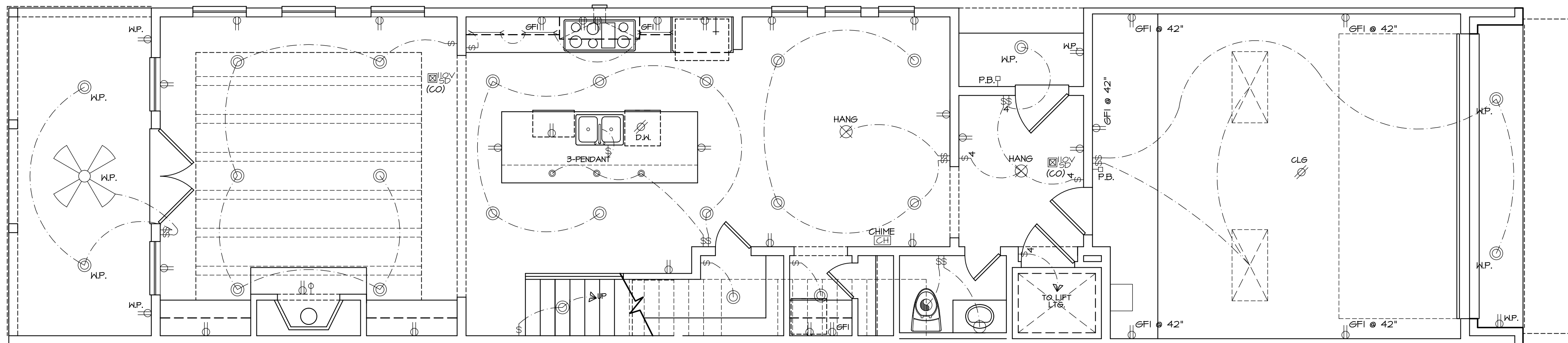
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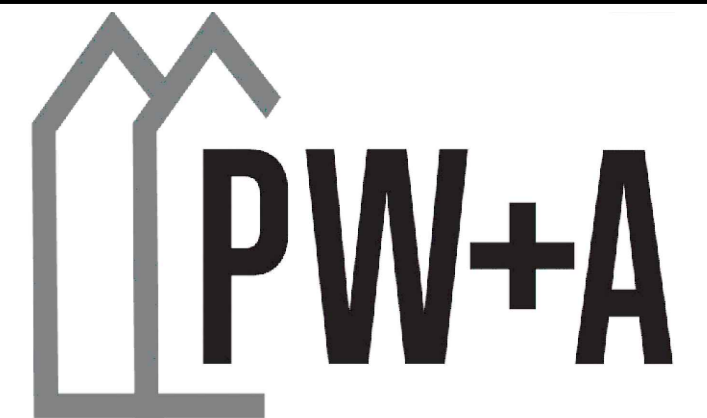
SECOND FLOOR ELECTRICAL

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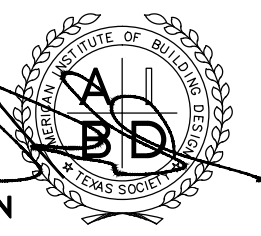


