

1543 COLUMBIA ST.

Houston, TX 77008



GENERAL NOTES

THE CONTRACT DOCUMENTS CONSIST OF THE CONTRACT, GENERAL CONDITIONS, CONSTRUCTION DOCUMENTS, SPECIFICATIONS, ALLOWANCES, FINISH SCHEDULES, CONSTRUCTION DRAW SCHEDULE, ALL ADDENDA, CHANGE ORDERS OR OTHER MODIFICATIONS AGREED TO BY THE OWNER AND THE CONTRACTOR.

THESE CONSTRUCTION DOCUMENTS (ARCHITECTURAL DRAWINGS) ARE INTENDED TO BE COMPLIMENTARY TO THE OTHER CONTRACT DOCUMENTS.

PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EXAMINE AND COMPARE THE CONSTRUCTION DOCUMENTS, OTHER INFORMATION FURNISHED, RELEVANT FIELD MEASUREMENTS TAKEN BY THE CONTRACTOR, AND ANY VISIBLE CONDITIONS AT THE SITE AFFECTING THE WORK.

DISCREPANCIES AND OMISSIONS
IN THE EVENT OF CONFLICT BETWEEN OR AMONG DRAWINGS AND SPECIFICATIONS, THE BETTER QUALITY OR GREATEST QUANTITY SHALL PREVAIL.

IF THE CONTRACTOR DISCOVERS ANY ERRORS, OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY REPORT THEM TO THE OWNER, THE ARCHITECT, AND THE ENGINEER.

THE CONTRACTOR SHALL PROPOSE THE MOST PRACTICAL SOLUTION TO RESOLVE THE CONFLICT OR OMISSION REQUIRING THE MINIMUM SCHEDULE AND BUDGET IMPACT AND FURTHERING THE BEST INTEREST OF THE PROJECT. THE OWNER AND ARCHITECT/ENGINEER SHALL DEVELOP AND EVALUATE THE PROPOSED SOLUTION AND PROVIDE A RESPONSE TO CONTRACTOR. IF THE SOLUTION PROMPTS CHANGES TO THE CONTRACT SUM OR CONTRACT TIME THE CONTRACT SHALL BE ADJUSTED. IF, HOWEVER, THE CONTRACTOR FAILS TO PERFORM THE EXAMINATION AND REPORTING OBLIGATIONS OF THESE PROVISIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AVOIDABLE COSTS OR DIRECT DAMAGES.

COMPLETION
CONTRACTOR SHALL PROVIDE WITHOUT EXTRA CHARGE ALL INCIDENTAL ITEMS REQUIRED AS PART OF HIS/HER WORK. HE WILL BE HELD RESPONSIBLE FOR THE PROPER EXECUTION OF A SATISFACTORY AND COMPLETE JOB IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRAWINGS AND SPECIFICATIONS AND AS NECESSARY FOR OBTAINING A CERTIFICATE OF OCCUPANCY. ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS FOR EACH PART OF THE WORK.

CONTRACTOR SHALL NOT DEVIATE FROM THE CONTRACT DOCUMENTS WITHOUT A DESCRIPTION AND COST PROPOSAL OF THE CHANGE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO ANY CHANGE MADE IN THE FIELD.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK REQUIRED TO MEET THE DESIGN INTENT OF THE DOCUMENTS AND COORDINATION OF ALL THE CONSTRUCTION DISCIPLINES REQUIRED TO COMPLETE THE WORK. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND SEQUENCE OF THE WORK.

WORKMANSHIP/QUALITY
THE CONTRACTOR WARRANTS TO THE OWNER THAT MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE OF GOOD QUALITY AND NEW.

THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

THE WORK IS TO BE STRAIGHT, SQUARE, PLUMB, AND LEVEL.

SAFETY
CONTRACTOR SHALL MAINTAIN A SAFE WORK AREA AT ALL TIMES AND COMPLY WITH ALL APPLICABLE REGULATIONS DICTATING SAFETY REQUIREMENTS.

PROTECTION/CLEANLINESS
THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE ENTIRE JOB SITE PREMISES. CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA AND SHALL REMOVE ALL DEBRIS AND DISPOSE OF IT PROPERLY.

CONTRACTOR SHALL PROTECT TREES, OTHER VEGETATION, ADJACENT PROPERTIES, AND OTHER EXISTING CONDITIONS.

PERMITS
CONTRACTOR WILL PROVIDE ALL PERMITS IN COMPLIANCE WITH ALL CODES AND AS REQUIRED FOR ALL ITEMS OF CONSTRUCTION.

WARRANTY
CONTRACTOR SHALL GUARANTEE THE WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTIVE MATERIALS, EQUIPMENT OR WORKMANSHIP, AND SHALL REPLACE OR REPAIR TO THE SATISFACTION OF THE OWNER, DEFECTS DEVELOPING WITHIN THAT PERIOD AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL DELIVER TO THE OWNER ALL MANUFACTURERS' GUARANTEES, SERVICE CONTRACTS, AND ALL OTHER WARRANTIES SPECIFIED TO EXTEND BEYOND THE ONE YEAR PERIOD OF HIS WARRANTY.

INDEMNIFICATION
TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, ARCHITECT'S CONSULTANTS AND AGENTS AND EMPLOYEES FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK,

SHEET INDEX

COVER

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- S4.1 FRAMING DETAILS

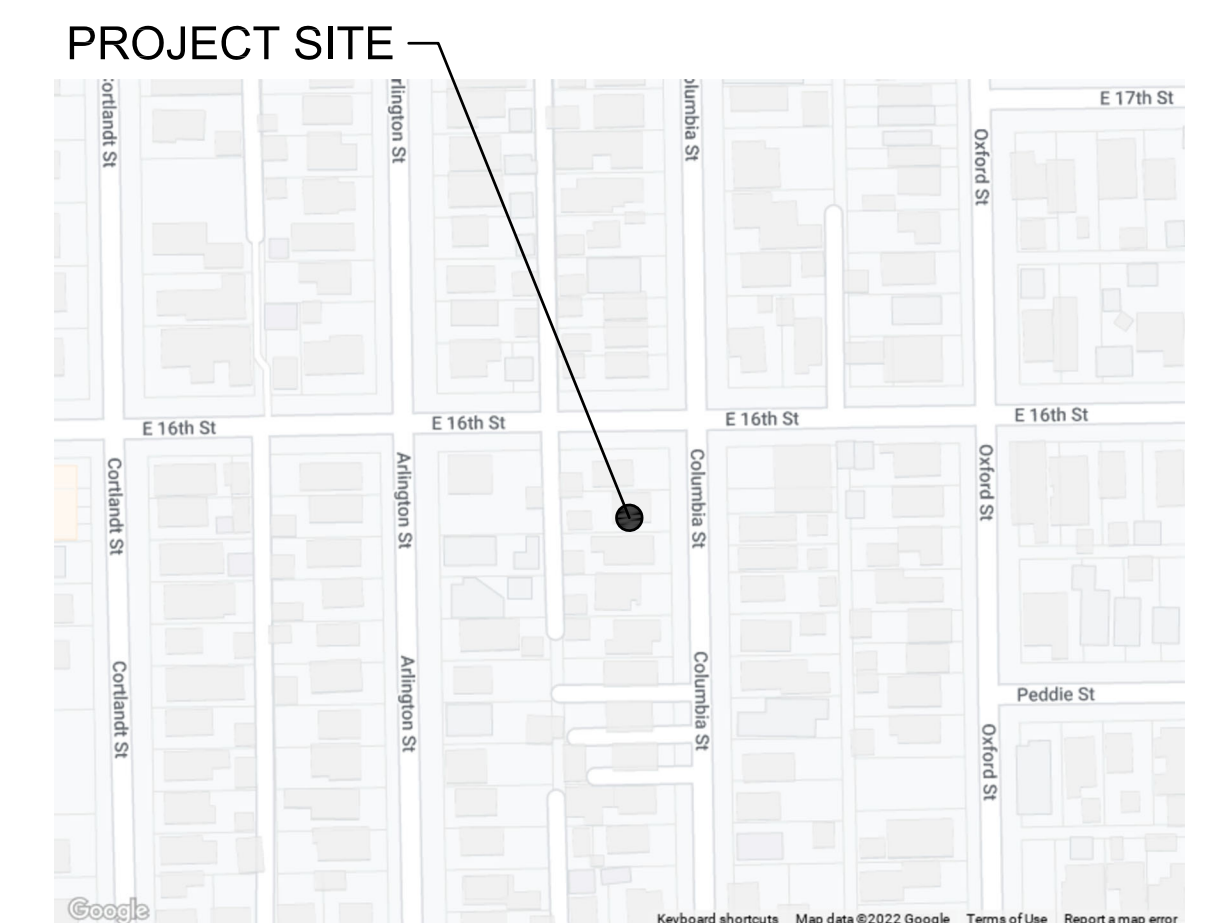
PROJECT INFORMATION

OCCUPANCY: R-3 (SF RESIDENTIAL)
CONSTRUCTION TYPE: V-B
CODES: IRC 2015
C.O.H. AMENDMENTS
2015 IECC

SQUARE FOOTAGES:
EXISTING FIRST FLOOR 864.0 SQ. FT.
ADDITION FIRST FLOOR 838.0 SQ. FT.
ADDITION SECOND FLOOR 966.0 SQ. FT.
TOTAL COND SPACE 2668 SQ. FT.

ADDITION GARAGE 496 SQ. FT.
ADDITION PORCH 315 SQ. FT.
ADDITION CARPORT 426 SQ. FT.
EXISTING FRONT PORCH 96 SQ. FT.
TOTAL COVERED 4001 SQ.FT.

VICINITY MAP



DRAWING ISSUE

11.03.2022 FOR PERMIT

OWNER

NAME
ADDRESS
PHONE
EMAIL

GENERAL CONTRACTOR

NAME
ADDRESS
PHONE
EMAIL

STRUCTURAL ENGINEER

BEC Engineering and Consultant, LLC
3200 Wilcrest Dr. 440
Houston, TX 77042
832.240.3771
kbreckon@becengineering.com

ARCHITECT

Design 3 Studio, Inc.
1824 Spring St 216
Houston, TX 77007
713.225.7454
whatsapp@design3inc.com

DESIGN3
STUDIO, INC.

713.225.7454 / whatsapp@design3inc.com

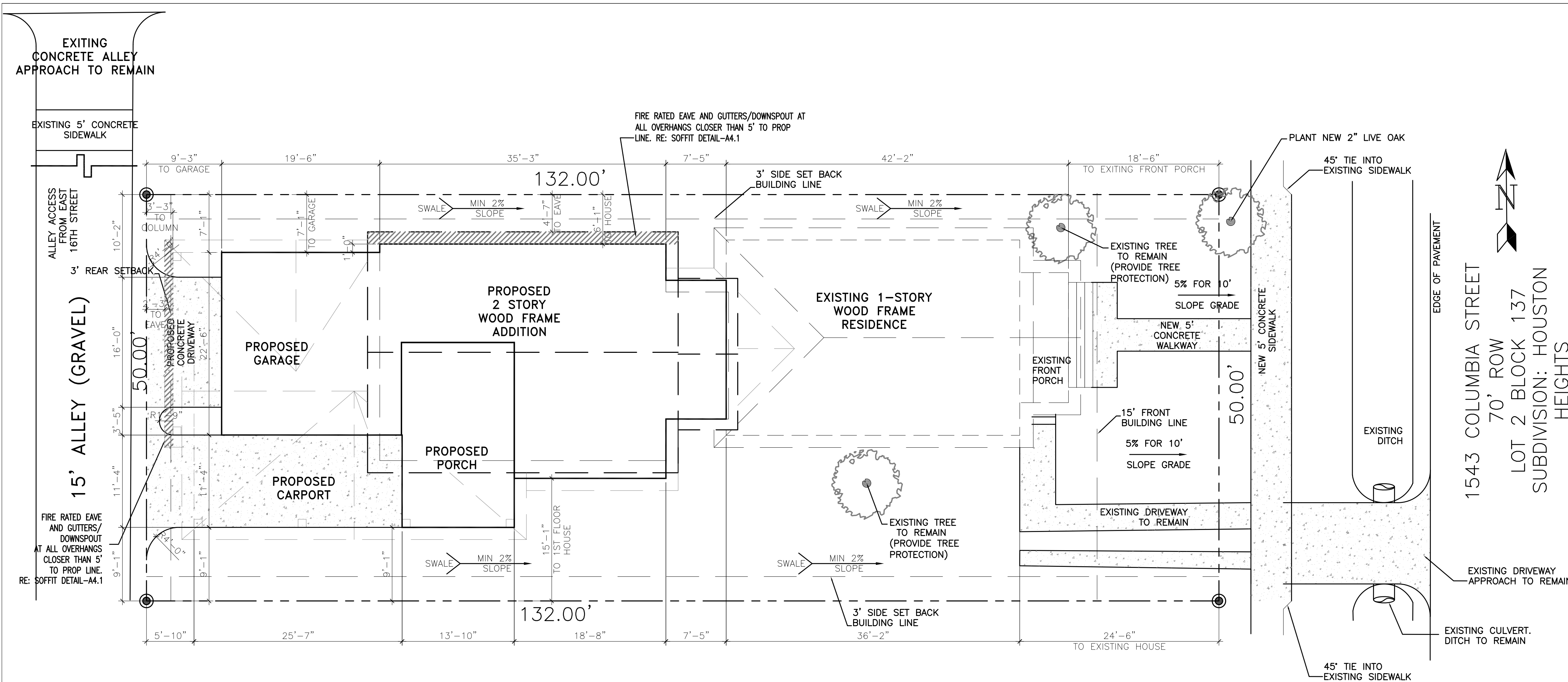
2213 - 1543 COLUMBIA

FISHER LANE BUILDERS

HOUSTON HEIGHTS HISTORIC DISTRICTS DESIGN GUIDELINES
 MAXIMUM LOT COVERAGE (Sec. 5-9) AND MAXIMUM FLOOR AREA RATIO (Sec. 5-12)

