

6011 Driscoll Park Dr

Property Inspection Report



**PERFORMANCE
INSPECTIONS, PLLC**

6/26/2022

Prepared for: Adam Green

Inspector: Scott Adams
TREC#21668

Performance Inspections PLLC

507 Saguaro Way

Richmond, TX 77469

(281)515-0499

Inspectforu29@gmail.com

PROPERTY INSPECTION REPORT FORM

Adam Green <i>Name of Client</i>	6/26/2022 <i>Date of Inspection</i>
6011 Driscoll Park Dr, Richmond, TX 77407 <i>Address of Inspected Property</i>	
Scott Adams <i>Name of Inspector</i>	21668 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;

- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**** The following items were taken care of by the seller on this inspection report:**

- fixed the drain in the third bathroom
- got the stains out of the carpet
- replaced the back door seal
- repaired the inoperative stopper in the master bathroom sink
- replaced the cover plate to one of the sprinkler solenoids

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D).

Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Please review full report. Key notes are listed on last page.

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NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab-on grade

Comments:

✓			✓
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- The Foundation is: In the inspector's opinion, the foundation was found to be performing as intended at the time of inspection, with some notable deficiencies. These deficiencies may or may not require further evaluation by a foundation expert as its not possible to determine full performance on a single inspection. This opinion was formed with a visual evaluation. No measurements, or specialty tools were used while preforming the home inspection.
- Corners of the foundation were found to be broken. This is a common deficiency. Correct repairs of the corner(s) is recommended to reduce the risk of further damage to the exterior finish.



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B. Grading and Drainage

Comments:

- Downspout extensions were found to be damaged. Repairs/replacement is needed to properly carry water shed away from the foundation as intended.

✓			✓
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C. Roof Covering Materials

Type(s) of Types of Roof Covering: Asphalt composition shingle

Viewed From: The inspector walked the roof surface.

Comments:

- Lifted flashings should be secured and sealed by a professional roofer, to reduce the risk of water entry to the home.
- Damaged gutters should be repaired or replaced as necessary to avoid spilling roof runoff around the building, a potential source of water entry or water damage.
- Correct roof vent that has been installed incorrect

✓			✓
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D. Roof Structure and Attics

Viewed From: Entered Attic

Comments:

✓			✓
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- Flue pipes in the attic space need seal improvements where they terminate through the roof covering to prevent water and/or pest entry to the home.
- While investigating the roof structure, outside light was visible. This condition suggests that openings exist in the roofing materials. Repairs should be made, as necessary.
- Dryer vent is required to vent to the exterior of structure. Dryer discharging into attic space is a potential hazard as lint is an extremely combustible material. Repairs are required.

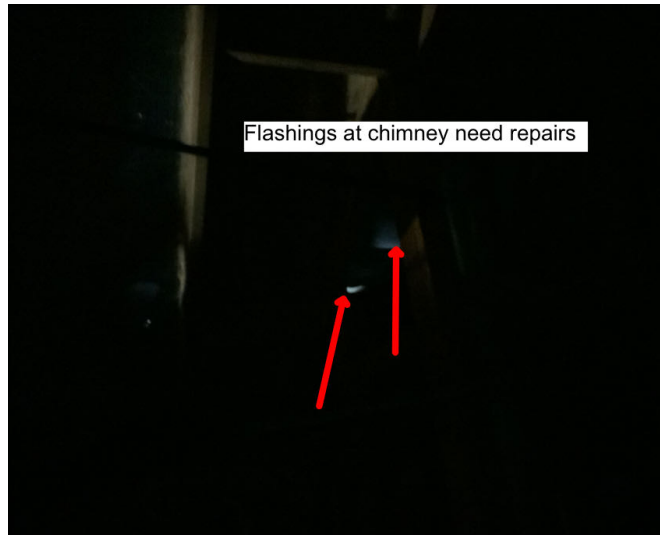
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E. Walls (Interior and Exterior)

✓			
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Comments:

- No notable deficiencies observed at the time of inspection.
- The inspector reports on all visible deficiencies on all wall surfaces at the time of inspection. The inspector does not accept responsibility for any deficiencies that may occur in these areas after the time of inspection, as mechanical failures within the walls are unpredictable. The inspector is unable to view within the walls, which may be covering poor connections of water lines, drains, electrical connections, and possibly organic growth.

