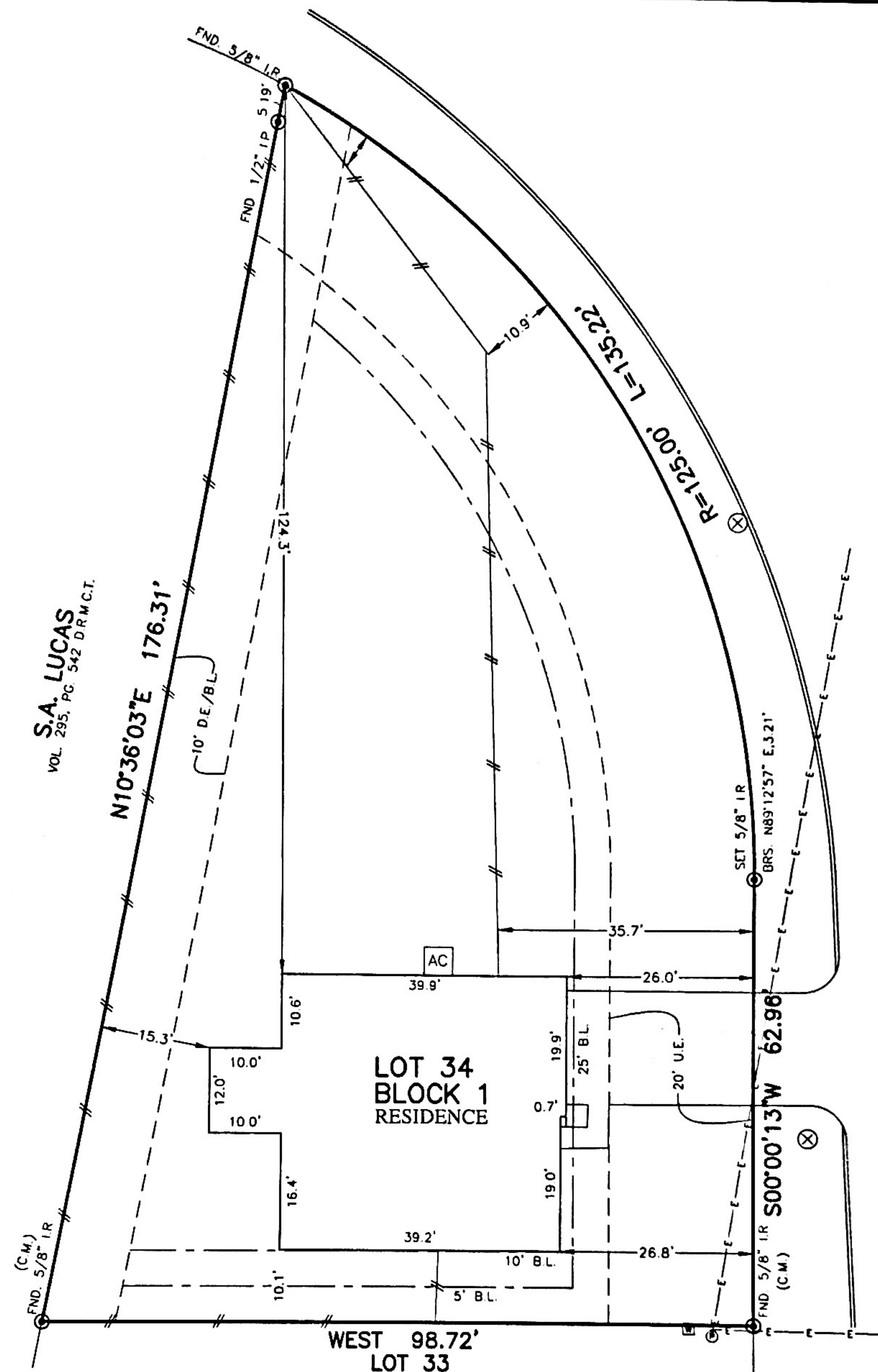




FLATWORK	BL BUILDING LINE	U.E. UTILITY EASEMENT	A.E. AERIAL EASEMENT	⊙ LIGHT POLE	⊗ MANHOLE
PROPERTY LINE	O.B.L. GARAGE BUILDING LINE	W.L.E. WATER LINE EASEMENT	D.E. DRAINAGE EASEMENT	⊕ ELECTRIC BOX	⊞ GRATE DRAIN
BUILDING LINE	(B.O.) BUILDER GUIDELINES	S.S.E. SANITARY SEWER EASEMENT	E.E. ELECTRIC EASEMENT	⊖ FIBER OPTIC	⊠ PAD MOUNTED TRANSFORMER
BASEMENT	FF FINISHED FLOOR	STMSB. STORM SEWER EASEMENT	⊕ WATER VALVE	⊕ TELEPHONE PEDESTAL	
WOODEN FENCE	EXT EXTENDED	P.A.E. PERMANENT ACCESS EASEMENT	⊕ FIRE HYDRANT	⊕ GAS METER	
WROUGHT IRON FENCE	R.O.W. RIGHT-OF-WAY	P.U.E. PUBLIC UTILITY EASEMENT	⊕ MONUMENT	⊕ CABLE PEDESTAL	
CHAIN LINK FENCE	T.O.F. TOP OF FORM	P.V.T. PRIVATE	⊕ IRON ROD	⊕ WATER METER	
OVERHEAD ELECTRIC	C.M. CONTROL MONUMENT	FND FOUND	⊕ IRON PIPE	⊕ GUY ANCHOR	
				⊕ MANHOLE & INLET	

