



BACAK RESIDENCE
30926 LOWER OXBOW TRACE

General Notes:

The construction of this dwelling must comply with 2012 International Residential Code (2012 I.R.C.) This is a 'builder set of plans' limited in scope and detail. This plan was not prepared by a state licensed architect. They are not a complete set of architectural documents. Any construction according to the general design depicted herein should be done by a builder familiar with using this type of builder set of plans and details.

- This plan and the designs contained herein are the sole property of the company, Wyrick Residential Designs. This plan and all the derivative works are subject to federal copyright law protection and may not be copied, resold, or reproduced by any means what so ever.
- This set all tile and wood floors unless owner/builder specifies drop. See builder for selections and slab drops where required.
- All curb stops/wheel stops location in garages or carports must be verified by owner/builder prior to concrete pour.
- All ganges to have 3/8" one hour rated gypsum board separation at common walls and ceilings. Provide one hour solid core door with closure device when opening directly into dwelling.
- One hour rated gypsum board separation under all stair cases. All stairways and handrails to comply with sections R314-R315 of 2012 I.R.C. Builder/contractor will certify installation compliance.
- Locate and interconnect 110V smoke detectors with battery backup in all sleeping rooms and common areas. Install in accordance with section R317 of 2012 I.R.C. and NFPA72 household fire warning equipment provisions.
- Household venting should be in accordance with sections R502, R503, R504, R505, R506, R507, R508, R509, R510, R511, R512, R513, R514, R515, R516, R517, R518, R519, R520, R521, R522, R523, R524, R525, R526, R527, R528, R529, R530, R531, R532, R533, R534, R535, R536, R537, R538, R539, R540, R541, R542, R543, R544, R545, R546, R547, R548, R549, R550, R551, R552, R553, R554, R555, R556, R557, R558, R559, R560, R561, R562, R563, R564, R565, R566, R567, R568, R569, R570, R571, R572, R573, R574, R575, R576, R577, R578, R579, R580, R581, R582, R583, R584, R585, R586, R587, R588, R589, R590, R591, R592, R593, R594, R595, R596, R597, R598, R599, R600, R601, R602, R603, R604, R605, R606, R607, R608, R609, R610, R611, R612, R613, R614, R615, R616, R617, R618, R619, R620, R621, R622, R623, R624, R625, R626, R627, R628, R629, R630, R631, R632, R633, R634, R635, R636, R637, R638, R639, R640, R641, R642, R643, R644, R645, R646, R647, R648, R649, R650, R651, R652, R653, R654, R655, R656, R657, R658, R659, R660, R661, R662, R663, R664, R665, R666, R667, R668, R669, R670, R671, R672, R673, R674, R675, R676, R677, R678, R679, R680, R681, R682, R683, R684, R685, R686, R687, R688, R689, R690, R691, R692, R693, R694, R695, R696, R697, R698, R699, R700, R701, R702, R703, R704, R705, R706, R707, R708, R709, R710, R711, R712, R713, R714, R715, R716, R717, R718, R719, R720, R721, R722, R723, R724, R725, R726, R727, R728, R729, R730, R731, R732, R733, R734, R735, R736, R737, R738, R739, R740, R741, R742, R743, R744, R745, R746, R747, R748, R749, R750, R751, R752, R753, R754, R755, R756, R757, R758, R759, R760, R761, R762, R763, R764, R765, R766, R767, R768, R769, R770, R771, R772, R773, R774, R775, R776, R777, R778, R779, R780, R781, R782, R783, R784, R785, R786, R787, R788, R789, R790, R791, R792, R793, R794, R795, R796, R797, R798, R799, R800, R801, R802, R803, R804, R805, R806, R807, R808, R809, R810, R811, R812, R813, R814, R815, R816, R817, R818, R819, R820, R821, R822, R823, R824, R825, R826, R827, R828, R829, R830, R831, R832, R833, R834, R835, R836, R837, R838, R839, R840, R841, R842, R843, R844, R845, R846, R847, R848, R849, R850, R851, R852, R853, R854, R855, R856, R857, R858, R859, R860, R861, R862, R863, R864, R865, R866, R867, R868, R869, R870, R871, R872, R873, R874, R875, R876, R877, R878, R879, R880, R881, R882, R883, R884, R885, R886, R887, R888, R889, R890, R891, R892, R893, R894, R895, R896, R897, R898, R899, R900, R901, R902, R903, R904, R905, R906, R907, R908, R909, R910, R911, R912, R913, R914, R915, R916, R917, R918, R919, R920, R921, R922, R923, R924, R925, R926, R927, R928, R929, R930, R931, R932, R933, R934, R935, R936, R937, R938, R939, R940, R941, R942, R943, R944, R945, R946, R947, R948, R949, R950, R951, R952, R953, R954, R955, R956, R957, R958, R959, R960, R961, R962, R963, R964, R965, R966, R967, R968, R969, R970, R971, R972, R973, R974, R975, R976, R977, R978, R979, R980, R981, R982, R983, R984, R985, R986, R987, R988, R989, R990, R991, R992, R993, R994, R995, R996, R997, R998, R999, R1000.
- Install dryer vents according to section M1501.1 of 2012 I.R.C. Ducts shall be continuous and terminate outside of dwelling.
- Where wood framing is exposed to water splashing provide water proof paper flashing and counter flashing. Fire stopping in concealed spaces of halls, furf downs, ceilings, and floor levels, and at 10'0" intervals along length of wall.
- Shower stalls to be finished with non absorbent surface to minimum height of 7'0" above drain inlet per section R1024.2 of 2012 I.R.C. Shower receptors to comply with section P2708 and P2710 of 2012 I.R.C.
- All plumbing installation, riser diagrams, and fixture locations will be done by a licensed plumber and will comply with the national plumbing code and chapters 29-28 of the 2012 I.R.C. All plumbing materials and installation must comply with local municipal codes and standards.
- See owner/builder for window manufacturer and styles. Install exterior windows and doors per section R613 of 2012 I.R.C. Window supplier to locate safety glass as required and certify all windows to comply with 2012 I.R.C., 2000 I.B.C., and 2000 U.B.C. Provide mastic wrap, weather proofing, and caulk surround flashing above windows and counter flash as required.
- All sleeping rooms to have min. of one window size with min. 24" height by 20" wide that provides 5.7 sq. ft. net clear opening to meet EGRESS per 2012 I.R.C. 2000.0.B.C., with a 44" max. sill height.
- Stair design, riser, and tread depths site built must comply with sections R314.1-R314.9 of 2012 I.R.C. Note: All handrails and guardrails shall comply with sections R315-R315 of 2012 I.R.C. and have a min. uniformly distributed live load as per table R301.4 of the 2012 I.R.C.
- All stair balusters to have 9" O.C. max. spacing with no more than 4" max. opening. Install continuous handrail at min. 34" height at all staircase locations and min. 42" height at all landings.
- Pull/electronic access stairs to comply with section R307 of 2012 I.R.C. Having a rough opening no less than 22" by 30" with a 350 lb. min. weight limit and a 30" min. unrestricted head room into the attic to comply with 11305.L3 of 2012 I.R.C.
- Fire place hearth to be 3/8" thick non combustible material. Surround to be non combustible at 12" min. surround opening. All fire pieces to be I.L. and L.C.B.O. approved, installed, and vented per manufacturer specifications. All factory built or masonry job built fire places and chimney assemblies must comply with chapter 10 section R1001.1-R1005.3 of the 2012 I.R.C. Chimneys to rise 24" min. above all roof or structure with in 10'0" distance. Builder shall supply all manufacturers documentation to home owner.
- All electrical installation to be certified by a licensed master electrician selected by builder or owner. All load calculations and panel box sizing, locations, and services by electrical contractor. All wiring types, gauge, and termination will be selected and approved by builder/owner. Installation to comply with the most current national electrical code and all local codes, standards, and comply with chapters 33-35 of the electrical sections of the 2012 I.R.C.. The designer's scope for the electrical plans are limited only to general fixture and switch locations.
- Under all water heaters provide 28 gauge metal drain pan (sized per capacity) fastened to floor deck below. Pan drain line and water heater pressure relief line shall be vented to exterior and not into sanitary sewer. All units to be equipped with T and P pressure relief valves. Clearance from top of water heaters to bottom of rafters shall not be less than 10". Gas equipment shall be provided with appropriate air ventilation for combustion air and min. 4" diameter prefab flue flashed at roof deck penetration. Installation to comply to manufacturer's specifications and chapters 20, 24, 28 of the 2012 I.R.C.. All sizes, locations, and number of water heaters to be determined by builder/owner/contractor.