F. Ceilings and Floors

✓			✓
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Comments:

- The inspector reports on all visible deficiencies on the ceilings and floors at the time of inspection. The inspector does not accept responsibility for an deficiencies that may occur in these areas after the time of inspection, as mechanical failures within the walls are unpredictable. The inspector is unable to view within the walls, which may be covering poor connections of water lines, drains, electrical connections, and possibly organic growth.
- Drywall seam failures observed. These are common with settlement deficiencies. Recommend repairs to prevent further damage.
- Evidence of patching was detected. Monitoring of these areas is recommended, as the cause for the patching can not be precisely determined.
- Water staining was noted. The cause for the staining should be determined and repairs undertaken, if necessary, to prevent structural damage.
- Staining was noted. The cause for the staining should be determined and repairs undertaken, if necessary, to prevent structural damage.
- Stains were noted on the carpet. Cleaning is recommended, however replacement may be necessary for set in stains. Improvements are discretionary.

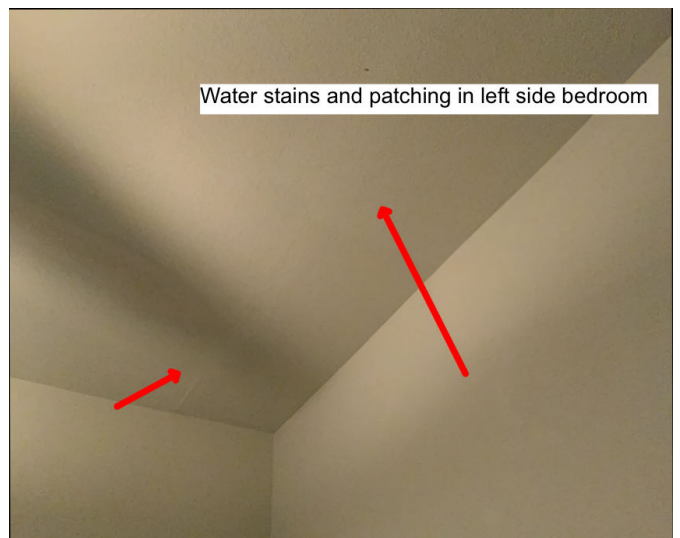
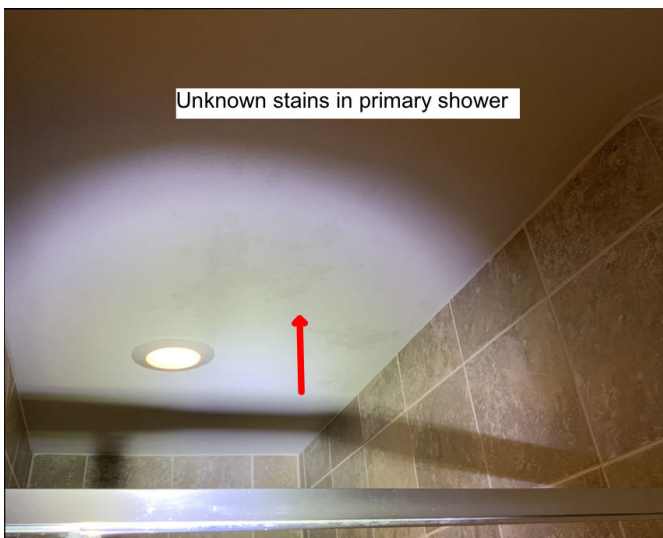
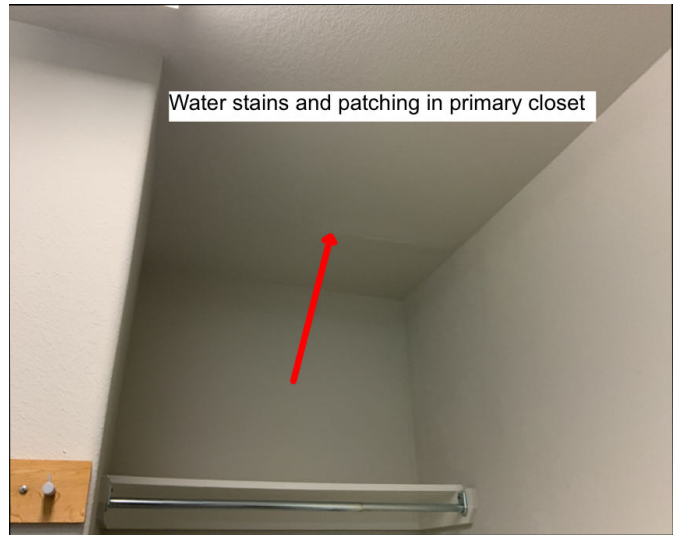
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G. Doors (Interior and Exterior)