PLAT OF SURVEY
SCALE: 1" = 20'

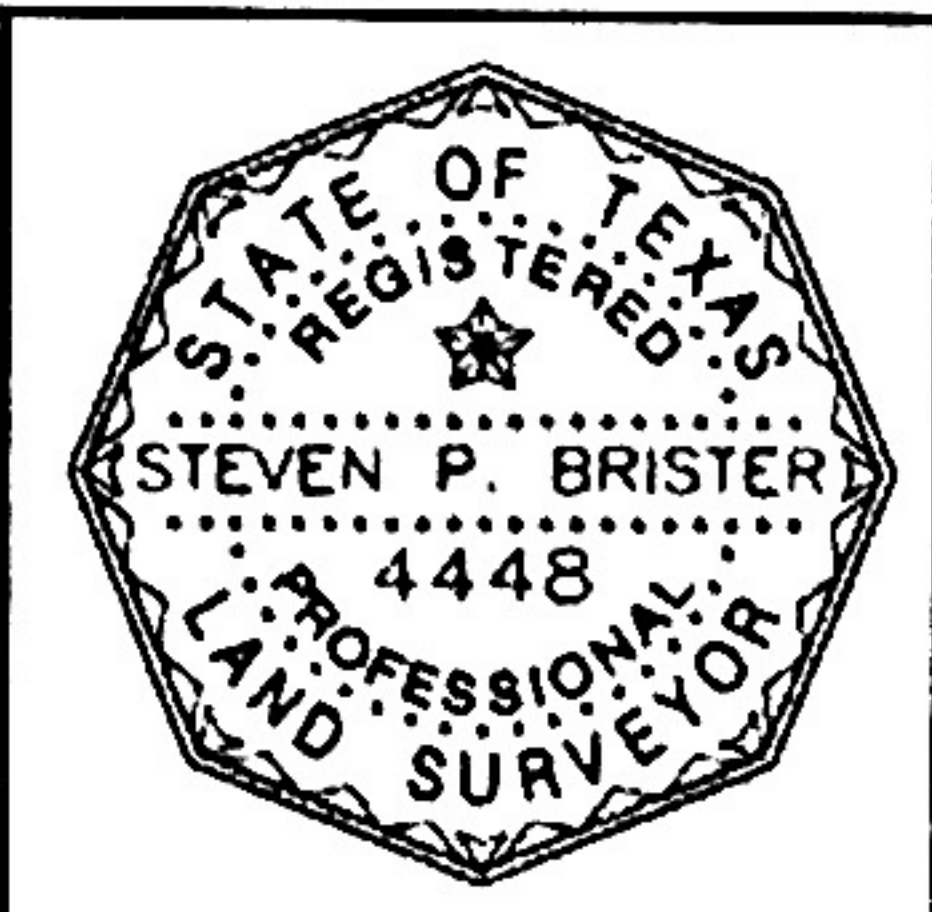
15324 WILLIE MAYS COURT
(50' R.O.W.)



NOTES
 1. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT
 2. ALLPOINTS LAND SURVEY, INC IS NOT LIABLE FOR ANY DAMAGES DUE TO INFORMATION NOT PROVIDED TO SURVEYOR OR BUILDER PLACING ANY IMPROVEMENTS WITHIN A BUILDING LINE OR EASEMENT
 3. ALL SET RODS ARE 5/8" IR WITH CAP MARKED "ALLPOINTS SURVEY"
 4. ALL FOUND IRON RODS ARE CAPPED WITH PLASTIC CAPS MARKED "GOODWIN" UNLESS OTHERWISE NOTED
 5. SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM 1, SCHEDULE "B" OF TITLE COMMITMENT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE Co UNDER CF No 22-70404-44

FOR: CHELSEY GARCIA AND SHAWN GARCIA
 ADDRESS: 15324 WILLIE MAYS COURT
 ALLPOINTS JOB#: FA270422 BY: LF
 G.F.: 22-70404-44
 JOB:

LOT 34, BLOCK 1,
 SPLENDORA FIELDS, PHASE 1 SECTION 4,
 CAB. Z, SHT. 7905, MAP RECORDS,
 MONTGOMERY COUNTY, TEXAS



FLOOD ZONE: X
 COMMUNITY PANEL:
 48339C06006
 EFFECTIVE DATE: 8/18/2014
 LOMR: DATE:

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND, ON THE 2ND DAY OF MAY, 2022.
Steven P. Brister