NOT IN SCOPE OF DESIGNER SERVICES:

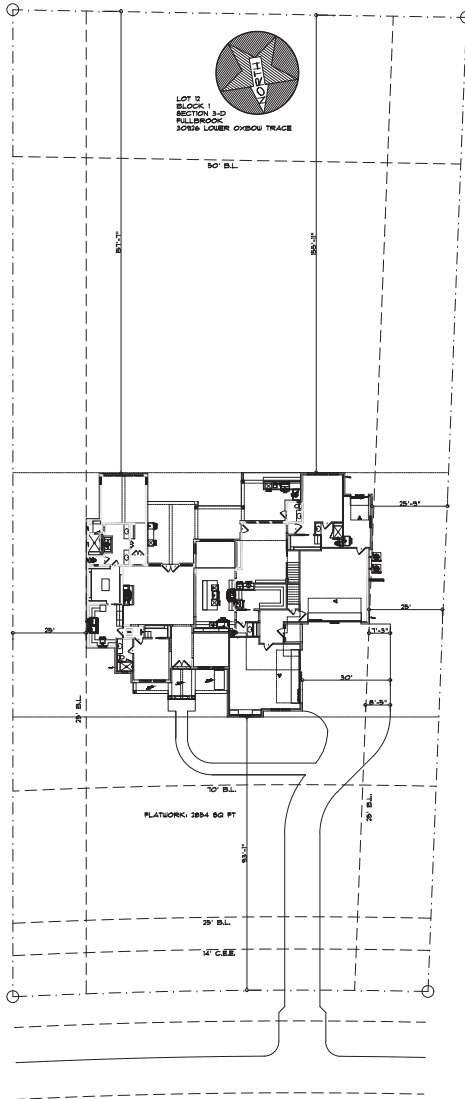
See elevations and detail sheets for additional specifications.
Topographic design is not part of the scope of work of designer. The owner/builder will work directly with foundation engineer for slab requirements. The builder is to compact pad sight soils in accordance with plans and specs provided by engineer. Builder/owner or engineer will establish top of slab elevation, the finished grades, swales, and site drainage. Swimming pools, pool equipment, A/C pads, and locations are not in the scope of services provide by designer. Job site supervision or inspections or not part of designer service. Builder will supervise contractors and certify construction.

BUILDER RESPONSIBILITY FOR THIS DWELLING:
Builder must be able to read, understand, and execute construction with this "builder set of plans". All site preparation, compaction, and topographic requirements will be the sole responsibility of the builder, owner, or approved contractor. Builder will locate house on site via survey and verify that this building does not encroach on to any building lines, set backs, easements, or aerial easements prior to pad construction or setting complete form board layout. Builder will secure all proper permits and approvals prior to any construction. Builder will review all subdivision and municipal guidelines and verified this building design is in compliance. Contractors will refer to builder for all contractor methods, techniques, installation, and code compliance. Builder is responsible for all framing beam sizes, locations, details, materials, and methods of construction. Builder is liable for all engineering oversights and compliance, construction, and field supervision. Designer is not responsible for sub standard construction or supervision. Designer recommend all framing and foundation design to be prepared by a licensed structural engineer who must inspect and certify all work done by contractors. If there is conflict between these drawing and engineering the building will notify designer immediately before continuing construction. Builder will promptly request any additional information from designer, vendors, contractors, or various professionals needed for construction. If contractors proceed with the construction of this dwelling or appurtenances associated with this dwelling with out the required knowledge, documentation, proper supervision or experience needed for it's proper completion the builder will be financially obligated and liable for any work performed by any contractor.

<p>COPYRIGHT 2020 THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART. ANY OF THIS DOCUMENT BY ANY MEANS INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.</p>	<p>BUILDER / CLIENT: BACAK RESIDENCE</p>
	<p>ADDRESS: 30926 LOWER OXBOW TRACE</p>
	<p>148-982079 411 GENTRY SUITE 208 SPRING HILL, TN 37073 WWW.WYRICKRESIDENTIALDESIGN.COM INFO@WYRICKRESIDENTIALDESIGN.COM FACEBOOK: WYRICKRESIDENTIALDESIGN TWITTER: @WYRICKDESIGN</p>
	<p>DATE 2/20/2024 PROJECT IN-2306 PLAN 4015</p>



<p>DATE 2/20/2024 PROJECT IN-2306 PLAN 4015</p>	<p>SHEET A-0</p>
---	-----------------------------



IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THIS SITE PLAN IS CORRECT AND THIS PROPOSED DWELLING HAS NO ENCROACHMENTS AT FORM BOARD STAGE. BUILDER WILL VERIFY WITH A FORM BOARD SURVEY FROM A REGISTERED SURVEYOR THAT THE PROPOSED SLAB FOOTPRINT DOES NOT ENCRACH INTO RECORDED EASEMENTS, AERIAL AND UTILITY EASEMENTS, BUILDING LINES, PROPERTY LINES OR SETBACKS PRIOR TO ANY CONSTRUCTION WHATSOEVER TO PREVENT POSSIBLE ENCROACHMENTS.