Comments:

✓			✓
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- The seals at the exterior door(s) needs improvements. Repairs should be made to prevent water entry, and improve energy efficiency by preventing drafts.

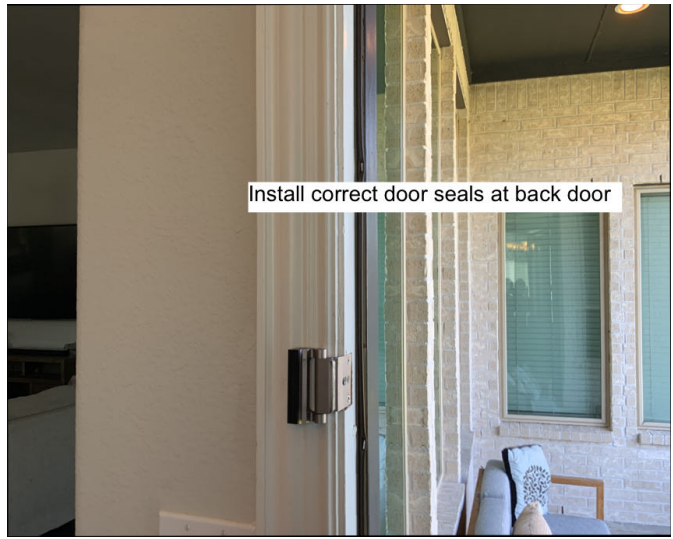
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H. Windows

Comments:

✓			✓
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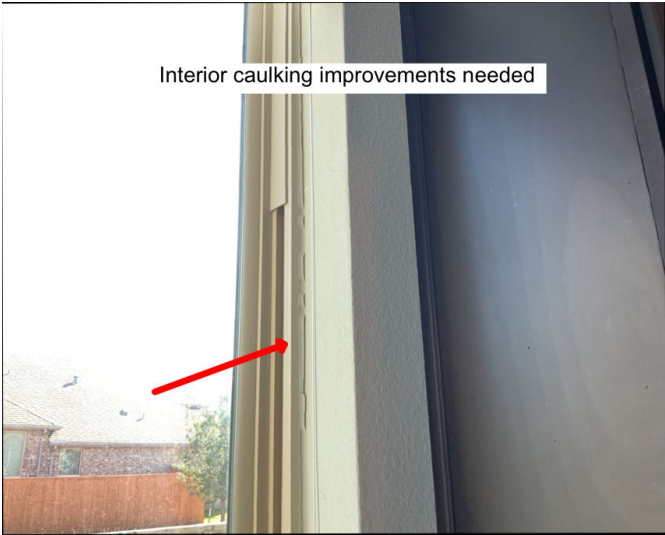
- At time of inspection, inspector was not able to operate all windows due to obstructions. Inspector is not required to move furniture, blinds or personal belongings. Inspector operates accessible windows to confirm that windows operate as intended.