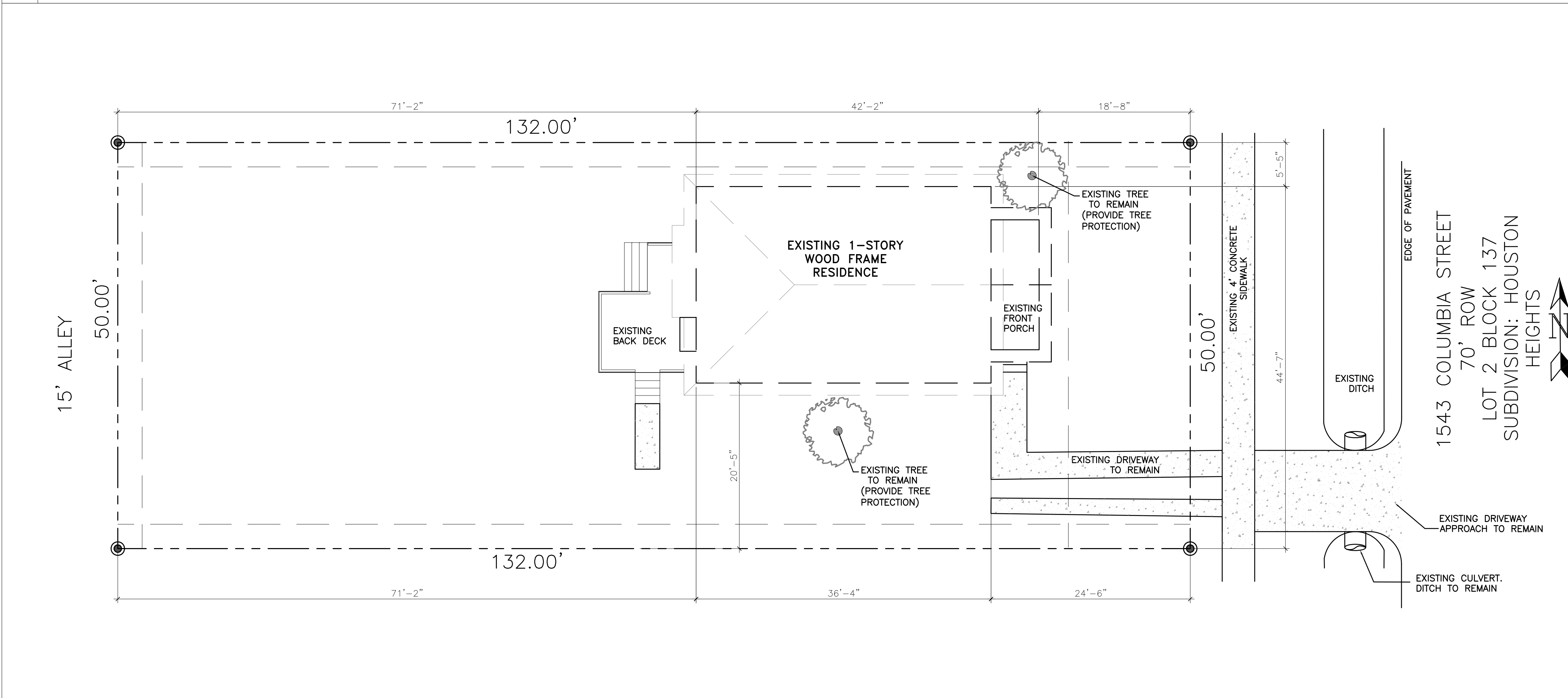
LOT SIZE	Maximum Lot Coverage (Footprint Only)	(lot size x MLC = Max MLC SF)
<4000	.44 (44%)	
4000-4999	.44 (44%)	
5000-5999	.42 (42%)	
6000-6999	.40 (40%)	2640
7000-7999	.38 (38%)	
8000+	.38 (38%)	

Existing House	864
Existing Other Detached Structures	0
Proposed Addition (including attached garage)	1334
Proposed Detached Garage	0
Garage Exemption	
Detached Garage Exemption (footprint only)	
• Reduction up to 528 sqft	
Attached Garage Exemption (one-story only)	-264
• Reduction up to 264 sqft	
Final Total Maximum Lot Coverage	1934



01 PROPOSED SITE PLAN

02 LOT COVERED AREA 1/8" = 1' NOTS



03 EXISTING SITE

1. FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER.
2. VERIFY LOCATION OF HOUSE ON LOT AND VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE AND SETBACK LINES PRIOR TO CONSTRUCTION. PROVIDE ALL SURVEYING, STAKING AND LAYOUT TO PROPERLY LOCATE THE IMPROVEMENTS OF THE SITE.
3. DETERMINE LOCATION OF WATER METER AND CONTACT THE LOCAL AUTHORITY TO CONNECT. WATER PIPE TO BE SCH. 40 P.V.C. (OR EQUAL).
4. CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. (OR EQUAL).
5. RUN UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO LOCATION TO BUILDING CONNECTION.
6. GAS/ELECTRIC METER: EQUIPMENT SHALL BE LOCATED WHERE THE FACE OF THE PANEL IS NOT CLOSER THAN 36" FROM THE PROPERTY LINE. SECTION 110.26A OF THE NATIONAL ELECTRIC CODE REQUIRES 36 INCHES CLEAR SPACE IN FRONT OF ELECTRICAL EQUIPMENT. THE CLEARANCE MUST BE 20 INCHES WIDE.
7. PROTECT TREES, FENCES, AND STRUCTURES TO REMAIN (INCLUDING THOSE ADJACENT PROPERTIES). CONTROL NOISE, DUST, AND DEBRIS. ALL SITE PREPARATION SHALL TAKE PLACE BASED ON A THOROUGH UNDERSTANDING OF THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS OF GOVERNING AUTHORITIES.
8. ALL SITE PREPARATION SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. ALL DRAINAGE AND RUNOFF SHALL BE DIRECTED TO THE STREET. TYPICAL SLOPES FOR DRIVEWAYS, SIDEWALKS AND OTHER HARDSCAPES SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%. CROSS SLOPES AT SIDEWALKS AND DRIVEWAYS SHALL NOT EXCEED 2%.
9. ALL UNPAVED AREAS SHALL BE LANDSCAPED AND GRADED TO PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. DETERMINE LOCATION OF EXISTING SITE UTILITIES (SANITARY SEWER, WATER, ELECTRICAL, GAS) AND SECURE CONNECTION FROM THE APPROPRIATE UTILITY SERVICE COMPANIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FILLING, GRADING, AND LEVELING TO THE EXTENT OF PROVIDING POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND GRADE REQUIREMENTS RELATED TO FOUNDATION AS SPECIFIED IN THE DRAWINGS AND SPECIFICATIONS.

04 SITE NOTES

NTS

1543 Columbia St.
 Houston, TX 77008

SITE PLAN

Issue/Revision:
 10.04.22 HAHC COA APPLICATION

Drawing Description:

SITE PLAN

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date:

Sheet No.:

A 1.0

Nov 07, 2022 - 2:32pm

1/8" = 1'-0"

FISHER LANE BUILDERS

1543 Columbia St.
 Houston, TX 77008

1ST FLOOR PLAN

Issue/Revision:
 10.04.22 HAHC COA APPLICATION

Drawing Description:
 1ST FLOOR. EXISTING AND DEMO PLAN

Dwg. Name:
 Layer mgr: XX
 Scale: AS NOTED
 Drawn by:
 Proj. Mgr.:
 Date:
 Sheet No.:
A 1.1
 Nov 03, 2022 - 5:50pm

EXISTING SQUARE FOOTAGE

EXISTING 1ST FLOOR	868.40 SQ. FT.
TOTAL COND. SPACE	868.40 SQ. FT.
FRONT PORCH	94.67 SQ. FT.
TOTAL COVERED	963.07 SQ. FT.

03 EXISTING SQUARE FOOTAGE

WALL TYPE LEGEND - EXISTING/ AS-BUILT

- EXISTING INTERIOR WALL 2X4
- EXISTING INTERIOR WALL 2X6
- EXISTING EXTERIOR WALL 2X4, SIDING
- EXISTING EXTERIOR WALL 2X6, SIDING

WALL TYPE LEGEND - DEMOLITION

- DEMOLITION OF INTERIOR WALL 2X4
- DEMOLITION OF INTERIOR WALL 2X6
- DEMOLITION OF EXTERIOR WALL 2X6, SIDING

04 WALL TYPES LEGEND

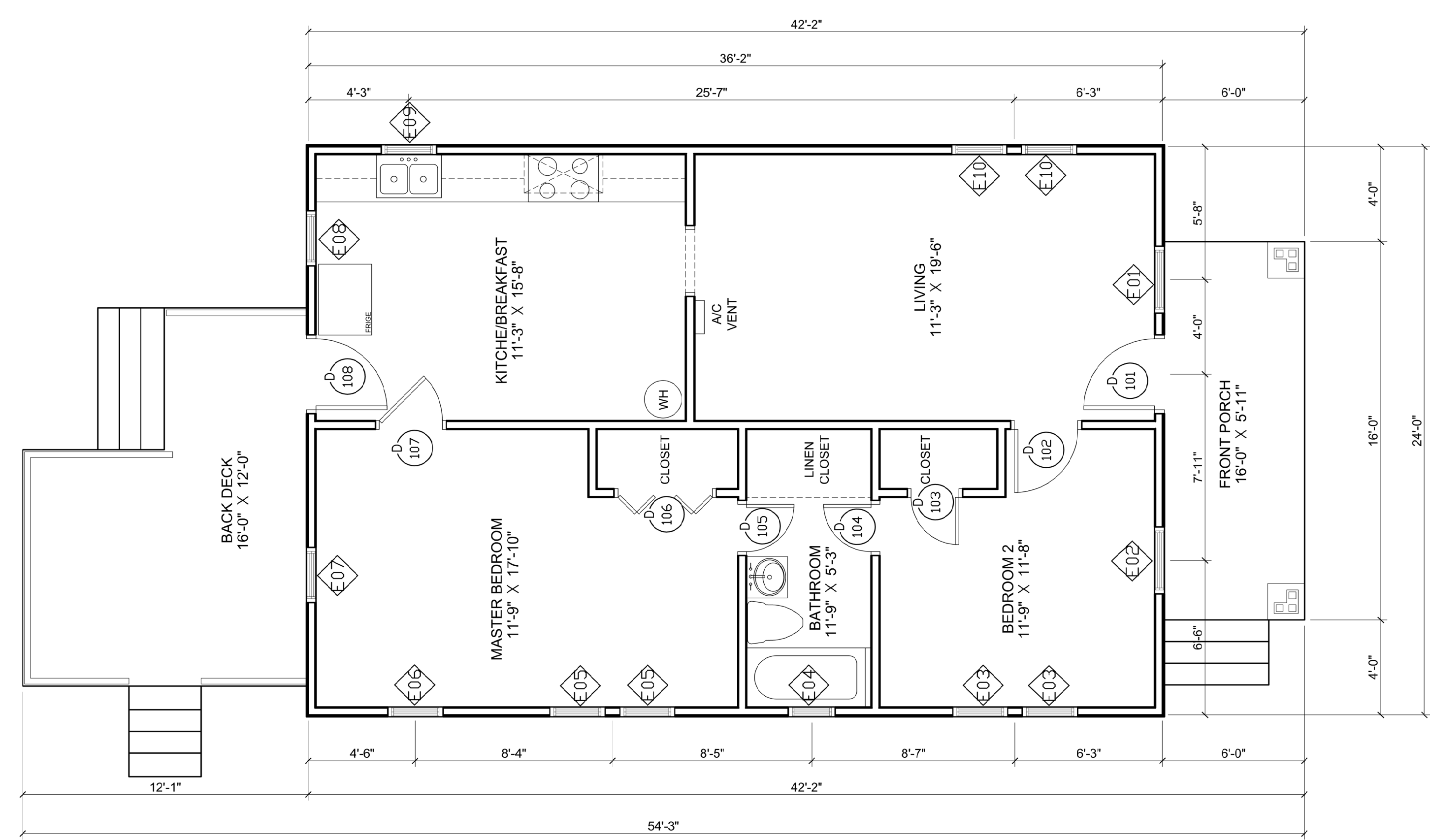
DOOR SCHEDULE- EXISTING

Number	QUANTITY	DOOR SIZE		TYPE	SWING	NOTES
		WD	HGT			
101	1	3'-0"	6'-8"	STANDARD	LEFT	EXISTING FRONT DOOR TO REMAIN
102	1	2'-8"	6'-8"	HINGED - SINGLE	RIGHT	TO BE REMOVED
103	1	2'-0"	6'-8"	HINGED - SINGLE	LEFT	TO BE REMOVED
104	1	2'-0"	6'-8"	HINGED - SINGLE	RIGHT	TO BE REMOVED
105	1	2'-0"	6'-8"	HINGED - SINGLE	LEFT	TO BE REMOVED
106	1	4'-0"	6'-8"	BIFOLD DOUBLE	NA	TO BE REMOVED
107	1	2'-8"	6'-8"	HINGED - SINGLE	LEFT	TO BE REMOVED
108	1	3'-0"	6'-8"	STANDARD	RIGHT	TO BE REMOVED