SITE PLAN

SCALE: 1" = 20'-0"
SUBDIVISION: FULLBROOK
LOT: 12
BLOCK: 3-D
SECTION: 3-D
PHYSICAL: 3026 LOWER OXBOW TRACE

1 CLEARING PLAN

NO SCALE

2 DRAINAGE PLAN

NO SCALE

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



1480-862078
41 GENTRY SUITE 206
SPRING, TX 77379
WWW.WYRICKDESIGN.COM
INSTAGRAM: @WYRICKDESIGN
FACEBOOK: WYRICKDESIGN
TWITTER: @WYRICKDESIGN

DATE
2/20/2024
PROJECT
IN-2306
PLAN
4015

SHEET
A-1



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

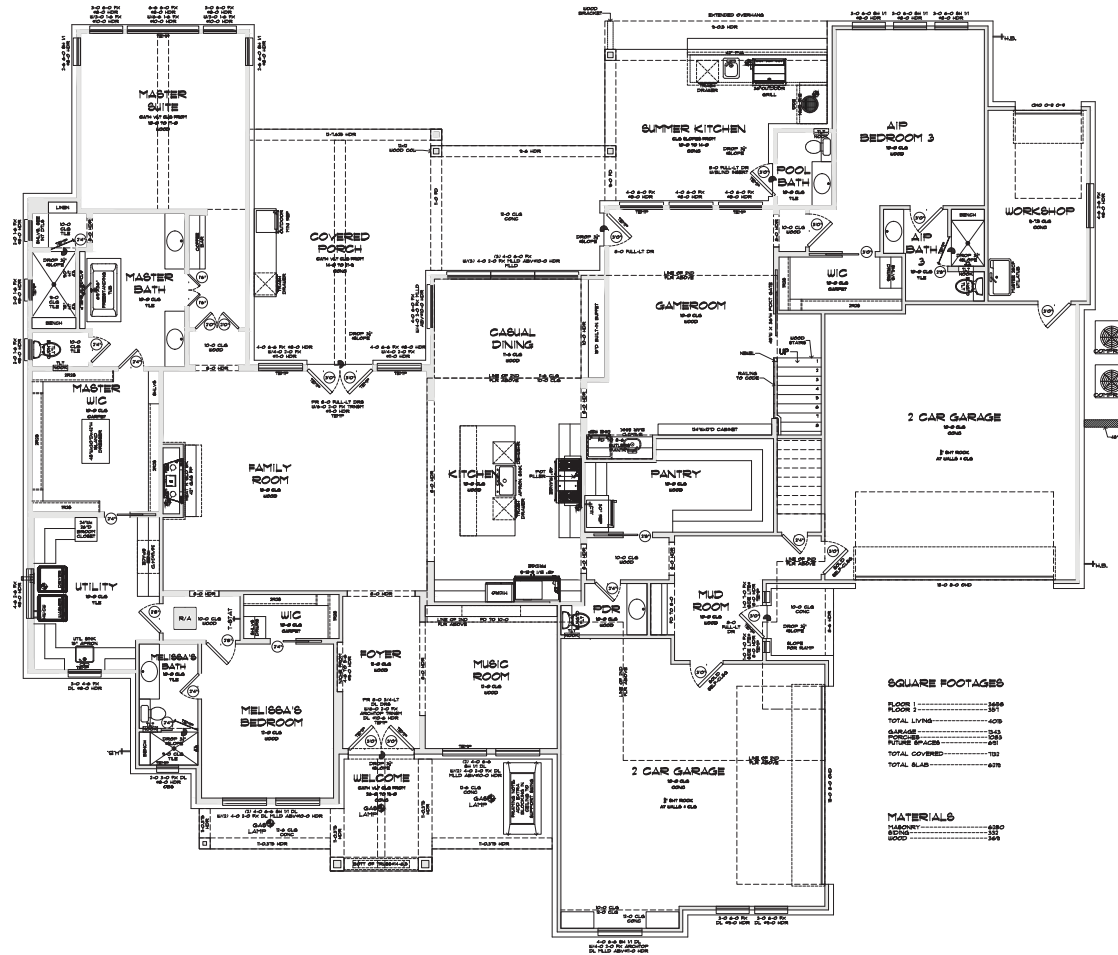
<p>COPYRIGHT 2020 THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.</p>	<p>BUILDER / CLIENT: BACAK RESIDENCE</p>
	<p>ADDRESS: 30926 LOWER OXBOW TRACE</p>



<p>1480-860719 401 GENTRY SUITE 206 SPRING, IN 47375 WWW.WYRICKDESIGNRESIDENTIAL.COM INSTAGRAM: @WYRICKDESIGN FACEBOOK: WYRICKDESIGNRESIDENTIAL TWITTER: @WYRICKDESIGN</p>
--

<p>DATE 2/20/2024</p>
<p>PROJECT IN-2306</p>
<p>PLAN 4015</p>

<p>SHEET A-2</p>



SQUARE FOOTAGES

FLOOR 3	251
TOTAL LIVING	409
GARAGE	324
PORCH SPACES	29
TOTAL COVERED	752
TOTAL BLDG	678

MATERIALS

MAHONY	2300
WOOD	225

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
10'-0" CLG HEIGHTS U.N.O.
ALL DOORS DOWN TO HAVE 8'-0" HT. U.N.O.
ALL WINDOWS DOWN TO HAVE 8'-0" HDHT. U.N.O.

SH 1/1	DOOR WIDTH (3'-0") SINGLE SLING (OPERABLE WINDOW)	C&MT	CASEMENT (OPERABLE WINDOW)
FX	FIXED (NON-OPERABLE WINDOW)	HDR	HEADER (TOP OF WINDOW/DOOR)
HOR 8/LD	HORIZONTAL SLIDER (OPERABLE WINDOW)	M/LLD	MULLID (ATTACHED WINDOWS)
		DL	DIVIDED LIGHT (WINDOW PANES DIVIDED)

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART. ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

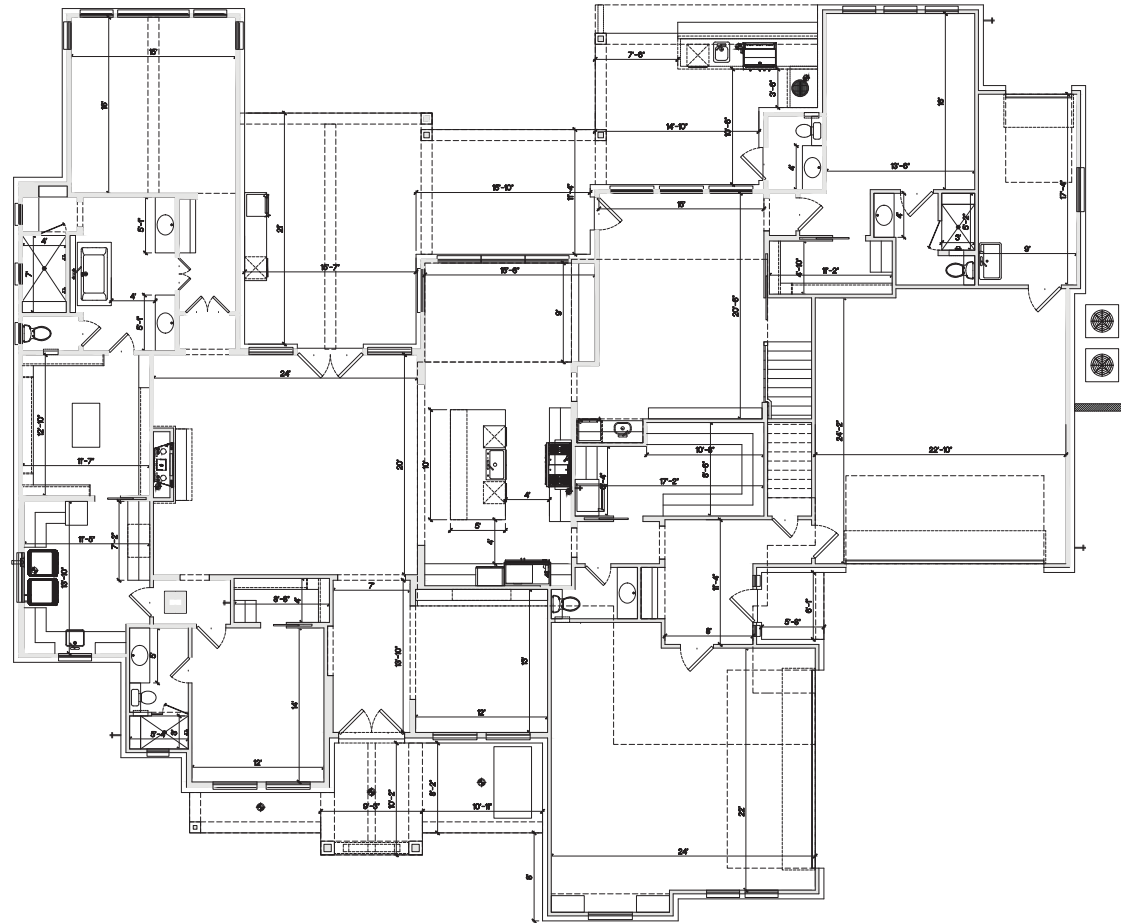
BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