- The window(s) have lost their seal. This has resulted in condensation developing between the panes of glass and can cause the glass to loose it's insulating properties. The glass should be replaced.
- Seal improvements are needed on the interior side of the windows to prevent moisture entry and potential moisture damage, along with improve energy efficiency by preventing drafts.



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I	NI	NP	D
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I. Stairways (Interior and Exterior)

		✓	
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J. Fireplaces and Chimneys

✓			✓
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Locations: Fireplace is located in the living room
Comments:

- Gas Valve Location: Left side
- Significant creosote build up was noted in the fireplace flue and/or firebox. Cleaning of these areas should be undertaken by a qualified contractor for improved safety prior to operation. Any deficiencies uncovered upon cleaning should be addressed if deemed necessary.
- Seal at gas pipe entering firebox is required to prevent possible hazard.

K. Porches, Balconies, Decks, and Carports

		✓	
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L. Other

		✓	
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Comments:

- N/A

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

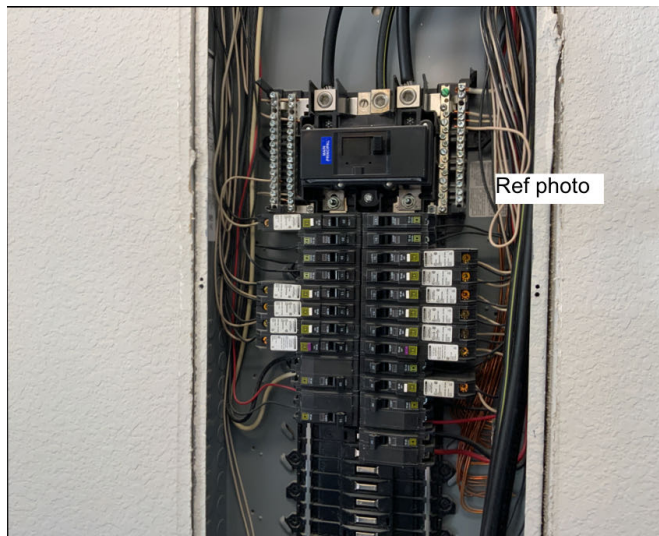
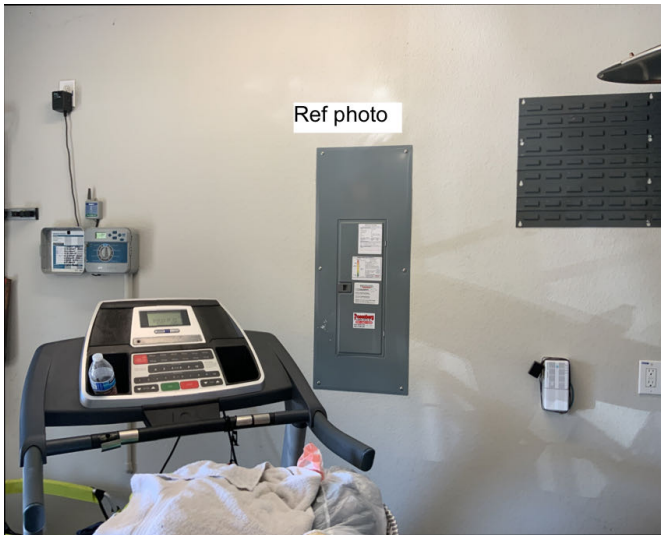
Panel Locations: The main distribution electrical panel is located inside the garage.

Materials and Amp Rating: Aluminum wiring, 150 amp

Comments:

- Aluminum service wires are recommended to have an anti-oxidation compound applied to prevent aluminum wires from oxidation. Oxidation of the wires will cause poor connection and could lead to overheating.