WINDOW SCHEDULE - EXISTING

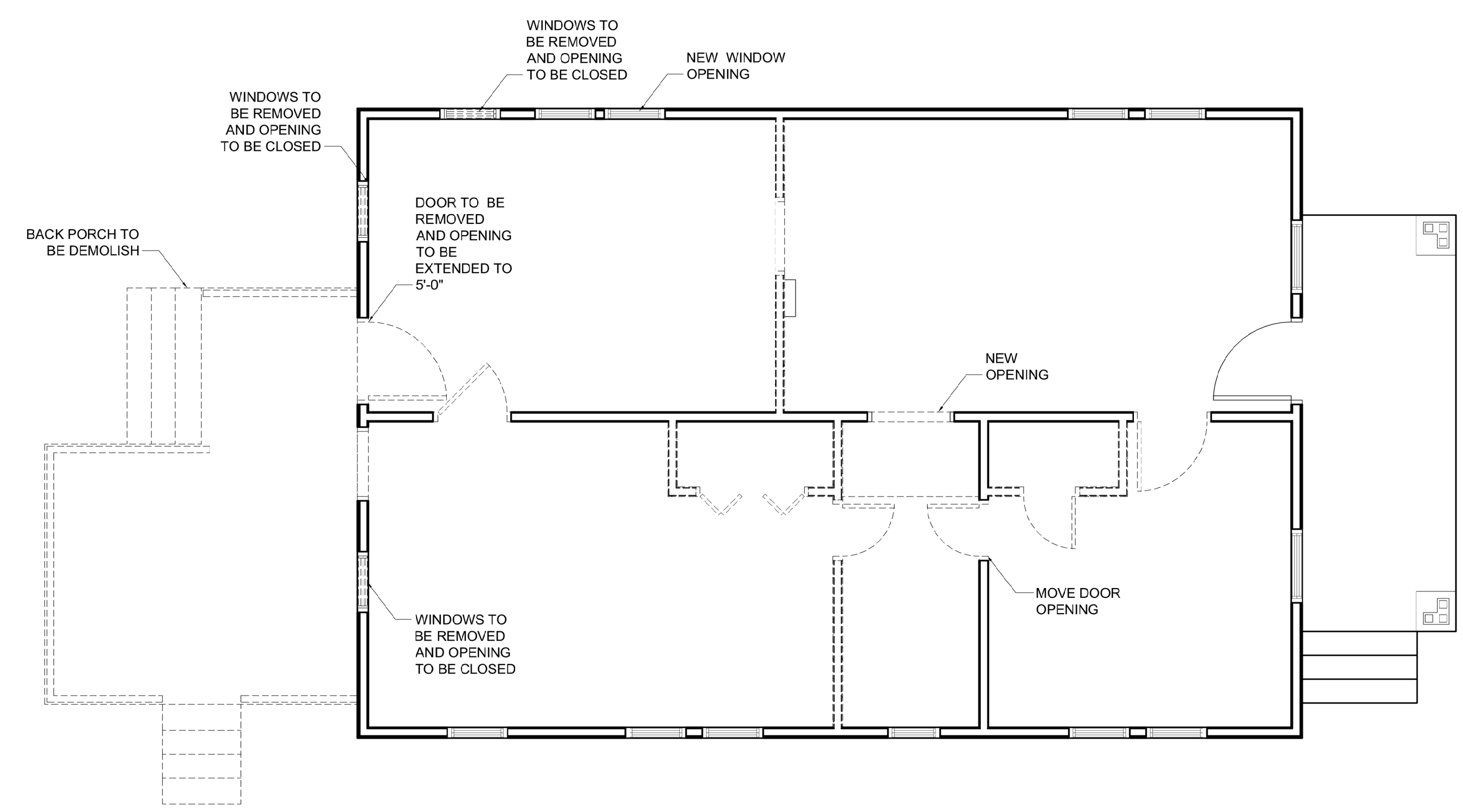
WINDOW TAG	Quantity	SIZE		Style	Lite Pattern	NOTES
		Width	HEIGHT			
E01	1	2'-10"	5'-0"	SINGLE HUNG	1/1	WOOD, TO REMAIN
E02	1	2'-10"	5'-0"	SINGLE HUNG	1/1	WOOD, TO REMAIN
E03	2	2'-4"	5'-0"	SINGLE HUNG	1/1	WOOD, TO REMAIN
E04	1	2'-0"	2'-8"	SINGLE HUNG	1/1	WOOD, TO REMAIN
E05	2	2'-4"	5'-0"	SINGLE HUNG	1/1	WOOD, TO BE RELOCATED
E06	1	2'-4"	5'-0"	SINGLE HUNG	1/1	WOOD, TO REMAIN
E07	1	2'-4"	5'-0"	SINGLE HUNG	1/1	WOOD, TO BE REMOVED
E08	1	2'-4"	2'-10"	SINGLE HUNG	1/1	WOOD, TO BE REMOVED
E09	1	2'-4"	2'-10"	SINGLE HUNG	1/1	WOOD, TO BE REMOVED
E10	2	2'-4"	5'-0"	SINGLE HUNG	1/1	WOOD, TO REMAIN

05 DOOR AND WINDOW SCHEDULE



01 1ST FLOOR EXISTING PLAN

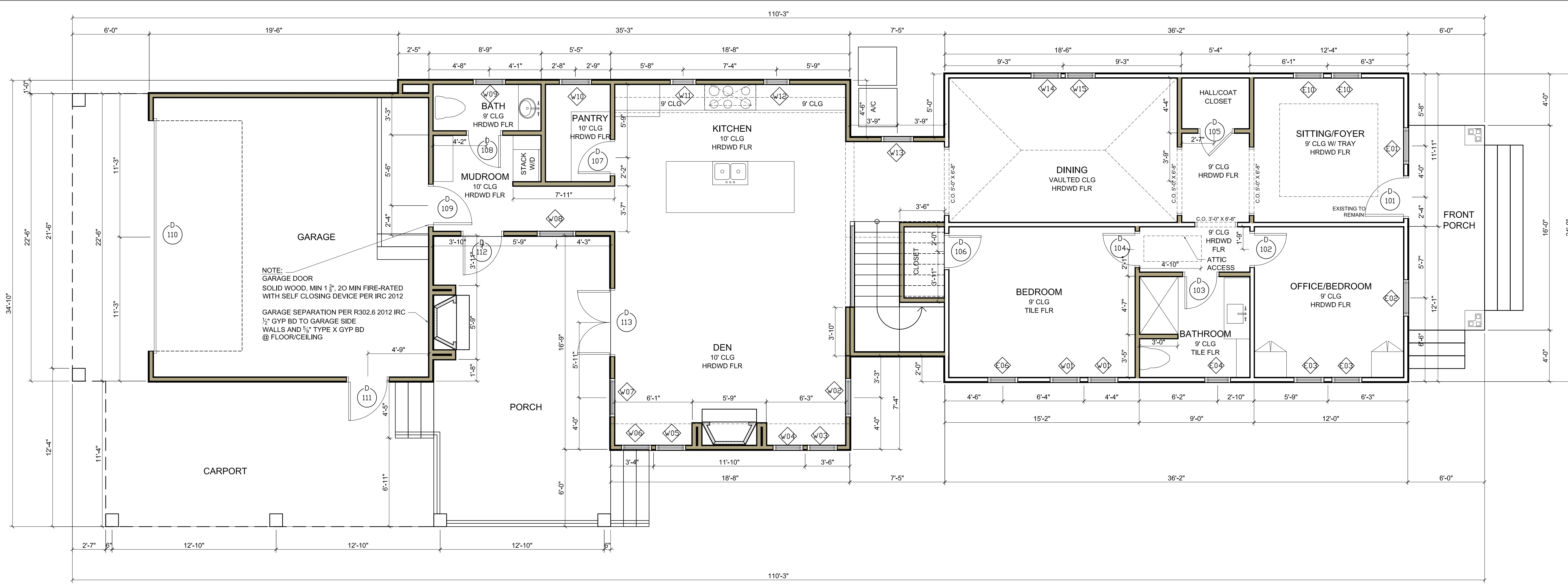
1/4" = 1'-0"



02 DEMOLITION PLAN

1/4" = 1'-0"

FISHER LANE BUILDERS



NOTE:
 GARAGE DOOR
 SOLID WOOD, MIN 1 3/4", 20 MIN FIRE-RATED
 WITH SELF CLOSING DEVICE PER IRC 2012
 GARAGE SEPARATION PER R302.6 2012 IRC
 1/2" GYP BD TO GARAGE SIDE
 WALLS AND 3/8" TYPE X GYP BD
 @ FLOOR/CEILING

01 PROPOSED 1ST FLOOR PLAN

1/4" = 1'-0"

EXISTING FIRST FLOOR	864.0 SQ. FT.
ADDITION FIRST FLOOR	838.0 SQ. FT.
ADDITION SECOND FLOOR	966.0 SQ. FT.
TOTAL COND SPACE	2668 SQ. FT.
ADDITION GARAGE	496 SQ. FT.
ADDITION PORCH	315 SQ. FT.
ADDITION CARPORT	426 SQ. FT.
EXISTING FRONT PORCH	96 SQ. FT.
TOTAL COVERED	4001 SQ. FT.

LOT SIZE	Floor Area Ratio (FAR)	(lot size x FAR = Max FAR SF)
<4000	.48 (48%)	
4000-4999	.48 (48%)	
5000-5999	.46 (46%)	
6000-6999	.44 (44%)	2904
7000-7999	.42 (42%)	
8000+	.40 (40%)	

Existing House	864
Existing Other Detached Structures	0
Proposed Addition	
First Floor Addition (including attached garage)	1334
Second Floor Addition (including attached garage)	966
Proposed Detached Garage (all floors total)	0
Garage Exemption	
Detached Garage Exemption (per floor)	0
• Reduction up to 528 sqft	
Attached Garage Exemption (one-story only)	-264
• Reduction up to 264 sqft	
Final Total FAR	2900 SF/6600=.439

- EXISTING WOOD FRAME INTERIOR WALL
- EXISTING WD. FRAME EXTERIOR WALL W/ 117 SIDING
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL, 6" LAP HARDI SIDING

03 WALL TYPES LEGEND

- GENERAL NOTES
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY DESIGN 3 INC. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
 - DIMENSIONS ARE TO FACE OF STUD U.N.O.
 - PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22" X 30". PROVIDE CAPACITY OF 350 LBS.
 - FLASHWATERPROOF ALL PENETRATIONS TO EXTERIOR WALL RE A4.1
 - ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF.
 - LOCATE WATER HEATER(S) IN ATTIC ABOVE LOAD BEARING PARTITION WITH A PAN AND DRAIN LINE. DRAIN LINE SHALL TERMINATE OVER AN INDIRECT WASTE RECEPTOR OR STALL EXTEND TO THE EXTERIOR.
 - LOCATE HVAC EQUIPMENT IN ATTIC UNLESS OTHERWISE NOTED. PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- PLUMBING / HVAC
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF.
- GLASS
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC R308.
 - ALL EGRESS WINDOW SILLS ARE TO A MAXIMUM OF 44" ABOVE FINISHED FLOOR. 20" WIDE AND MINIMUM 5.7 SQ. FT NET CLEAR OPENING. THERE SHALL BE AT LEAST ONE EGRESS WINDOW PER BEDROOM. EGRESS SILLS BELOW 24" TO HAVE OPENING PROTECTIVE DEVICE.
 - PROVIDE SAFETY TEMPERED GLAZING IN ALL HAZARDOUS LOCATIONS LISTED IN IRC SECT.308.4.1-10 EXCLUDING ONLY LISTED EXCEPTIONS.