148-982078
41 DENTY SUITE 205
SPRING HILL, TN 37074
WWW.WYRICKDESIGN.COM
INSTAGRAM: @WYRICKDESIGN
FACEBOOK: WYRICKDESIGNFLORIDA
TWITTER: @WYRICKDESIGN

DATE
2/20/2024
PROJECT
IN-2305
PLAN
4015

SHEET
A-3



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SH 1/1	DOOR WIDTH (3'-0") SINGLE HUNG (OPERABLE WINDOW)	C&MT	CASEMENT (OPERABLE WINDOW)
FX	FIXED (NON-OPERABLE WINDOW)	HDR	HEADER (TOP OF WINDOW/DOOR)
HOR SLID	HORIZONTAL SLIDER (OPERABLE WINDOW)	MLLD	MULLION (ATTACHED WINDOWS)
		DL	DIVIDED LIGHT (WINDOW PANES DIVIDED)

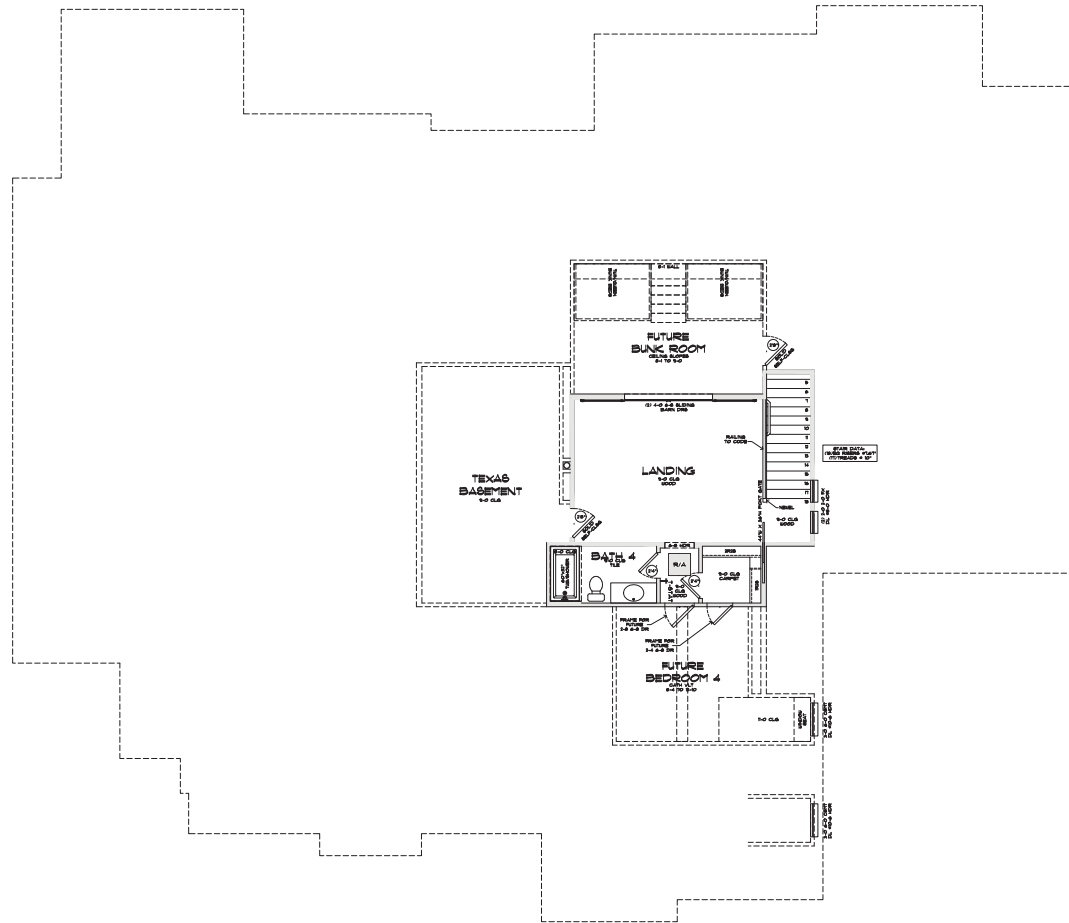
<p>COPYRIGHT 2020 THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART. ANY OF THIS DOCUMENT BY ANY MEANS INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.</p>	<p>BUILDER / CLIENT: BACAK RESIDENCE</p>
	<p>ADDRESS: 30926 LOWER OXBOW TRACE</p>



<p>1485-862078 411 GENTRY SUITE 208 SPRING, TX 77273 WWW.PROFESSORWYRICK.COM INSTAGRAM: @PROFESSORWYRICK FACEBOOK: WYRICKRESIDENTIALDESIGN TWITTER: @PROFESSORWYRICK</p>
--

<p>DATE 2/20/2024</p>
<p>PROJECT IN-2306</p>
<p>PLAN 4015</p>

<p>SHEET A-4</p>



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
9'-0" CLG HEIGHTS U.N.O.
ALL DOORS UP TO HAVE 6'-8" HT. U.N.O.
ALL WINDOWS UP TO HAVE 7'-8" HDHT. U.N.O.