✓			✓
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

✓			✓
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- **AFCI** (Arc-Fault Circuit Interrupters) provide fire protection by opening the circuit when arching fault is detected. AFCI outlets are required to be combing action-type AFCI (which provide a broader range of protection) and be installed at circuits supplying outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms or areas. Though this may not have been required at the time the home was built, AFCI outlets would serve as a great safety upgrade.
- **GFCI** (Ground-Fault Circuit Interrupter) outlets serve to respond to very low levels of current imbalance in a circuit due to a current leak outside of it's normal path to help reduce the risk of fire or electrocution. GFCI outlets are currently required at all receptacles serving bathrooms, garages, accessory buildings, unfinished basements, outdoors, crawl spaces (or below grade), kitchen counters, whirlpool tubs, and within 6ft of a water source. Though GFCI outlets may not have been required in all above listed locations at the time the home was built, installation would serve as a great safety upgrade.
- A ground fault circuit interrupter (GFCI) outlet did not respond correctly to testing during the inspection. This receptacle should be replaced.
- A ground fault circuit interrupter (GFCI) outlet is inoperative. This circuit should be investigated and/or replaced.
- Missing GFCI outlets/ circuits required within 6' of water. GFCI protection has been required since 1971 at the exterior of home. In 1975 it was required in bathrooms. In 1978 in garages and in 1987 protection was required in kitchens. If ANY electrical alterations have made since these times (renovations, design changes or additions) GFCI is required at any outlet within 6' of water. See codes for further explanation.
- The damaged light fixture should be repaired or replaced.



C. Other

Comments:

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- N/A

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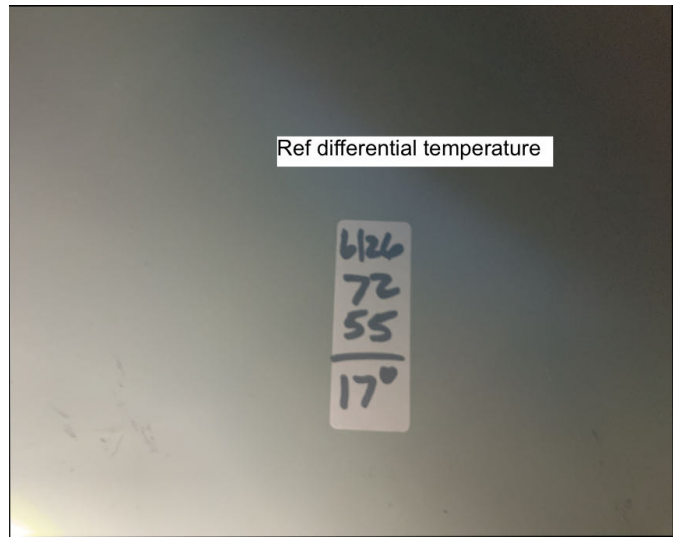
III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central Forced Air System
 Energy Sources: Gas
 Comments:
 • No notable deficiencies observed at the time of inspection.

B. Cooling Equipment

Type of Systems: Central Forced Air System
 Comments:
 • The temperature differentials measured across the evaporator coil(s) was found to be within range of what is considered typical.



C. Duct Systems, Chases, and Vents

Comments:
 • Cleaning needed at dirty dryer vent.
 • Dryer vents are required to terminate to the exterior of home. (not into attic, garage or under home if on stilts or pier and beam) Correct termination and location may need repairs.
 • Duct cleaning is recommended.