02 SQ.FT.

04 NOTES

WINDOW SCHEDULE						
WINDOW TAG	Quantity	SIZE		Style	Lite Pattern	NOTES
		Width	HEIGHT			
E01	1	2'-10"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E02	1	2'-10"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E03	2	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E04	1	2'-0"	2'-8"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E06	1	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E10	2	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
W01	2	2'-4"	5'-0"	SINGLE HUNG	1/1	RELOCATE EXISTING WINDOWS
W02	1	3'-0"	6'-0"	SINGLE HUNG	1/1	--
W03	1	2'-4"	3'-0"	SINGLE HUNG	1/1	--
W04	1	2'-4"	3'-0"	SINGLE HUNG	1/1	--
W05	1	2'-4"	3'-0"	SINGLE HUNG	1/1	--
W06	1	2'-4"	3'-0"	SINGLE HUNG	1/1	--
W07	1	3'-0"	6'-0"	SINGLE HUNG	1/1	--
W08	1	3'-0"	6'-0"	SINGLE HUNG	1/1	--
W09	1	2'-6"	4'-0"	SINGLE HUNG	1/1	--
W10	1	2'-6"	4'-0"	SINGLE HUNG	1/1	--
W11	1	2'-0"	4'-0"	SINGLE HUNG	1/1	--
W12	1	2'-0"	4'-0"	SINGLE HUNG	1/1	--
W13	1	2'-6"	4'-0"	SINGLE HUNG	1/1	--
W14	1	2'-4"	5'-0"	SINGLE HUNG	1/1	--
W15	1	2'-4"	5'-0"	SINGLE HUNG	1/1	--
W16	1	2'-6"	5'-0"	SINGLE HUNG	1/1	TEMPERED
W17	1	2'-4"	3'-0"	SINGLE HUNG	1/1	8" HEAD HT - TEMPERED
W18	1	2'-6"	4'-0"	SINGLE HUNG	--	TEMPERED
W19	1	2'-4"	3'-4"	SINGLE HUNG	1/1	--
W20	1	2'-4"	3'-0"	SINGLE HUNG	1/1	TEMPERED
W21	2	3'-0"	5'-0"	SINGLE HUNG	--	EGRESS, W/ WOOD, 20" SILL
W22	1	2'-4"	3'-0"	SINGLE HUNG	1/1	TEMPERED
W23	1	2'-4"	3'-0"	SINGLE HUNG	1/1	WINDOW IN ATTIC - RE: ELEVATIONS
W24	1	3'-0"	5'-0"	SINGLE HUNG	--	EGRESS W/ WOOD, 20" SILL
W25	1	3'-0"	5'-0"	SINGLE HUNG	--	EGRESS W/ WOOD, 20" SILL
W26	1	3'-0"	5'-0"	SINGLE HUNG	--	EGRESS W/ WOOD, 20" SILL
W27	1	3'-0"	5'-0"	SINGLE HUNG	--	EGRESS W/ WOOD, 20" SILL
W28	1	2'-4"	3'-4"	SINGLE HUNG	1/1	--
W29	1	2'-4"	3'-0"	SINGLE HUNG	1/1	WINDOW IN ATTIC - RE: ELEVATIONS

05 DOOR AND WINDOW SCHEDULE

DOOR SCHEDULE						
Number	QUANTITY	DOOR SIZE		TYPE	SWING	NOTES
		WD	HGT			
101	1	3'-0"	6'-8"	STANDARD	LEFT	EXISTING FRONT DOOR TO REMAIN
102	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
103	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
104	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
105	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
106	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
107	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
108	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
109	1	3'-0"	6'-8"	STANDARD	RIGHT	20 MIN RATED W SELF CLOSER
110	1	18'-0"	6'-8"	OVERHEAD - SECTIONAL	NA	--
111	1	3'-0"	6'-8"	HINGED - SINGLE	RIGHT	--
112	1	3'-0"	6'-8"	HINGED - SINGLE	RIGHT	--
113	1	5'-0"	6'-8"	HINGED - DOUBLE	NA	--
201	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
202	1	2'-0"	6'-8"	HINGED - SINGLE	LEFT	--
203	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
204	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
205	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
206	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
207	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
208	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
209	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--
210	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	--

1543 Columbia St.
 Houston, TX 77008
 1ST FLOOR PLAN

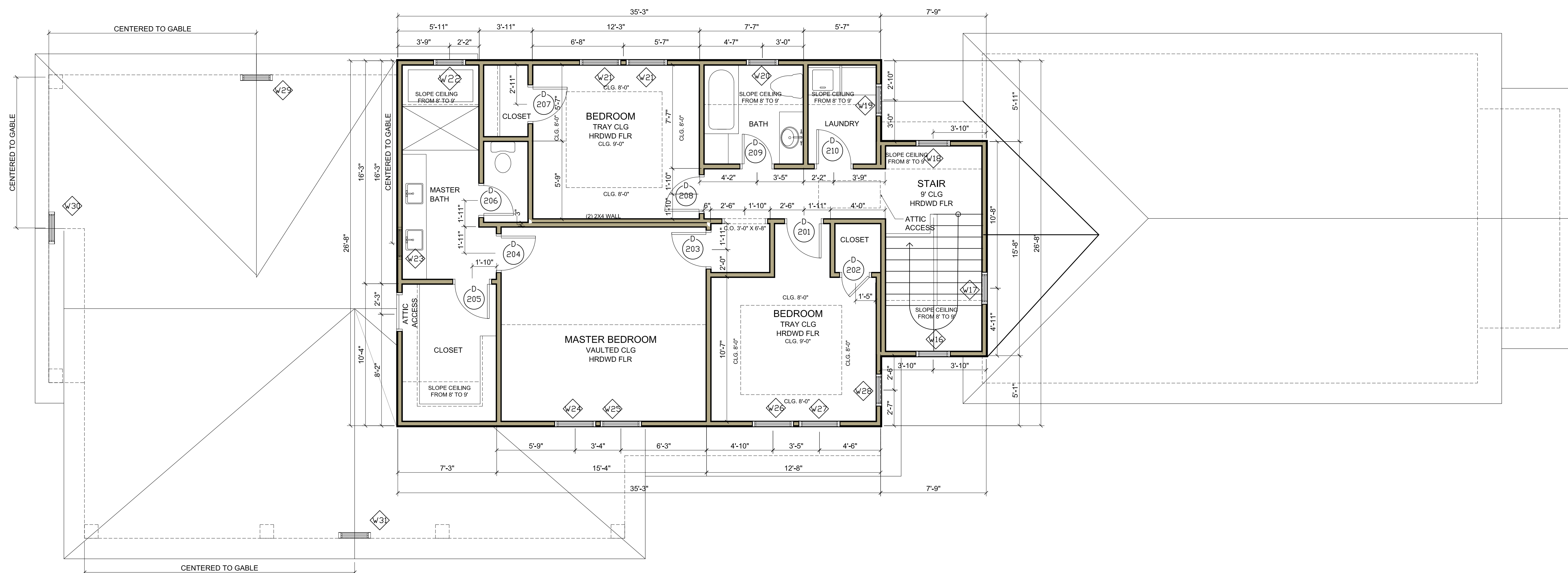
Issue/Revision:
 10.04.22 HAHC COA APPLICATION

Drawing Description:
 1ST FLOOR PLAN

Dwg. Name:
 Layer mgr: XX
 Scale: AS NOTED
 Drawn by:
 Proj. Mgr.:
 Date:

Sheet No.:
 A 1.2
 Nov 11, 2022 - 1:13pm

FISHER LANE BUILDERS



01 PROPOSED 2ND FLOOR PLAN

1/4" = 1'-0"

EXISTING FIRST FLOOR 864.0 SQ. FT.
 ADDITION FIRST FLOOR 838.0 SQ. FT.
 ADDITION SECOND FLOOR 966.0 SQ. FT.
 TOTAL COND SPACE 2668 SQ. FT.

ADDITION GARAGE 496 SQ. FT.
 ADDITION PORCH 315 SQ. FT.
 ADDITION CARPORT 426 SQ. FT.
 EXISTING FRONT PORCH 96 SQ. FT.
 TOTAL COVERED 4001 SQ.FT.

LOT SIZE	Floor Area Ratio (FAR)	(lot size x FAR = Max FAR SF)
<4000	.48 (48%)	
4000-4999	.48 (48%)	
5000-5999	.46 (46%)	
6000-6999	.44 (44%)	2904
7000-7999	.42 (42%)	
8000+	.40 (40%)	

Existing House	864
Existing Other Detached Structures	0
Proposed Addition	
First Floor Addition (including attached garage)	1334
Second Floor Addition (including attached garage)	966
Proposed Detached Garage (all floors total)	0
Garage Exemption	
Detached Garage Exemption (per floor)	0
• Reduction up to 528 sqft	
Attached Garage Exemption (one-story only)	-264
• Reduction up to 264 sqft	
Final Total FAR	2900 SF/6600= .439

- EXISTING WOOD FRAME INTERIOR WALL
- EXISTING WD. FRAME EXTERIOR WALL W/ 117 SIDING
- PROPOSED INTERIOR WALL
- PROPOSED EXTERIOR WALL, 6" LAP HARDI SIDING

03 WALL TYPES LEGEND

GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY DESIGN 3 INC. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
 - DIMENSIONS ARE TO FACE OF STUD U.N.O.
 - PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22" X 30". PROVIDE CAPACITY OF 350 LBS.
 - FLASH/WATERPROOF ALL PENETRATIONS TO EXTERIOR WALL RE #4.1
- PLUMBING / HVAC
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF.
- GLASS
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC R308.
 - ALL EGRESS WINDOW SILLS ARE TO A MAXIMUM OF 44" ABOVE FINISHED FLOOR. 20" WIDE AND MINIMUM 5.7 SQ. FT NET CLEAR OPENING. THERE SHALL BE AT LEAST ONE EGRESS WINDOW PER BEDROOM. EGRESS SILLS BELOW 24" TO HAVE OPENING PROTECTIVE DEVICE.
 - PROVIDE SAFETY TEMPERED GLAZING IN ALL HAZARDOUS LOCATIONS LISTED IN IRC SECT.308.4.1-10 EXCLUDING ONLY LISTED EXCEPTIONS.

WINDOW SCHEDULE

WINDOW TAG	Quantity	SIZE		Style	Lite Pattern	NOTES
		Width	HEIGHT			
E01	1	2'-10"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E02	1	2'-10"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E03	2	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E04	1	2'-0"	2'-8"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E06	1	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
E10	2	2'-4"	5'-0"	SINGLE HUNG	1/1	EXISTING TO REMAIN
W01	2	2'-4"	5'-0"	SINGLE HUNG	1/1	RELOCATE EXISTING WINDOWS
W02	1	3'-0"	6'-0"	SINGLE HUNG	1/1	---
W03	1	2'-4"	3'-0"	SINGLE HUNG	1/1	---
W04	1	2'-4"	3'-0"	SINGLE HUNG	1/1	---
W05	1	2'-4"	3'-0"	SINGLE HUNG	1/1	---
W06	1	2'-4"	3'-0"	SINGLE HUNG	1/1	---
W07	1	3'-0"	6'-0"	SINGLE HUNG	1/1	---
W08	1	3'-0"	6'-0"	SINGLE HUNG	1/1	---
W09	1	2'-6"	4'-0"	SINGLE HUNG	1/1	---
W10	1	2'-6"	4'-0"	SINGLE HUNG	1/1	---
W11	1	2'-0"	4'-0"	SINGLE HUNG	1/1	---
W12	1	2'-0"	4'-0"	SINGLE HUNG	1/1	---
W13	1	2'-6"	4'-0"	SINGLE HUNG	1/1	---
W14	1	2'-4"	5'-0"	SINGLE HUNG	1/1	---
W15	1	2'-4"	5'-0"	SINGLE HUNG	1/1	---
W16	1	2'-6"	5'-0"	SINGLE HUNG	1/1	TEMPERED
W17	1	2'-4"	3'-0"	SINGLE HUNG	1/1	8" HEAD HT - TEMPERED
W18	1	2'-6"	4'-0"	SINGLE HUNG	---	TEMPERED
W19	1	2'-4"	3'-4"	SINGLE HUNG	1/1	---
W20	1	2'-4"	3'-0"	SINGLE HUNG	1/1	TEMPERED
W21	2	3'-0"	5'-0"	SINGLE HUNG	---	EGRESS, W/ WOOD, 20" SILL
W22	1	2'-4"	3'-0"	SINGLE HUNG	1/1	TEMPERED
W23	1	2'-4"	3'-0"	SINGLE HUNG	1/1	WINDOW IN ATTIC - RE: ELEVATIONS
W24	1	3'-0"	5'-0"	SINGLE HUNG	---	EGRESS W/ WOOD, 20" SILL
W25	1	3'-0"	5'-0"	SINGLE HUNG	---	EGRESS W/ WOOD, 20" SILL
W26	1	3'-0"	5'-0"	SINGLE HUNG	---	EGRESS W/ WOOD, 20" SILL
W27	1	3'-0"	5'-0"	SINGLE HUNG	---	EGRESS W/ WOOD, 20" SILL
W28	1	2'-4"	3'-4"	SINGLE HUNG	1/1	---
W29	1	2'-4"	3'-0"	SINGLE HUNG	1/1	WINDOW IN ATTIC - RE: ELEVATIONS