FIRST FLOOR ELECTRICAL

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ELECTRICAL SYMBOLS & NOTES

	110 VOLT RECEPTACLE		FLOOD LIGHTS
	110 VOLT W/ GROUND FAULT INTERRUPTOR		UNDER CABINET LIGHT
	110 VOLT IN CEILING		OVER CABINET LIGHT
	WATERPROOF G.F.I.		IN CABINET LIGHT
	110 VOLT IN FLOOR		220 VOLT RECEPTACLE
	110 VOLT 1/2 SWITCHED		RS-6 CABLE RECEPTACLE (TV CABLE/SATELLITE)
	220 VOLT RECEPTACLE		TELEPHONE OUTLET
	RS-6 CABLE RECEPTACLE (TV CABLE/SATELLITE)		NETWORK
	TELEPHONE OUTLET		SINGLE POLE SWITCH
	NETWORK		THREE WAY SWITCH
	SINGLE POLE SWITCH		FOUR WAY SWITCH
	THREE WAY SWITCH		DIMMER SWITCH (RHEOSTAT)
	FOUR WAY SWITCH		PUSH BUTTON SWITCH
	DIMMER SWITCH (RHEOSTAT)		CARBON MONOXIDE/SMOKE DETECTOR W/ BATTERY BACKUP
	PUSH BUTTON SWITCH		SMOKE DETECTOR W/ BATTERY BACKUP
	CARBON MONOXIDE/SMOKE DETECTOR W/ BATTERY BACKUP		THERMOSTAT
	SMOKE DETECTOR W/ BATTERY BACKUP		CHIMES
	THERMOSTAT		SPEAKER
	CHIMES		CEILING MOUNTED FIXTURE
	SPEAKER		HANGING LIGHT
	CEILING MOUNTED FIXTURE		RECESSED CAN
	HANGING LIGHT		WATERPROOF RECESSED CAN
	RECESSED CAN		RECESSED EYEBALL SPOT
	WATERPROOF RECESSED CAN		WALL MOUNTED FIXTURE
	RECESSED EYEBALL SPOT		PORCELAIN FIXTURE W/ FULL CORD
	WALL MOUNTED FIXTURE		EXHAUST FAN
	PORCELAIN FIXTURE W/ FULL CORD		PENDANT LIGHT
	EXHAUST FAN		CEILING LIGHT W/ OPTIONAL FAN (PREMIER AND BLOCK)
	PENDANT LIGHT		

ELECTRICAL NOTES

- SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
- PROVIDE G.F.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
- RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTOLIER 1102 IC - 1105 OR EQUAL. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
- ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 6'-0" FROM ANY PROPERTY LINE. DRYER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SATORS AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.

ELECTRICAL NOTE:
 ELECTRICAL PLANS ARE PROVIDED FOR DESIGN INTENT ONLY. VERIFY LOCATIONS OF FIXTURES, SWITCHES, OUTLETS AND EQUIPMENT WITH A LICENSED PROFESSIONAL ELECTRICIAN.

SQUARE FOOTAGES

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TOTAL LIVING:	3381 S.F.
GARAGE:	411
TOTAL SLAB:	1565
BALCONY:	46
COVERED ROOF DECK:	157
STORAGE:	35
TOTAL COVER:	4208 S.F.

STONEFIELD HOMES

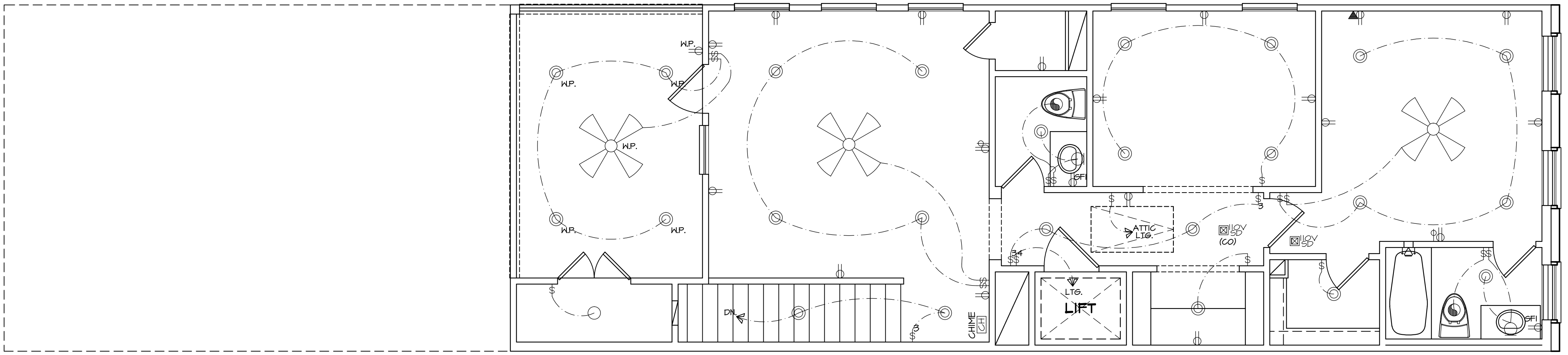
HOUSTON HEIGHTS LT 40, BLK 44
 219 W. 23RD STREET, HOUSTON, TX 7008