DOOR WIDTH (3'-0")
 SH 1/1 SINGLE HING (OPERABLE WINDOW)
 FX FIXED (NON-OPERABLE WINDOW)
 HOR SLID HORIZONTAL SLIDER (OPERABLE WINDOW)
 CBMT CASEMENT (OPERABLE WINDOW)
 HDR HEADER (TOP OF WINDOW/DOOR)
 MLLD MILLED (ATTACHED WINDOWS)
 DL DIVIDED LIGHT (WINDOW PANE DIVIDED)

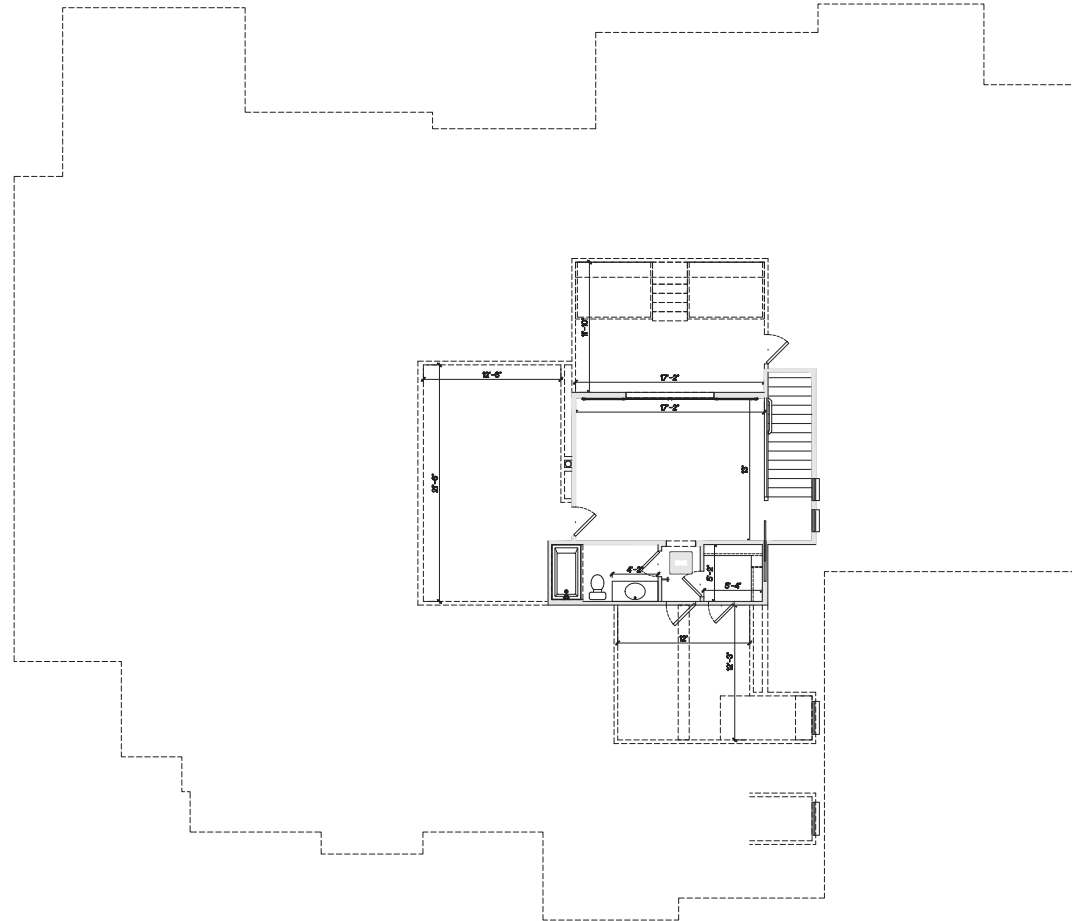
COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART. ANY OF THIS DOCUMENT BY ANY MEANS INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



1485-952079
411 GENTRY SUITE 205
SPRING, TX 77373
WWW.WYRICKDESIGN.COM
INSTAGRAM - @WYRICKDESIGN
FACEBOOK - WYRICKDESIGNFLORIDA
TWITTER - @WYRICKDESIGN

DATE 2/20/2024	SHEET A-5
PROJECT IN-2306	
PLAN 4015	



1 SECOND FLOOR DIMENSION PLAN

SCALE: 1/4" = 1'-0"

SW	DOOR WIDTH (2'-0")	CBMT	CASEMENT (OPERABLE WINDOW)
SH 1/1	SINGLE HUNG (OPERABLE WINDOW)	HDR	HEADER (TOP OF WINDOW/DOOR)
FX	FIXED (NON-OPERABLE WINDOW)	MILLD	MILLED (ATTACHED WINDOWS)
HOR & SLID	HORIZONTAL SLIDER (OPERABLE WINDOW)	DL	DIVIDED LIGHT (WINDOW PANE DIVIDED)

COPYRIGHT 2020 THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.	BUILDER / CLIENT:
	BACAK RESIDENCE
	ADDRESS: 30926 LOWER OXBOW TRACE



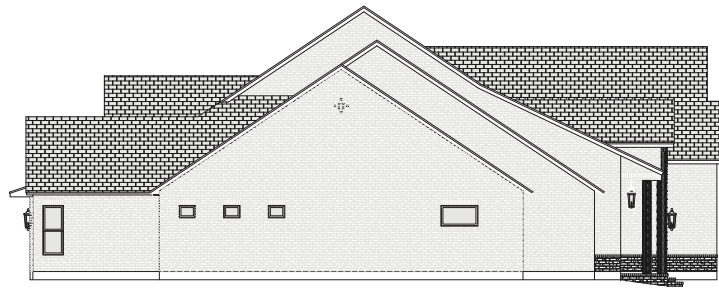
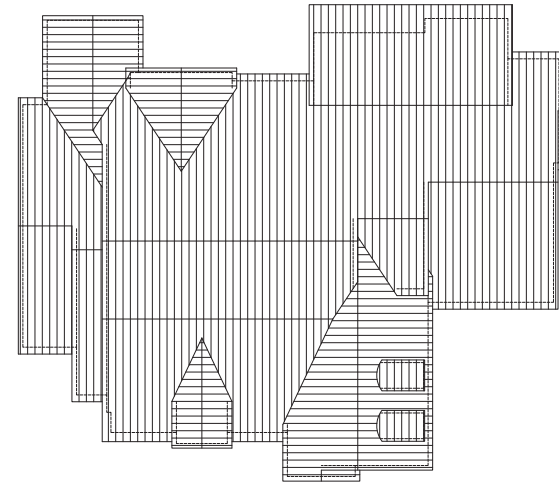
1480-862078
 411 GENTRY SUITE 206
 JENNA, IL 61755
 WWW.WYRICKRESIDENTIALDESIGN.COM
 INSTAGRAM: @WYRICKDESIGN
 FACEBOOK: WYRICKRESIDENTIALDESIGN
 TWITTER: @WYRICKDESIGN

DATE	2/20/2024
PROJECT	IN-2306
PLAN	4015

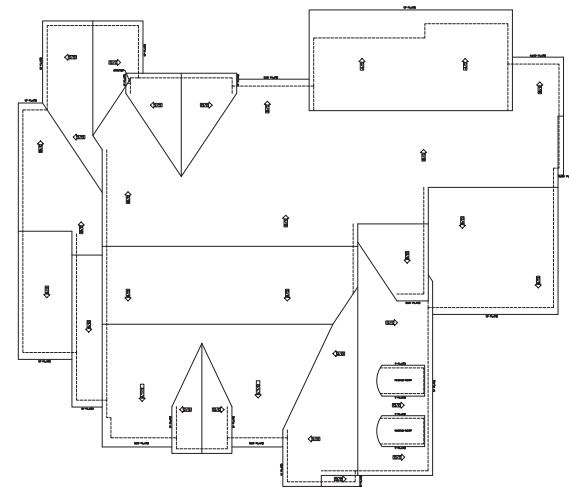
SHEET	A-6
-------	-----



① RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



② LEFT ELEVATION
SCALE: 3/16" = 1'-0"



③ RAFTER AND PITCH PLAN
SCALE: 1/8" = 1'-0"

ALL RAFTERS TO BE #2-2X6@16" O.C. U.N.O.
ALL HIP, RIDGES AND VALLEYS TO BE ONE SIZE LARGER THAN RAFTER
MAXIMUM SPAN FOR RAFTERS IS 11'-0". RAFTER SPANS LONGER THAN 11'-0" REQUIRE PURLIN
PURLIN LAYOUT TO BE SPECIFIED BY PROFESSIONAL ENGINEER.
RAFTER LAYOUT TO BE INSPECTED AND CERTIFIED BY PROFESSIONAL ENGINEER PRIOR TO
CONSTRUCTION.