DOOR SCHEDULE

Number	QUANTITY	DOOR SIZE		TYPE	SWING	NOTES
		WD	HGT			
101	1	3'-0"	6'-8"	STANDARD	LEFT	EXISTING FRONT DOOR TO REMAIN
102	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
103	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	---
104	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	---
105	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
106	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
107	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
108	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
109	1	3'-0"	6'-8"	STANDARD	RIGHT	20 MIN RATED W SELF CLOSER
110	1	18'-0"	6'-8"	OVERHEAD - SECTIONAL	NA	---
111	1	3'-0"	6'-8"	HINGED - SINGLE	RIGHT	---
112	1	3'-0"	6'-8"	HINGED - SINGLE	RIGHT	---
113	1	5'-0"	6'-8"	HINGED - DOUBLE	NA	---
201	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
202	1	2'-0"	6'-8"	HINGED - SINGLE	LEFT	---
203	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	---
204	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
205	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
206	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	---
207	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
208	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
209	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---
210	1	2'-6"	6'-8"	HINGED - SINGLE	LEFT	---

02 SQ.FT.

04 NOTES

05 DOOR AND WINDOW SCHEDULE

1543 Columbia St.
 Houston, TX 77008

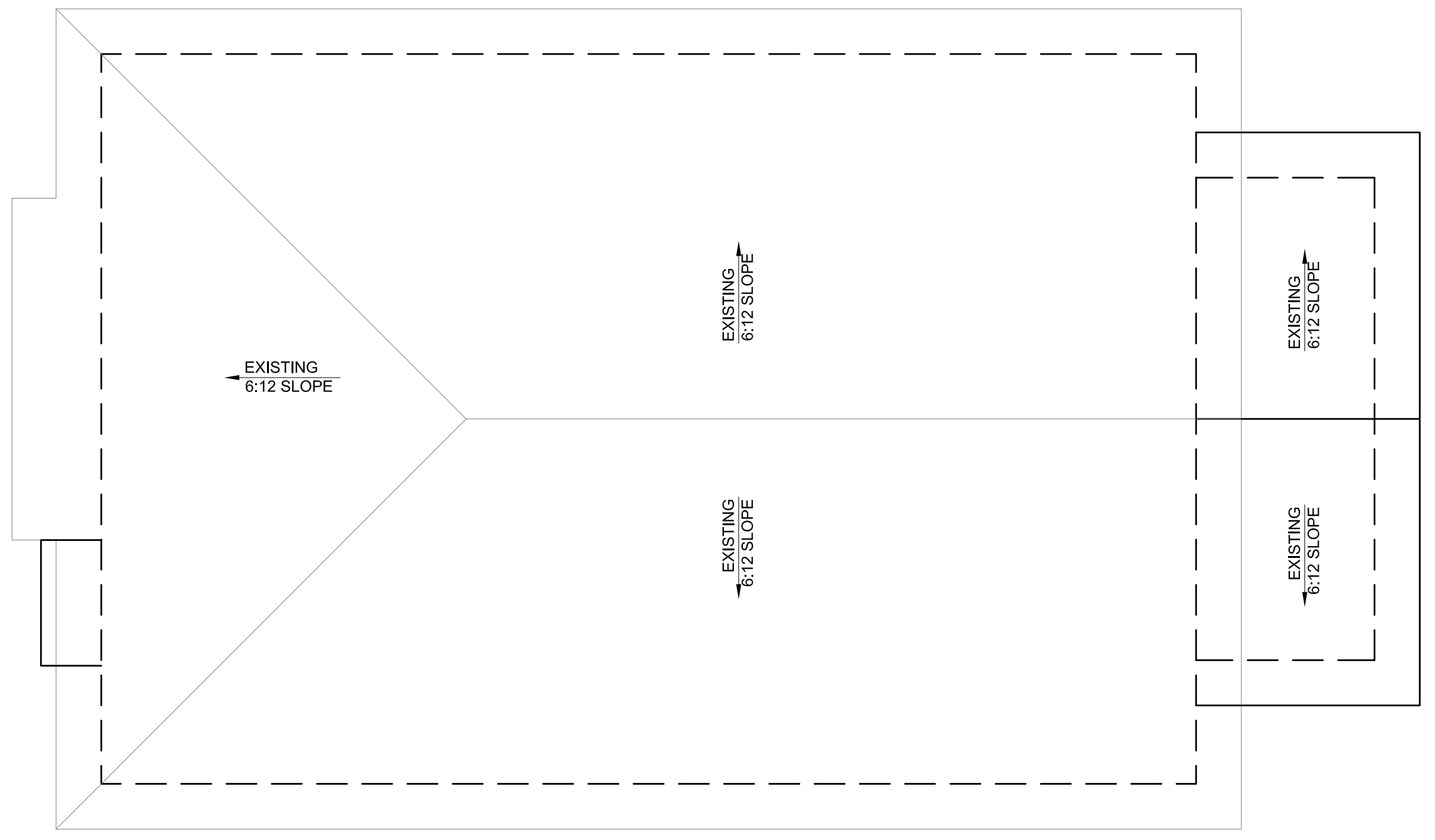
2ND FLOOR PLAN

Issue/Revision:
 10.04.22 HAHC COA APPLICATION

Drawing Description:
 2ND FLOOR PLAN

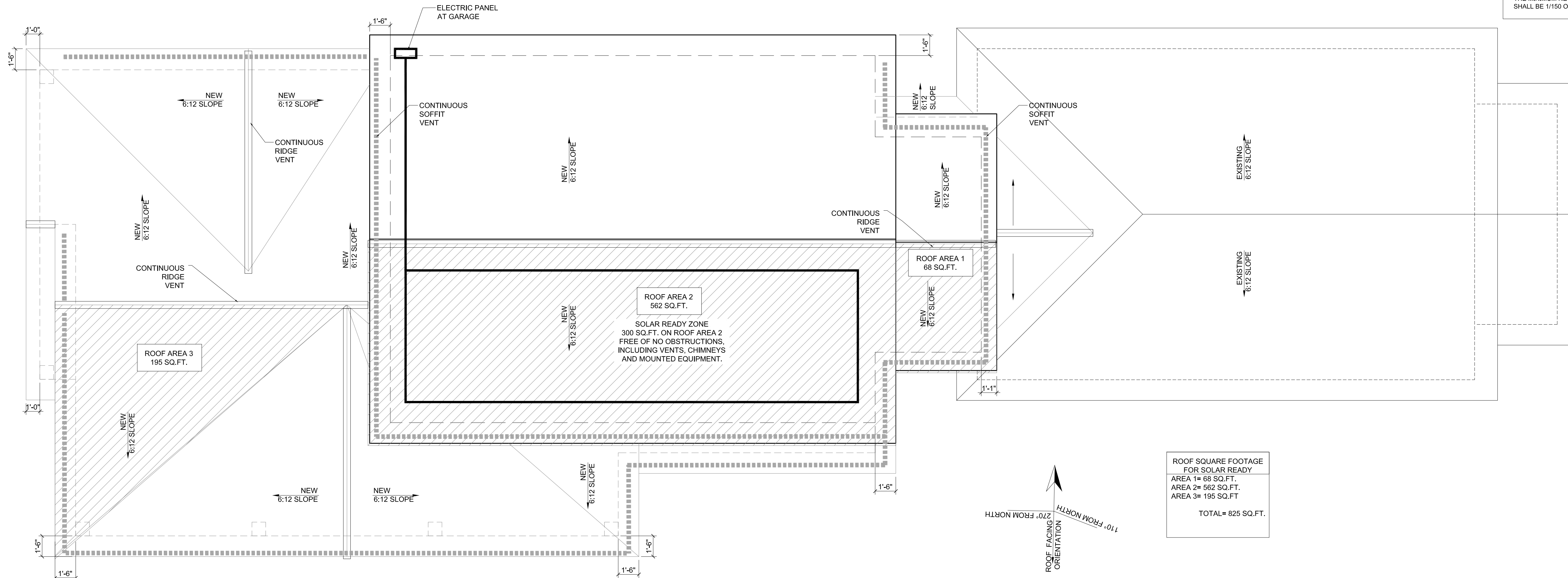
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 Layer mgr: XX
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 Drawn by:
 Proj. Mgr.:
 Date:
 Sheet No.:
A 1.3
 Nov 11, 2022 - 1:14pm

FISHER LANE BUILDERS



01 EXISTING ROOF PLAN

1/4" = 1'-0"



NOTE:
 PROVIDE ATTIC VENTILATION PER IRC R806.1 & R806.2
 THE MINIMUM NET FREE VENTILATION AREA
 SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

02 PROPOSED ROOF PLAN

1/4" = 1'-0"

1543 Columbia St.
 Houston, TX 77008

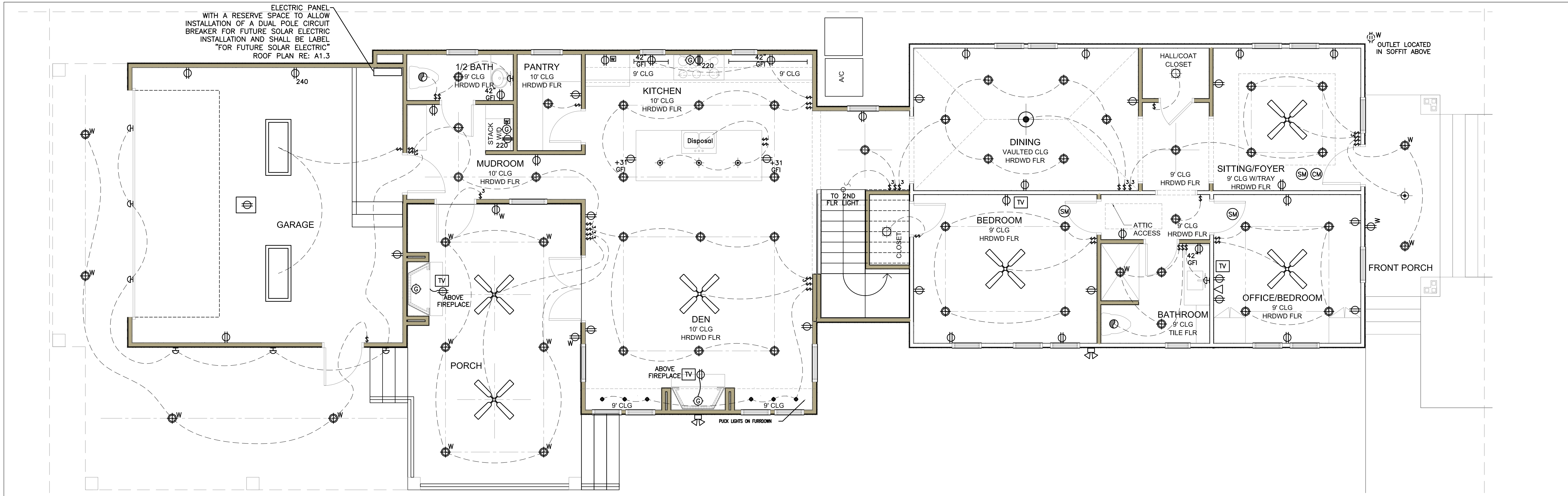
ROOF PLAN

Issue/Revision:
 10.04.22 HAHCOA APPLICATION

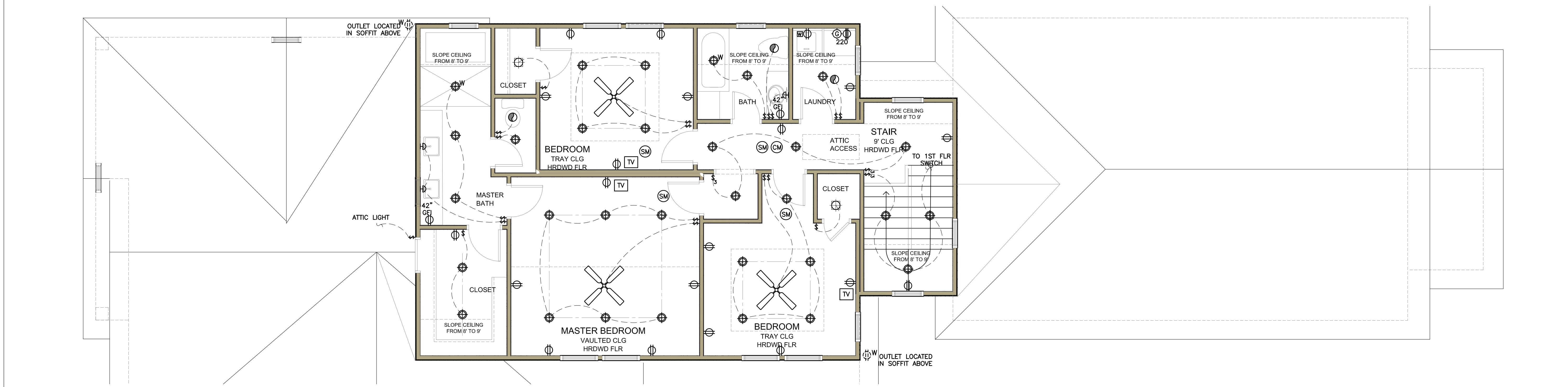
Drawing Description:

ROOF PLANS

Dwg. Name:
 Layer mgr: XX
 Scale: AS NOTED
 Drawn by:
 Proj. Mgr.:
 Date:
 Sheet No.:
A 1.4
 Nov 03, 2022 - 6:33pm



01 1ST FLOOR ELECTRICAL / LIGHTING PLAN 1/4" = 1'-0"



02 2ND FLOOR ELECTRICAL / LIGHTING PLAN 1/4" = 1'-0"

⊕	DUPLEX OUTLET	Ⓢ	SINGLE SWITCH	—	UNDER CABINET LIGHTS & OUTLETS STRIP	⊗	CEILING FAN (LIGHT KIT AS NOTED)
⊕ _{GFI}	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER	Ⓢ ³	3-WAY SWITCH	Ⓜ	SMOKE DETECTOR	Ⓜ	HOSE BIB
⊕ _W	WEATHERPROOF DUPLEX OUTLET	Ⓢ	PENDANT LIGHT	Ⓜ	CARBON MONOXIDE DETECTOR	Ⓜ	GAS CONNECTION
⊕ ₂₂₀	220 VOLT OUTLET	Ⓢ	PENDANT LIGHT	Ⓜ	WALL SCONCE LIGHT FIXTURE	Ⓜ	WATER LINE
⊏	TELEPHONE JACK	Ⓢ	CEILING MOUNTED LIGHT	Ⓜ	EXHAUST FAN	Ⓜ	2X4 FLUORESCENT
Ⓜ	TELEVISION-CABLE AND DUPLEX OUTLET @ +42" AFF	Ⓢ	RECESSED LIGHT	Ⓜ	EXTERIOR LIGHT W/ MOTION DETECTOR		

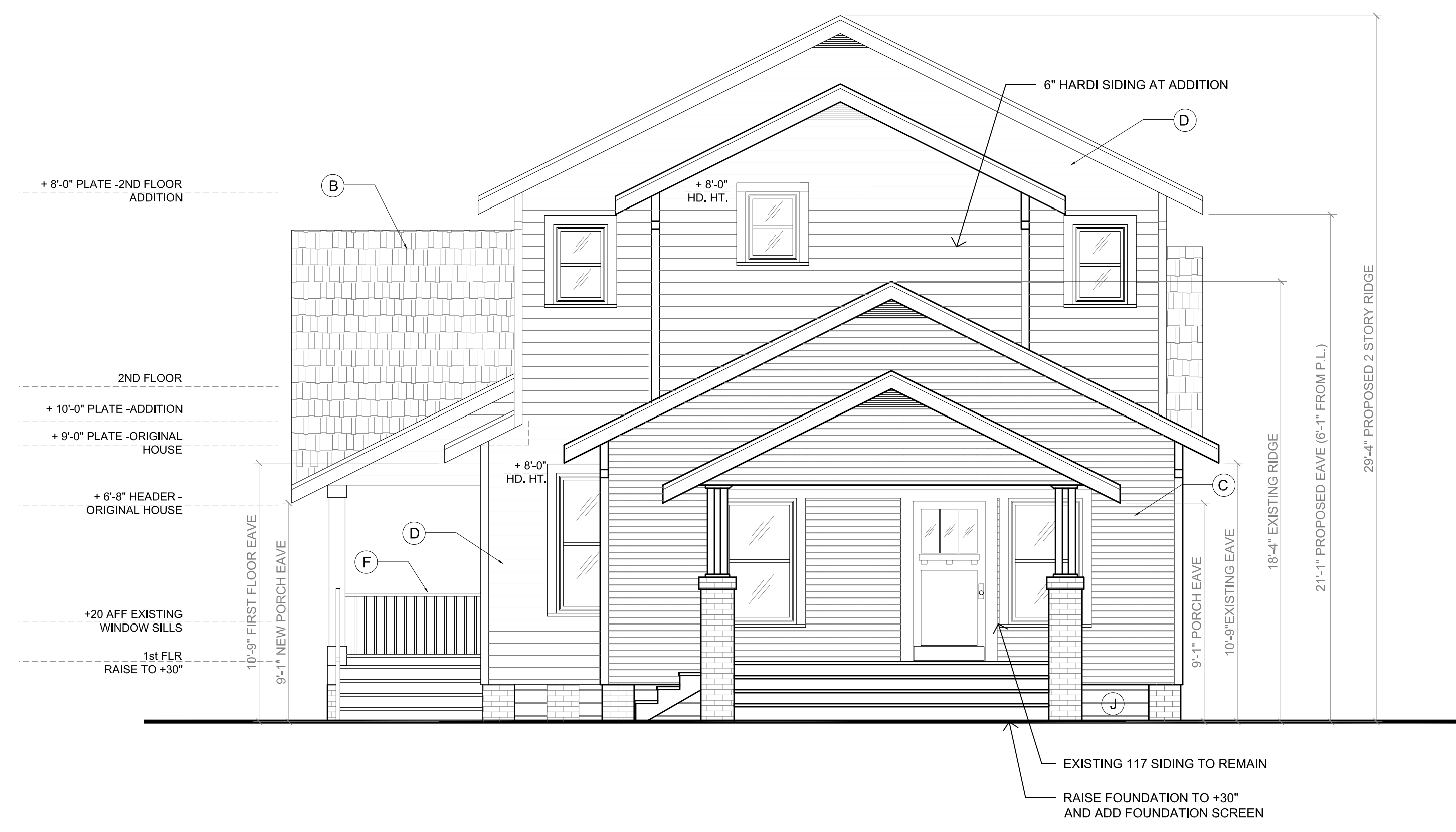
- ELECTRICAL NOTES**
- ALL SWITCHES SHALL BE MOUNTED AT 42" AND OUTLETS AT 12" ABOVE FINISH FLOOR TO CENTERLINE UNLESS OTHERWISE NOTED.
 - PLAN DENOTES SPECIFIC OUTLET AND SWITCH LOCATION. ADDITIONAL SWITCHES AND/OR OUTLET REQUIRED BY CODE ARE TO BE FURNISHED AND INSTALLED BY ELECTRICIAN.
 - SMOKE DETECTORS SHALL BE HARD-WIRED, INTERCONNECTED AND HAVE BATTERY BACKUP.
 - PROVIDE ALL COMPONENTS FOR COMPLETE ELECTRICAL SYSTEMS AS REQUIRED, INCLUDING BUT NOT LIMITED TO ALL SWITCHES, RECEPTACLES, CONDUITS, OUTLET AND JUNCTION BOXES, BREAKER PANELS, GFCI RECEPTACLES, ETC.
 - VERIFY ELECTRICAL REQUIREMENTS AND LOCATIONS OF EQUIPMENT AND APPLIANCES WITH OWNER.

03 ELECTRICAL LEGEND & NOTES

1543 Columbia St.
 Houston, TX 77008
 ELECTRICAL / LIGHTING PLAN

Issue/Revision:	
10.04.22	HAHC COA APPLICATION
Drawing Description:	
ELECTRICAL / LIGHTING PLAN	
Dwg. Name:	Sheet No.:
Layer mgr: XX	A 2.1
Scale: AS NOTED	
Drawn by:	
Proj. Mgr.:	
Date:	Nov 07, 2022 - 11:38am

FISHER LANE BUILDERS

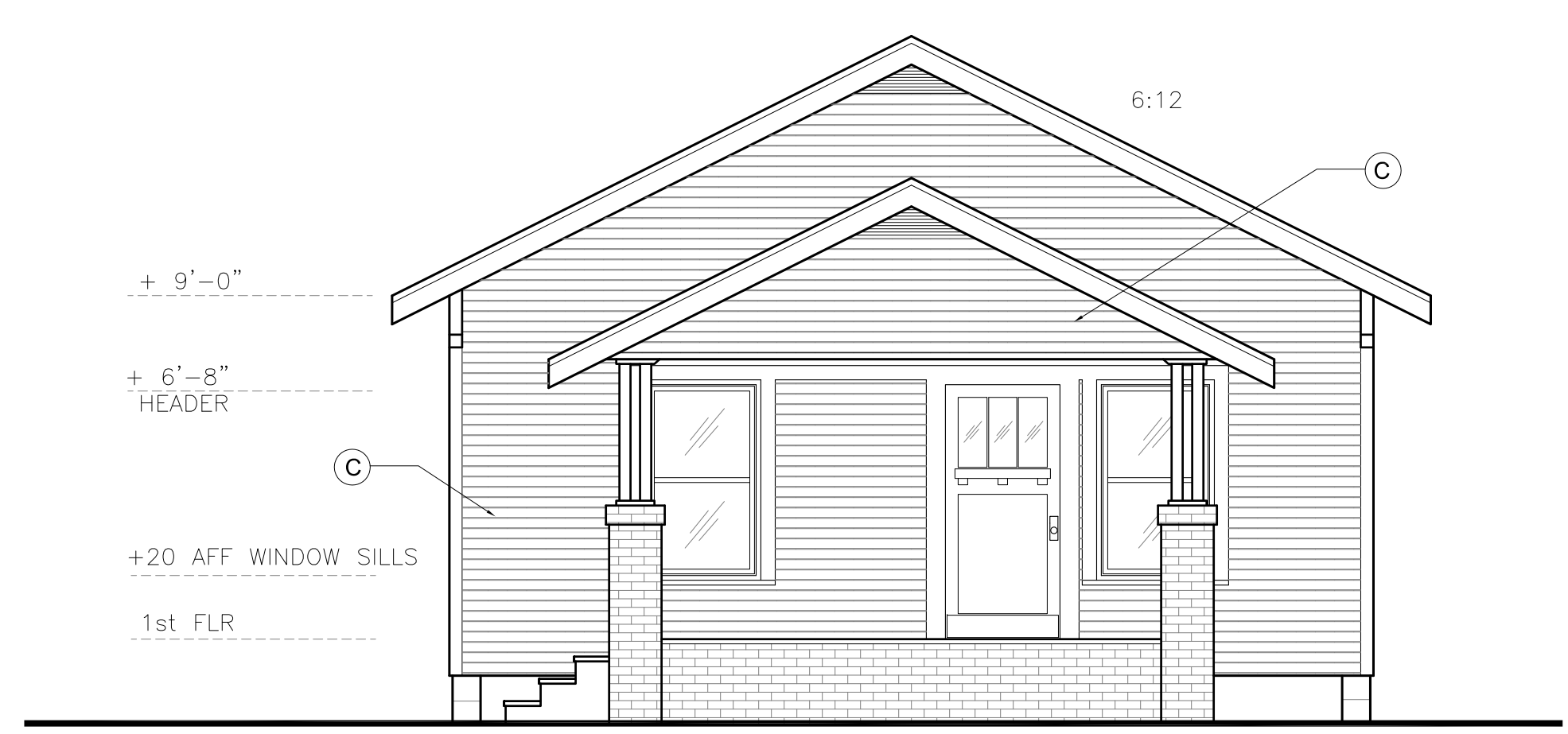


01 PROPOSED FRONT ELEVATION - EAST

1/4" = 1'-0"

02 PROPOSED REAR - ALLEY ELEVATION (WEST)

1/4" = 1'-0"



03 EXISTING EAST ELEVATION

1/4" = 1'-0"



04 EXISTING WEST ELEVATION

1/4" = 1'-0"

- (A) EXISTING SHINGLE ROOF
- (B) NEW SHINGLE ROOF TO MATCH EXISTING
- (C) EXISTING WOOD SIDING
- (D) NEW SIDING TO MATCH EXISTING
- (E) EXISTING GUARD RAIL
- (F) NEW 36" GUARD RAIL. RE: A4.1
- (G) PROVIDE WATERPROOFING/ FLASHING AT ALL ROOF TO WALL INTERSECTIONS RE A4.1
- (H) APPLIANCE VENT. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- (J) NEW WOOD LATTICE AT CRAWLSPACE. PROVIDE 18"X24" MIN. ACCESS OPENING.