JOB # F2162-A1.1-R-v4 **10** OF **13**

PERMIT SET ISSUE DATE: 23 February 2023

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THIRD FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



PRESTON WOOD & ASSOCIATES, LLC
 500 Lovett Blvd., Suite 250 Houston, TX 77006
 phone: 713.522.2724
 www.jackprestonwood.com
 Jack Preston Wood PBD Certification: TX-431
 AMERICAN INSTITUTE OF BUILDING DESIGN

REDRAW # F0012-C1.1-v3

DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	12 December 2019	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	9-13-22	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

SQUARE FOOTAGES

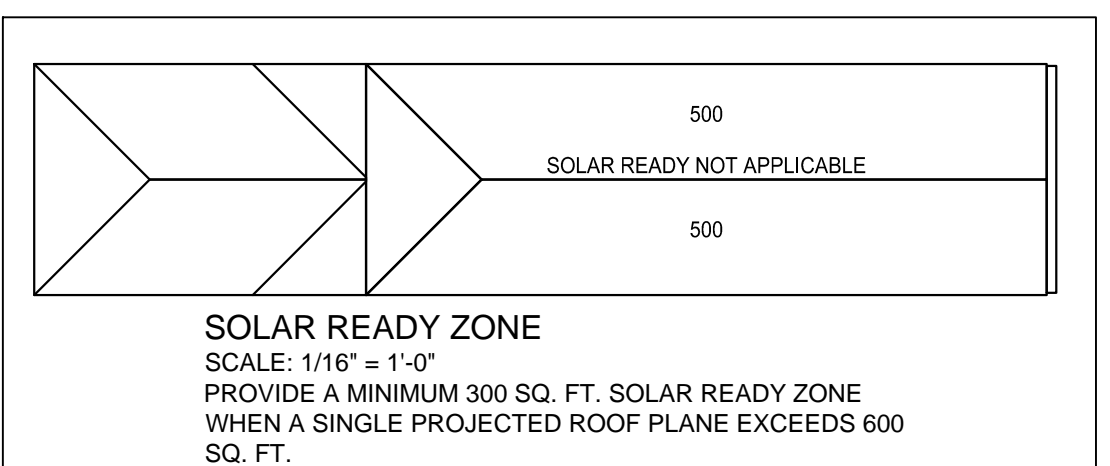
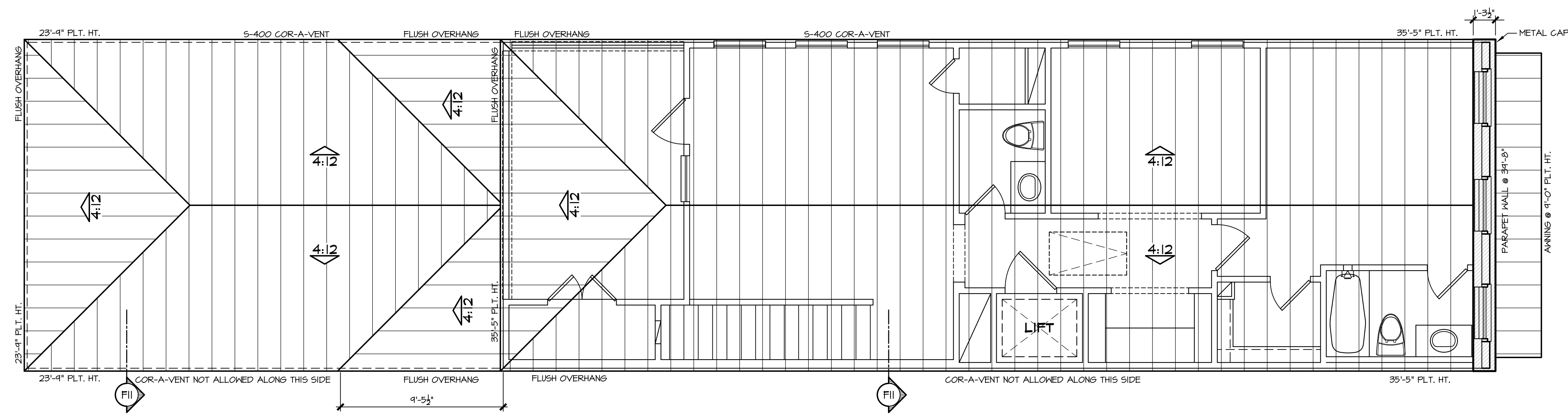
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JOB #
F2162-A1.1-R-v4 **11** OF **13**