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO
FEDERAL COPYRIGHT PROTECTION. THEY ARE
THE PROPERTY OF WYRICK RESIDENTIAL
DESIGN. DO NOT REPRODUCE ALL OR IN PART,
ANY OF THIS DOCUMENT BY ANY MEANS,
INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX,
FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S
CONSENT.

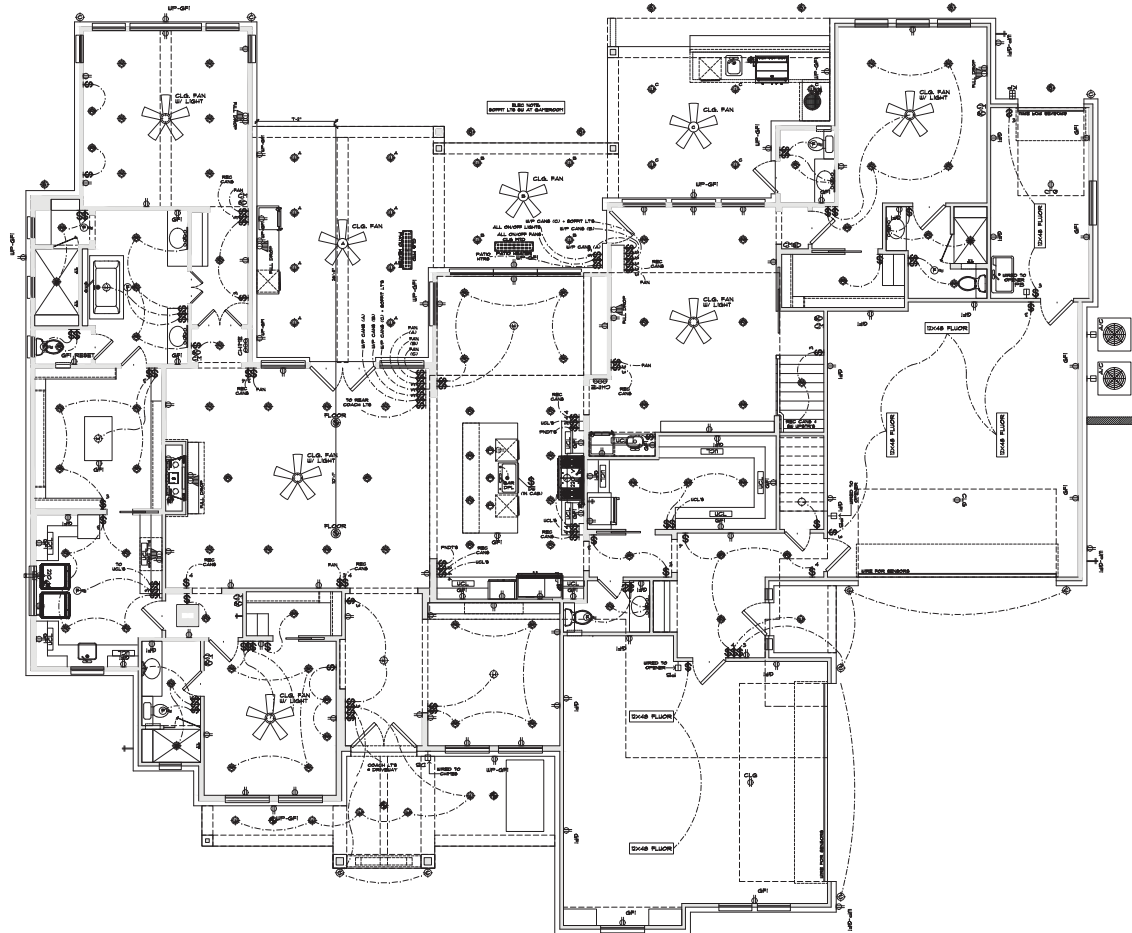
BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



1-800-950-0719
411 GENTRY SUITE 205
SPRING, TX 77373
WWW.WYRICKDESIGNRESIDENTIAL.COM
INSTAGRAM: @WYRICKDESIGN
FACEBOOK: WYRICKDESIGNRESIDENTIAL
TWITTER: @WYRICKDESIGN

DATE
2/20/2024
PROJECT
IN-2306
PLAN
4015

SHEET
A-7



1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"
ALL WATER HEATERS AND HVAC HANDLERS TO BE LOCATED IN ATTIC.
BUILDER TO PROVIDE SOLID PLYWOOD DECKING UNDER ALL UNITS AND PROVIDE ACCESS PATH TO EACH LOCATION.
ALL ELECTRICAL TO BE INSTALLED ACCORDING TO AND IN ACCORDANCE WITH LATEST NATIONAL ELECTRICAL CODE.

ELECTRICAL SYMBOL LEGEND			
	STANDARD SWITCH		HOODED 10Y PLUG
	THREE WAY SWITCH		120V VANITY LIGHT
	FOUR WAY SWITCH		120V RECESS CAN LIGHT
	DOOR SWITCH		120V FLUSH MOUNTED LIGHT
	SURFACE MOUNTED LIGHT		FLOOD LIGHT
	HANGING FIXTURE		UNDER CABINET LIGHT
	RECESS CAN LIGHT		SPOT LIGHT
	WATER PROOF RECESS CAN LIGHT		CELING FAN ATTIC LIGHT
	OUTDOOR LIGHT		CELING FAN WITH LIGHT
	BIBLICAL RECESS CAN LIGHT		10Y PLUG
	EXEMPT RECESS CAN LIGHT		GROUND WALL INTERRUPT PLUG
			WATER PROOF GROUND FAULT INTERRUPT PLUG
			GROUND PLUG PLUG
			HOODED 10Y PLUG
			FLOOR PLUG
			CELING PLUG
			A/C COMPRESSOR CIRCUIT
			CELING MOUNTED SMOKE DETECTOR
			CABLE TV OUTLET
			PHONE OUTLET
			DOOR BELL OUTLET
			WALL MOUNTED GFI
			GARAGE DOOR OPERATOR PUSH BUTTON
			BLOWOUT FAN

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYTRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