05 ELEVATION NOTES

1543 Columbia St.
 Houston, TX 77008

ELEVATIONS

Issue/Revision:	
10.04.22	HAHC COA APPLICATION
Drawing Description:	
ELEVATIONS	
Dwg. Name:	
Layer mgr: XX	Sheet No.:
Scale: AS NOTED	A 3.1
Drawn by:	
Proj. Mgr.:	
Date:	Nov 03, 2022 - 12:42pm

FISHER LANE BUILDERS



01 PROPOSED SOUTH SIDE ELEVATION

1/4" = 1'-0"



04 EXISTING ELEVATION

1/4" = 1'-0"

05 ELEVATION NOTES

- (A) EXISTING SHINGLE ROOF
- (B) NEW SHINGLE ROOF TO MATCH EXISTING
- (C) EXISTING WOOD SIDING
- (D) NEW SIDING TO MATCH EXISTING
- (E) EXISTING GUARD RAIL
- (F) NEW 36" GUARD RAIL. RE: A4.1
- (G) PROVIDE WATERPROOFING/ FLASHING AT ALL ROOF TO WALL INTERSECTIONS RE A4.1
- (H) APPLIANCE VENT. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- (J) NEW WOOD LATTICE AT CRAWLSPACE. PROVIDE 18"X24" MIN. ACCESS OPENING.

1543 Columbia St.
 Houston, TX 77008

ELEVATIONS

Issue/Revision:
 10.04.22 HAHC COA APPLICATION

Drawing Description:

ELEVATIONS

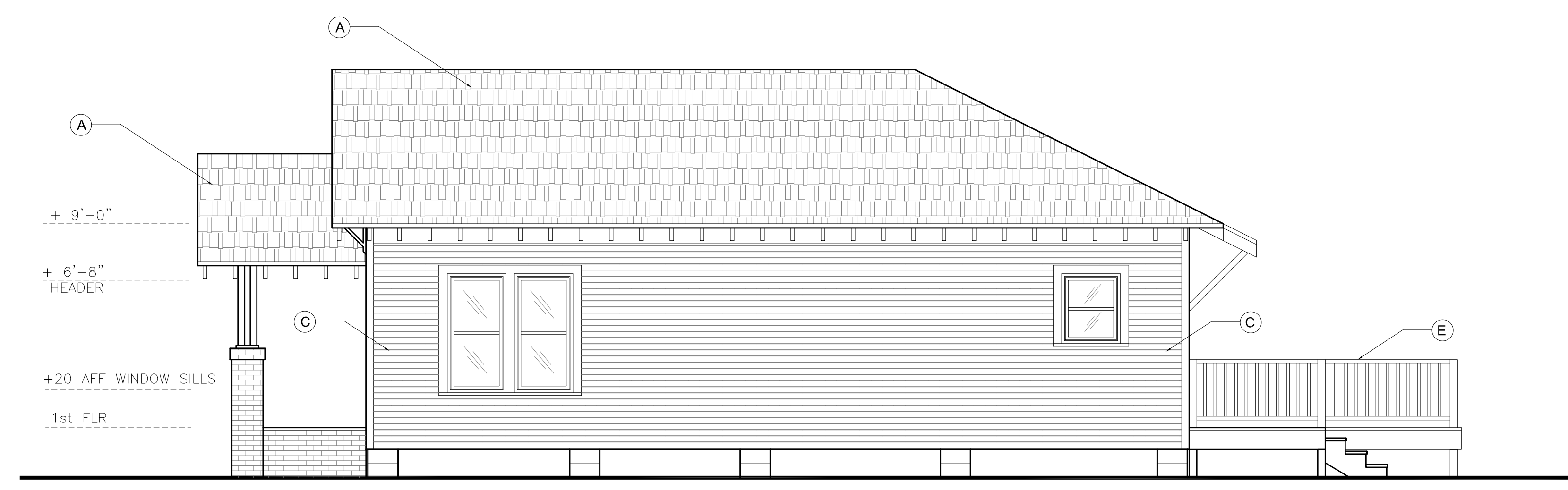
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 Proj. Mgr.:
 Date:
 Sheet No.:
A 3.2
 Nov 03, 2022 - 12:54pm

FISHER LANE BUILDERS



01 PROPOSED NORTH SIDE ELEVATION

1/4" = 1'-0"



04 EXISTING NORTH SIDE ELEVATION

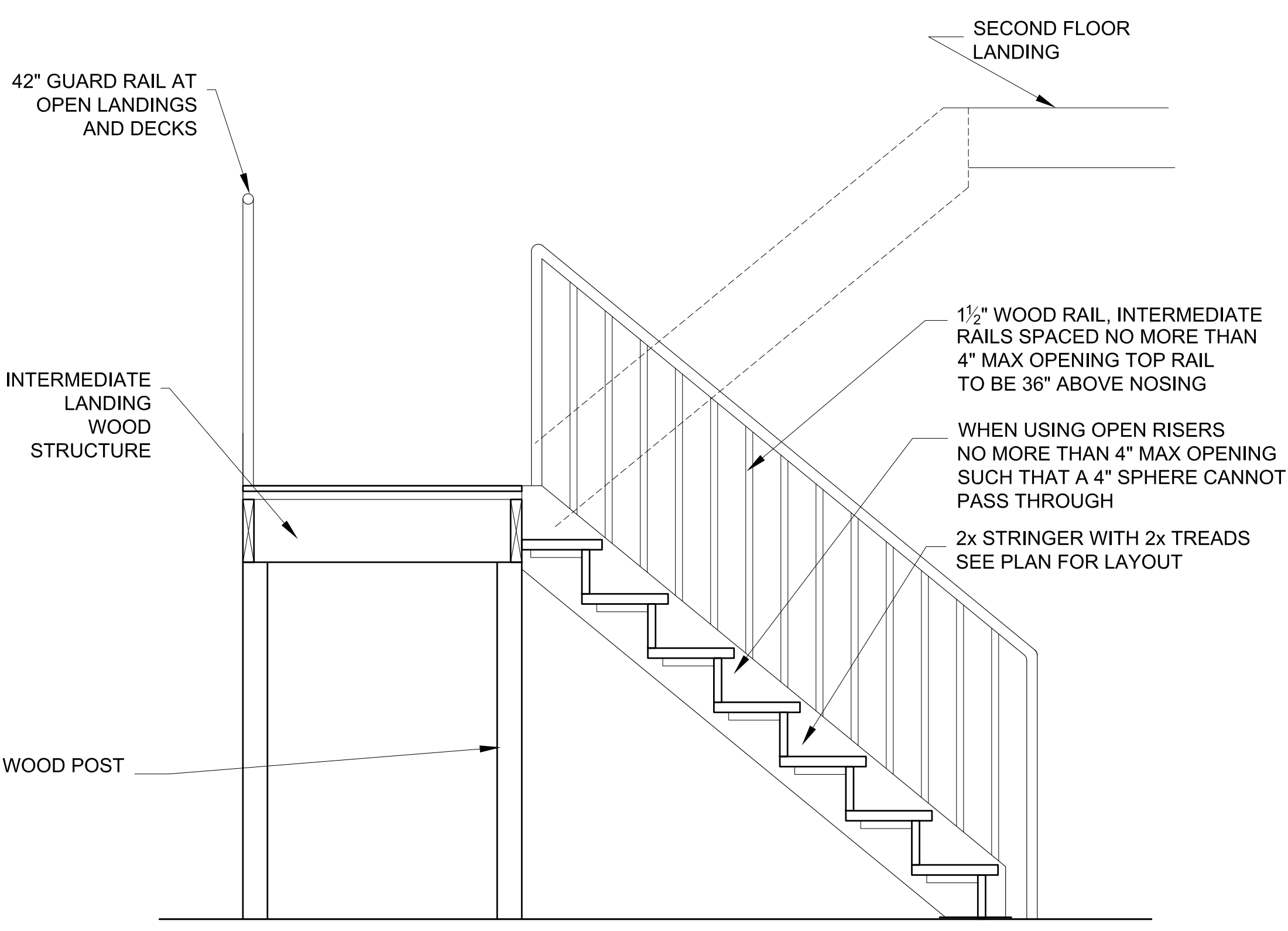
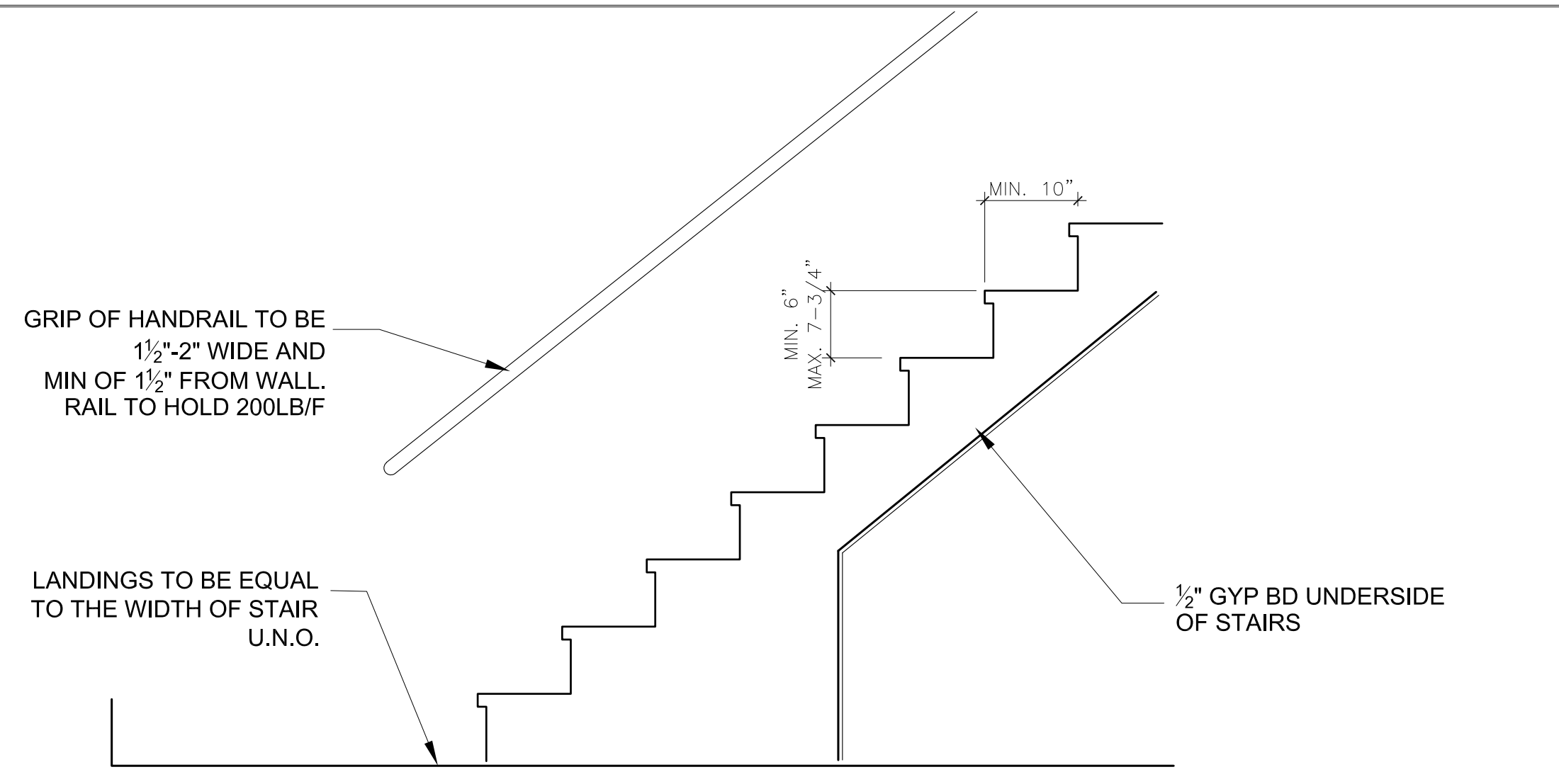
1/4" = 1'-0"

05 ELEVATION NOTES

- (A) EXISTING SHINGLE ROOF
- (B) NEW SHINGLE ROOF TO MATCH EXISTING
- (C) EXISTING WOOD SIDING
- (D) NEW SIDING TO MATCH EXISTING
- (E) EXISTING GUARD RAIL
- (F) NEW 36" GUARD RAIL. RE: A4.1
- (G) PROVIDE WATERPROOFING/ FLASHING AT ALL ROOF TO WALL INTERSECTIONS RE A4.1
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- (J) NEW WOOD LATTICE AT CRAWLSPACE. PROVIDE 18"X24" MIN. ACCESS OPENING.