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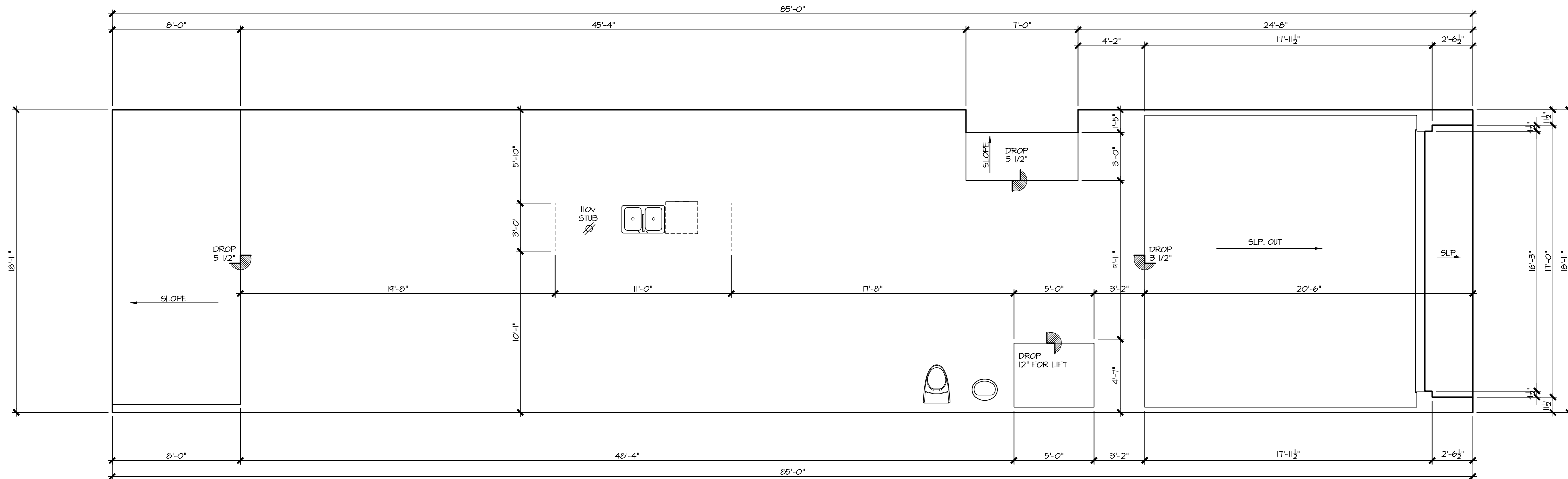
SOLAR READY ZONE NOT APPLICABLE 2015 IRC APPX U
 A SOLAR READY ZONE WILL NOT BE REQUIRED FOR THIS BUILDING/DWELLING AS AT LEAST ONE OF THESE CONDITIONS APPLY:
 1. THERE IS NO INDIVIDUAL PROJECTED ROOF PLANE AREA GREATER THAN 600 SQUARE FEET.
 2. THE QUALIFIED PROJECTED ROOF PLANE IS UNABLE TO PROVIDE FOR A MINIMUM 300 SQUARE FEET CONTIGUOUS SOLAR READY AREA.