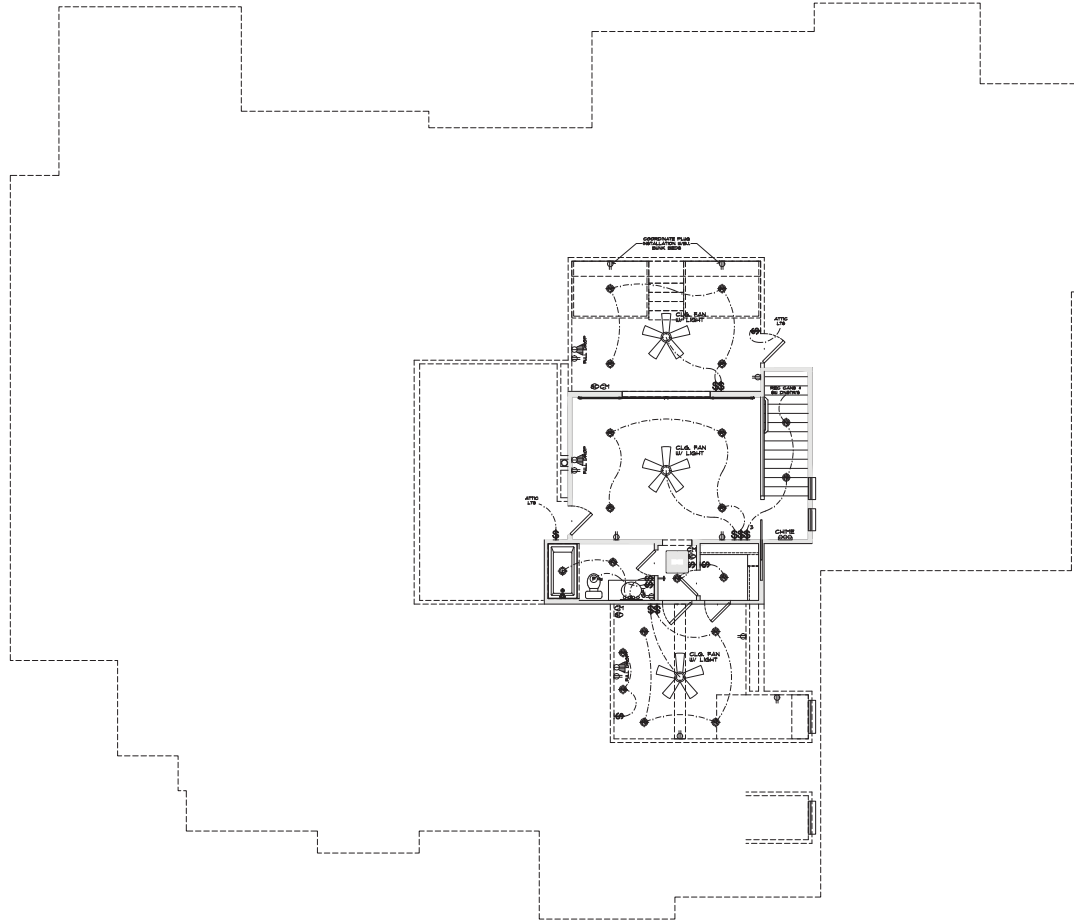
BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



148-982073
41 GENTRY SUITE 205
SPRING DALE, IN 46077
WWW.WYTRICKDESIGN.COM
INFO@WYTRICKDESIGN.COM
FACEBOOK: WYTRICKDESIGN
TWITTER: @WYTRICKDESIGN

DATE
2/20/2024
PROJECT
IN-2305
PLAN
4015

SHEET
A-8



1 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"
ALL WATER HEATERS AND HVAC HANDLERS TO BE LOCATED IN ATTIC.
BUILDER TO PROVIDE SOLID PLYWOOD DECKING UNDER ALL UNITS AND PROVIDE ACCESS PATH TO EACH LOCATION.
ALL ELECTRICAL TO BE INSTALLED ACCORDING TO AND IN ACCORDANCE WITH LATEST NATIONAL ELECTRICAL CODE.

ELECTRICAL SYMBOL LEGEND		ELECTRICAL SYMBOL LEGEND		ELECTRICAL SYMBOL LEGEND	
⊕	STANDARD SWITCH	⊕	RECESS CAN LIGHT	⊕	HIDDEN ROY PLUG
⊕	THREE WAY SWITCH	⊕	MINI RECESS CAN LIGHT	⊕	350V PLUG
⊕	FOUR WAY SWITCH	⊕	FLOOD LIGHT	⊕	FLOOR PLUG
⊕	DOOR SWITCH	⊕	UNDER CABINET LIGHT	⊕	CEILING PLUG
⊕	WALLFACE POINTED LIGHT	⊕	8"SPOT LIGHT	⊕	A/C COMPRESSOR CIRCUIT
⊕	HANGING PICTURE	⊕	CEILING FAN WITHOUT LIGHT	⊕	CEILING MOUNTED SMOKE DETECTOR
⊕	RECESS CAN LIGHT	⊕	CEILING FAN WITH LIGHT	⊕	CABLE TV OUTLET
⊕	WATER PROOF RECESS CAN LIGHT	⊕	ROOF PLUG	⊕	PHONE OUTLET
⊕	CONCH LIGHT	⊕	SECOND KALTY INTERUPT PLUS	⊕	DOOR BELL OUTLET
⊕	STYBALL RECESS CAN LIGHT	⊕	WATER PROOF GROUND FALT INTERUPT PLUS	⊕	HALL MOUNTED CABLE
⊕	ROOF RECESS CAN LIGHT	⊕	4"AD PLUG- PLUG	⊕	GARAGE DOOR OPENER PUSH BUTTON
				⊕	EXHAUST FAN

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

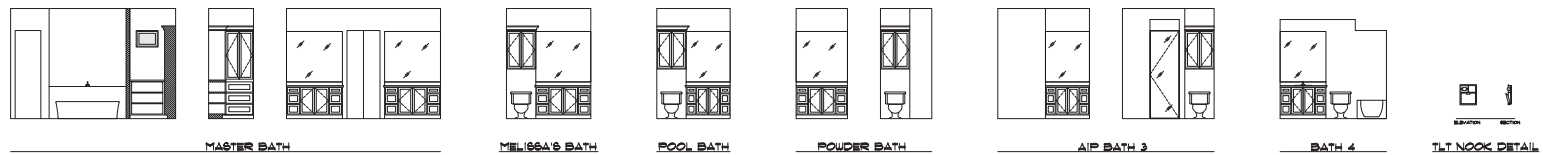
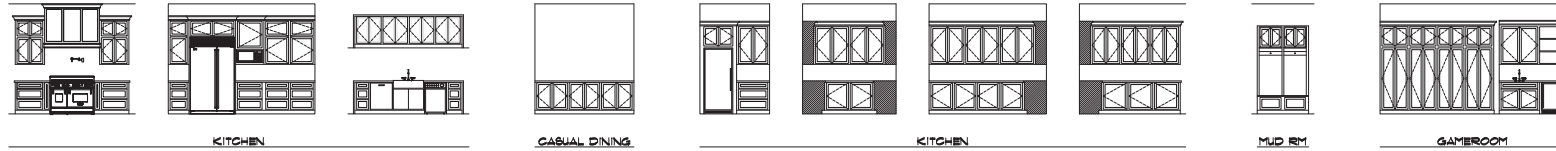
BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