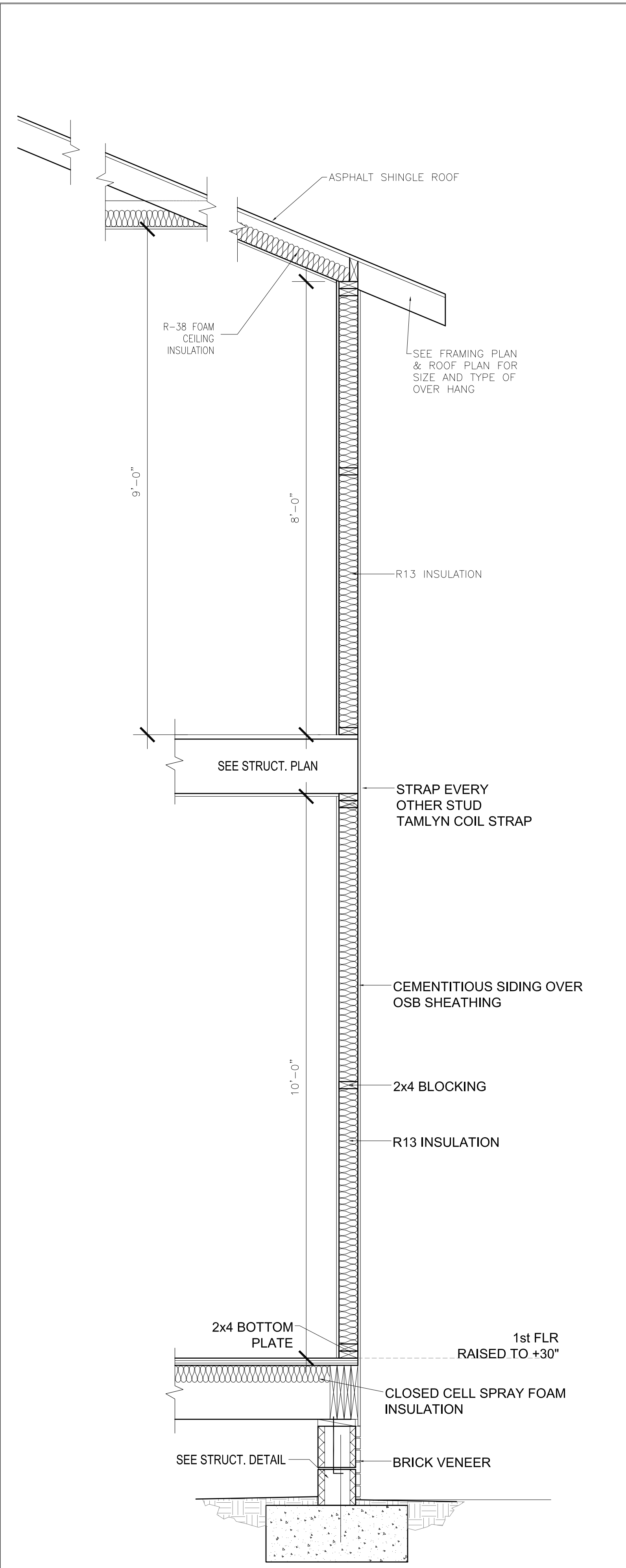
1543 Columbia St.
 Houston, TX 77008
ELEVATIONS

Issue/Revision:	
10.04.22	HAHC COA APPLICATION
Drawing Description:	
ELEVATIONS	
Dwg. Name:	
Layer mgr: XX	Sheet No.:
Scale: AS NOTED	A 3.3
Drawn by:	
Proj. Mgr.:	
Date:	Nov 03, 2022 - 12:56pm

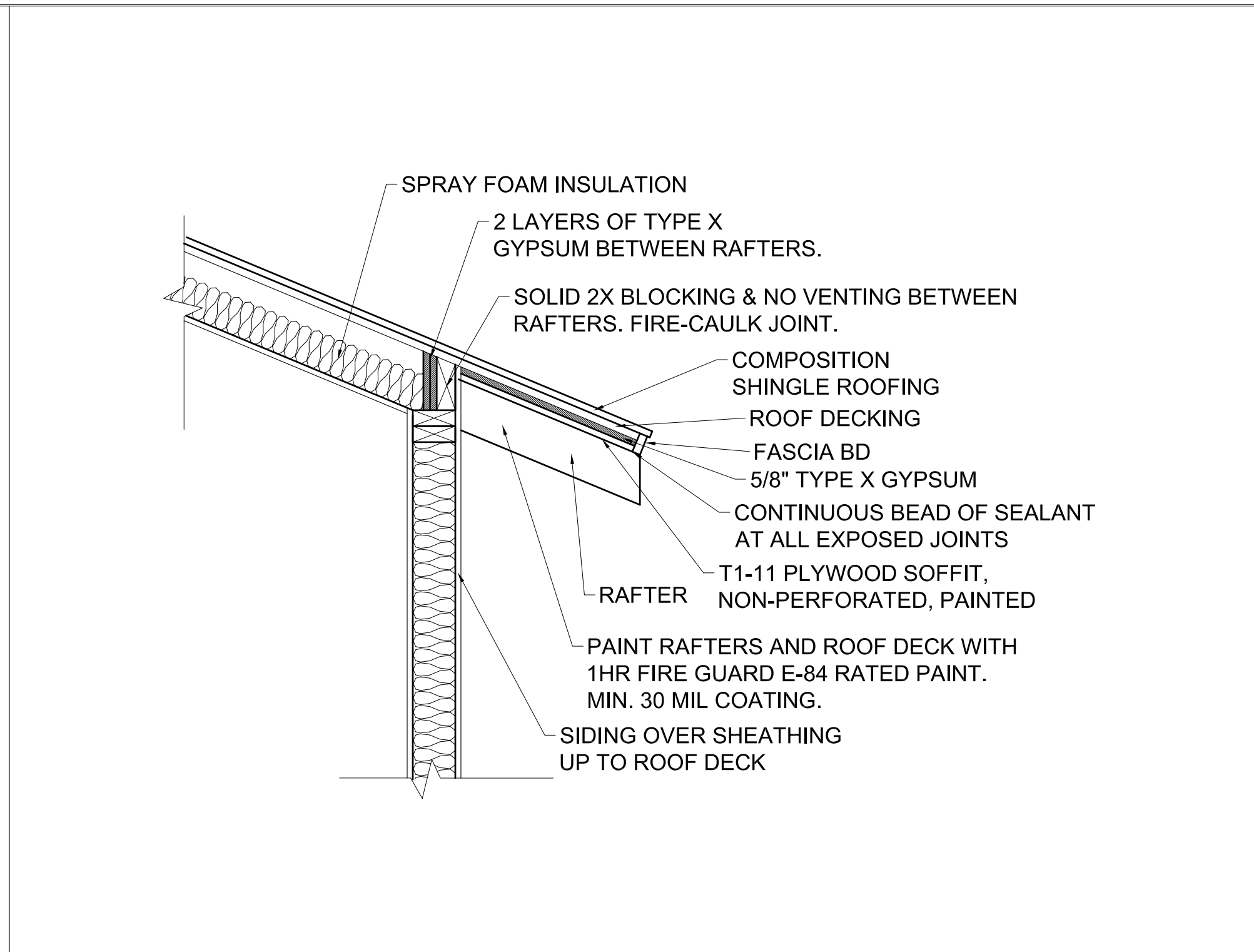


- NOTES:**
- HANDRAILS TO BE 34" TO 38" ABOVE NOSING.
 - GUARDRAILS TO BE MIN. 36" A.F.F. AND MUST BE CAPABLE OF WITHSTANDING A 200LB LOAD AT THE TOP IN ANY DIRECTION.
 - THE SPACE BETWEEN BALUSTERS SHALL BE NO MORE THAN 4" SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH.
 - HAND GRIPPING PORTION OF HANDRAILS SHALL BE BETWEEN 1 1/4" AND 2" DIAMETER OR SHALL PROVIDE THE EQUIVALENT GRASPING SURFACE.
 - HANDRAIL SHALL BE CONTINUOUS, THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NO LESS THAN 6" BEYOND TOP & BOTTOM RISERS, AND SHALL TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" ON EITHER SIDE OF THE STAIRWAY.
 - IF THE UNDERSIDE OF STAIRWELL IS CLOSED OFF. PROVIDE 1/2" TYPE 'X' FIRE RATED GYP BD TO UNDERSIDE OF STAIRS PER CODE.
 - NEWEL POST THAT RAILING TERMINATES INTO SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD.
 - MINIMUM CLEAR WIDTH BETWEEN AND BELOW HANDRAILS SHALL BE 27" DOUBLE AND 31 1/2" SINGLE RAIL.
 - EXTERIOR GUARDS TO HAVE NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAX UNSUPPORTED SPAN OF LOWEST RUMMER SHALL BE 6'-0".
 - MAXIMUM RISER HEIGHT IS 7 3/4", MINIMUM TREAD DEPTH SHALL BE 10".
 - MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" FINISHED HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE TO TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING.
 - LANDINGS: MINIMUM WIDTH IN THE DIRECTION OF TRAVEL SHALL BE NO LESS THAN THE WIDTH OF THE STAIR FLIGHT.
 - PROVIDE CONTINUOUS RAILING SIDE OF RUN OF TREADS WITH 4 OR MORE RISERS PER IRC 311.7.8.

01 STAIRS NTS



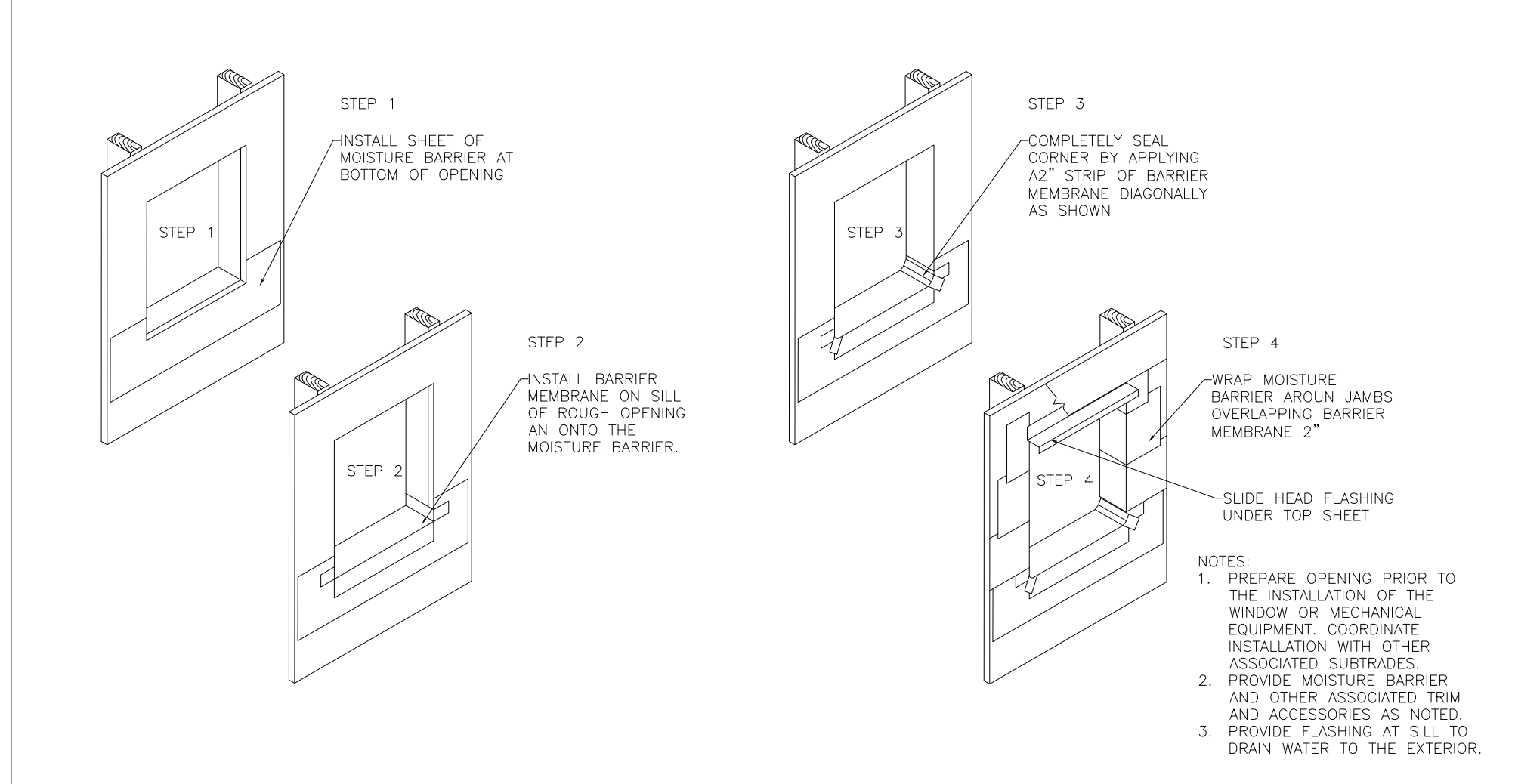
02 TYPICAL EXTERIOR WALL SECTION NTS



05 FIRE RATED EAVE DETAIL NTS



04 NOT USED NTS



03 TYPICAL EXTERIOR OPENING-WATERPROOFING NTS

1543 Columbia St.
Houston, TX 77008

SECTIONS

Issue/Revision:	
10.04.22	HAHC COA APPLICATION
Drawing Description:	
SECTIONS	
Dwg. Name:	Sheet No.:
Layer mgr: XX	A 4.1
Scale: AS NOTED	
Drawn by:	
Proj. Mgr.:	Date:
Nov 11, 2022 - 1:42pm	