MINIMUM ROOF/ATTIC VENTILATION	
R806.2 EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.	
NET FREE VENTILATING AREA (NFVA)	
ATTIC AREA:	1608 sq.ft.
MINIMUM NFVA - UPPER HALF OF ATTIC (@50%):	386 sq.in.
MINIMUM NFVA - LOWER HALF OF ATTIC (@50%):	386 sq.in.
TOTAL MINIMUM NFVA REQUIRED:	772 sq.in.

- BUBBLE NOTES:**
 1) ADJUST SLOPES TO MATCH RIDGES.
 2) ADJUST OVERHANGS TO MATCH FASCIA.
 3) ADJUST PLATE HEIGHT TO MATCH FASCIA.

ROOF PLAN

SCALE: 1/4" = 1'-0"
 PLATE HEIGHTS AS NOTED.
 SLOPES AS NOTED.
 12" OVERHANGS FROM FRAME U.N.O.
 8" OVERHANG AT GABLE ENDS U.N.O.
 6" OVERHANGS AT DORMERS U.N.O.
 SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.
 ROOF MATERIAL: COMPOSITION SHINGLES
 PLUMBING VENTS AND ALL OTHER PENETRATIONS THROUGH ROOF DECKING SHALL BE DIRECTED TO BACK ROOF SLOPE.
 MINIMIZE PLUMBING VENT PENETRATIONS THROUGH ROOF DECKING.
 COLOR COORDINATE PIPING TO ROOF MATERIAL WHERE APPLICABLE.



FOUNDATION OUTLINE

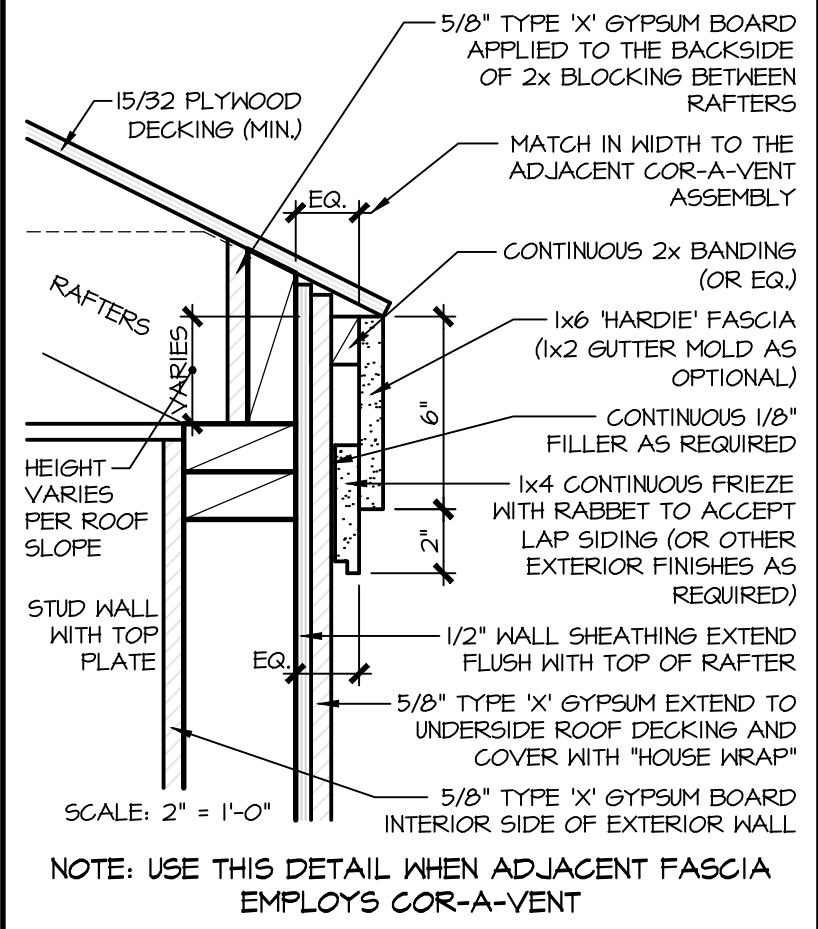
SCALE: 1/4" = 1'-0"
 DIMENSION OF DROPS AND LABELING OF SLOPES TAKES PRECEDENCE ON THIS PAGE.
 DROP VALUES (U.O.N.):
 3 1/2" FOR PORCHES, TIRE STOPS, SHOWER STALLS.
 1 1/2" FOR OVERHEAD DOORS.
 12" FOR ELEVATOR PITS.
 TERMITE PROTECTION SHALL BE PROVIDED IN ONE OF THE FOLLOWING WAYS:
 CHEMICAL TERMITICIDE TREATMENT, TERMITE BATING, PRESSURE-PRESERVE-TREATED WOOD NATURALLY DURABLE TERMITE RESISTANT WOOD, PHYSICAL BARRIERS, OR COLD FORMED STEEL