148-882078
411 DENTY SUITE 205
SPRING VALLEY, CA 94576
WWW.WYRICKDESIGN.COM
INFO@WYRICKDESIGN.COM
FACEBOOK: @WYRICKDESIGN
TWITTER: @WYRICKDESIGN

DATE
2/20/2024
PROJECT
IN-2305
PLAN

SHEET
A-9
4015



1 INTERIOR DETAILS
SCALE: 1/4" = 1'-0"
PROVIDE FALSE DRAWERS WHERE APPLICABLE
NOT ALL CABINETS ARE APPLICABLE FOR ANY GIVEN HOUSE

COPYRIGHT 2020
THE DESIGNS DEPICTED HERE ARE SUBJECT TO FEDERAL COPYRIGHT PROTECTION. THEY ARE THE PROPERTY OF WYRICK RESIDENTIAL DESIGN. DO NOT REPRODUCE ALL OR IN PART, ANY OF THIS DOCUMENT BY ANY MEANS, INCLUDING VELLUM, SEPA, BLUEPRINTS, XEROX, FILM, ELECTRONIC, ETC. WITHOUT DESIGNER'S CONSENT.

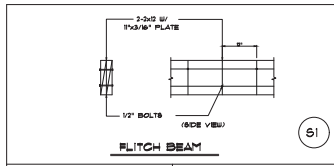
BUILDER / CLIENT:
BACAK RESIDENCE
ADDRESS:
30926 LOWER OXBOW TRACE



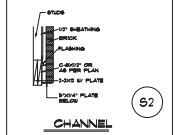
1-800-952-0719
401 GENTRY SUITE 205
SPRING, TX 77381
WWW.PROFESSORWYRICK.COM
INSTAGRAM: @PROFESSORWYRICK
FACEBOOK: /PROFESSORWYRICKDESIGN
TWITTER: @PROFESSORWYRICK

DATE
2/20/2024
PROJECT
IN-2306
PLAN
4015

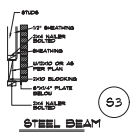
SHEET
A-10



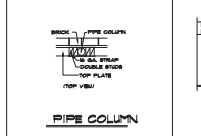
FLITCH BEAM



CHANNEL



STEEL BEAM



PIPE COLUMN



STEEL BEAM

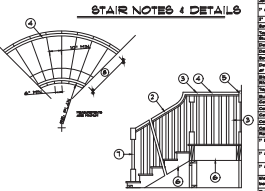
FRAMING SPAN TABLES

Tables showing span limits for 2x8 and 2x10 framing under various conditions. Includes columns for span, load, and notes.

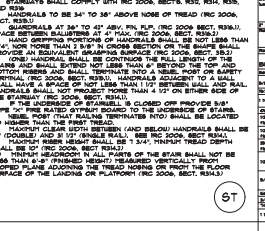
STEEL ANGLE LINTEL SCHEDULE

Table showing lintel schedule for 2x8, 2x10, 2x12, 2x14, 2x16, and 2x18 steel angles under various load conditions.

STEEL NOTES AND DETAILS
1. ALL TYPICAL STRUCTURAL STEEL PLATES AND SECTIONS SHALL CONFORM TO ASTM A36.



STAIR NOTES & DETAILS

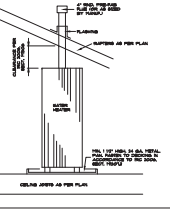


TYPICAL ROOF SECTION

WIND STRAPPING NAILING SCHEDULE

Table providing nailing schedules for wind strapping on various roof types and materials.

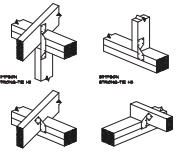
Table providing nailing schedules for various structural steel sections.



WATER HEATER NOTES AND DETAILS

BUBBLE NOTES ON DETAILS: GENERAL FRAMING NOTES:

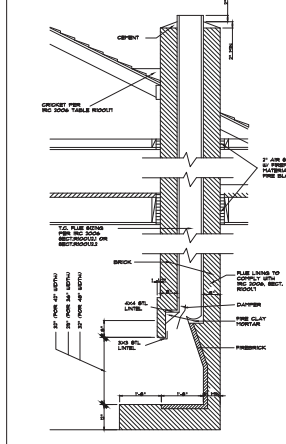
- 1. CORROSION INHIBITORS...
2. ALL STRUCTURAL MEMBERS...
3. RAFTERS SHALL BE...
4. 2x4 BRIDGE RAFTERS...
5. 2x6 BRIDGES...
6. 2x8 BRIDGES...
7. 2x10 BRIDGES...
8. 2x12 BRIDGES...
9. 2x14 BRIDGES...
10. 2x16 BRIDGES...
11. 2x18 BRIDGES...



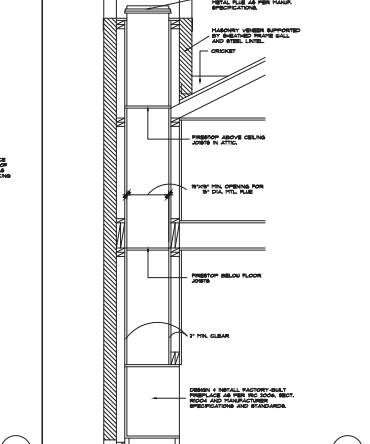
TYPICAL RAFTER-WALL CONNECTION

IRC 2006 R802.1.3 BRIGED WALL PANEL CONSTRUCTION METHOD

1. BRIGED WALL PANEL CONSTRUCTION METHOD...
2. THE CONSTRUCTION OF BRIGED WALL PANELS SHALL BE IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS...
3. METHOD A...
4. METHOD B...



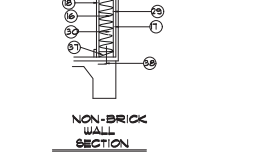
MASONRY



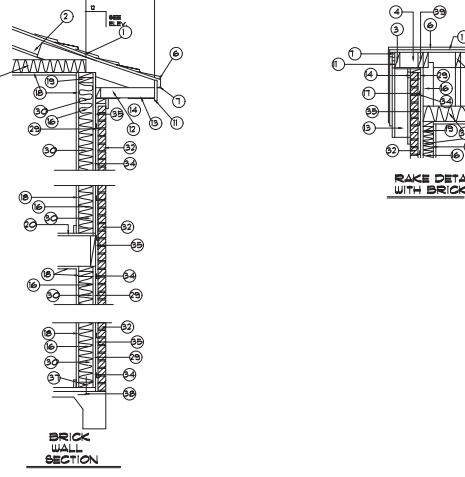
FACTORY BUILT

FIREFLACE DETAILS

- 1. ALL BRICK FIREFLACES TO BE BUILT AND INSTALLED AS SHOWN IN IRC 2006, SECT. R901.2.1.
2. FACTORY BUILT FIREFLACES SHALL BE INSTALLED IN ACCORDANCE TO IRC 2006, SECT. R901.2.1.
3. CONCRETE TO BE 3\"/>



NON-BRICK WALL SECTION



BRICK WALL SECTION

FRAMING DETAILS

SCALE: NOT TO SCALE