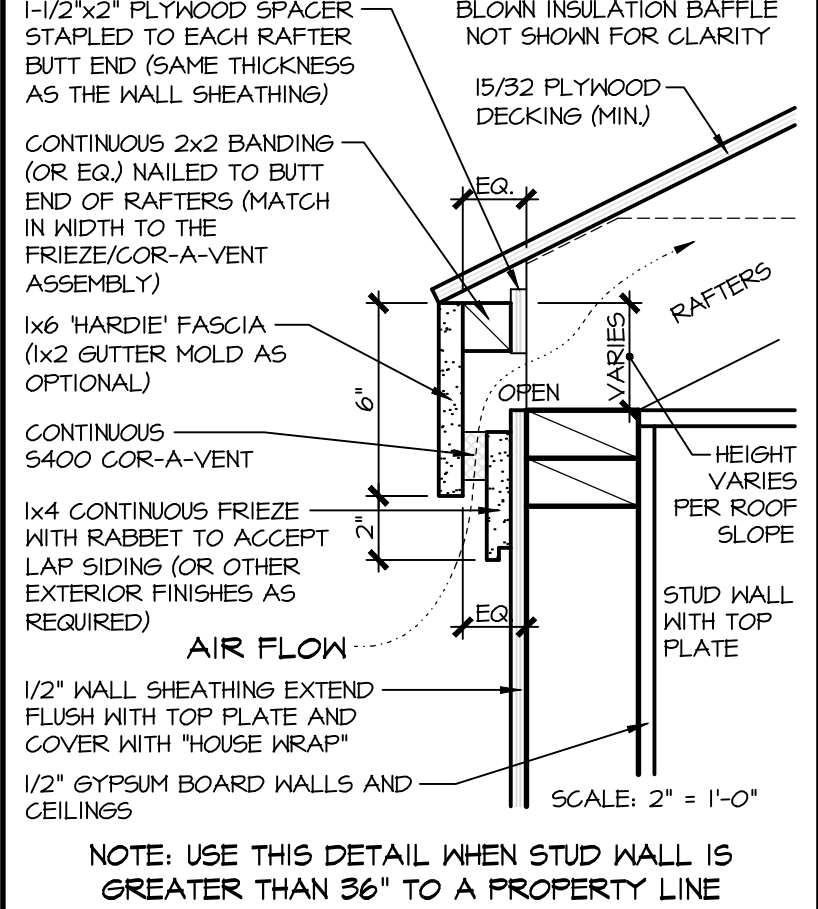
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PRODUCTION 2: EB	DATE: 9-13-22	CORRECTIONS: XXX	DATE: X-X-XX
PRODUCTION 3: XXX	DATE: X-X-XX	CHECKED: XXX	DATE: X-X-XX

FLUSH OVERHANG - ONE-HOUR FIRE-RATED WALL



FLUSH OVERHANG - S400 COR-A-VENT



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JOB # **F2162-A1.1-R-v4** 12 OF 13
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