D. Other

Comments:
 • N/A

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IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution System and Fixtures

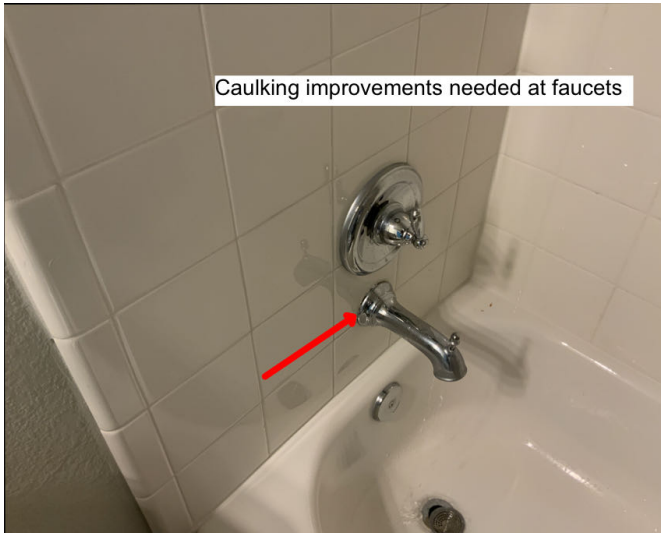
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Location of Water Meter: Within 5-feet of Front Curb

Location of Main Water Supply Valve: Within 3-feet of the north exterior wall.

Comments:

- Static water pressure reading: 63 psi
- Type of supply piping material: Pvc
- The inspector only reports on exposed supply lines visible at the time of inspection. If the inspector feels further evaluation is needed she will recommend a licensed plumber do so. Performance Inspections PLLC and it's employees take no responsibility for connections that are not visible at the time of inspection.
- Safe water temperature of 120 degrees is recommended for safety.
- Seal improvements needed at faucet(s) to protect against water / moisture damage to finished surfaces nearby.
- Mineral build up was observed at faucets. This may suggest "hard" water. Continued build up at faucets and within pipes could affect the performance of the supply plumbing system. Water conditioning equipment may want to be considered. This situation should be monitored.
- Access panels are required to access all bathroom fixtures. Installation is needed where missing.
- The drainstop for the tub is missing and should be replaced.
- The drainstop for the sink is inoperative and should be repaired to allow proper operation.



Caulking improvements needed at faucets



Missing stopper

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B. Drains, Wastes and Vents

✓			✓
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Materials: PVC drains observed

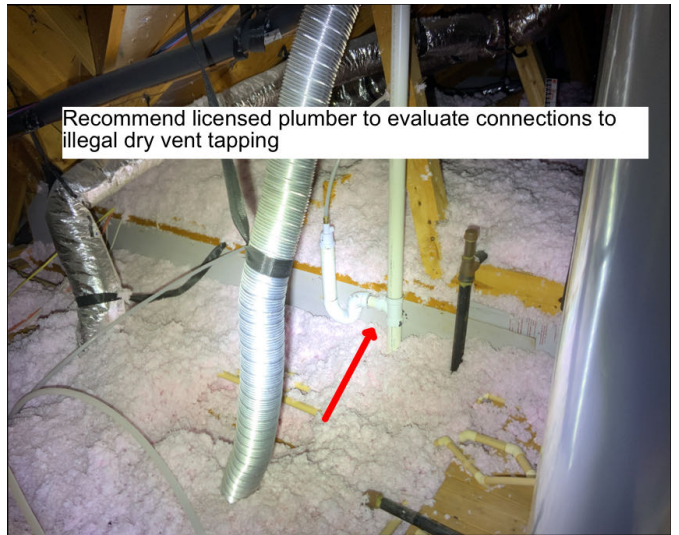
Observations:

- *Main clean out:* Left front

- The inspector only reports on exposed drain lines visible at the time of inspection. It is unlawful for the home inspector to use a camera in drain lines (this requires a plumber's license). If the inspector feels further evaluation is needed she will recommend a licensed plumber do so. Performance Inspections PLLC and it's employees take no responsibility for connections that are not visible at the time of inspection.
- The drain pipes should extend from the exterior walls and end in a 90 degree bend to direct water away from draining onto the exterior walls. Repairs are needed by a licensed plumber.
- **Recommend licensed plumber to evaluate and correct illegal dry vent tapping**

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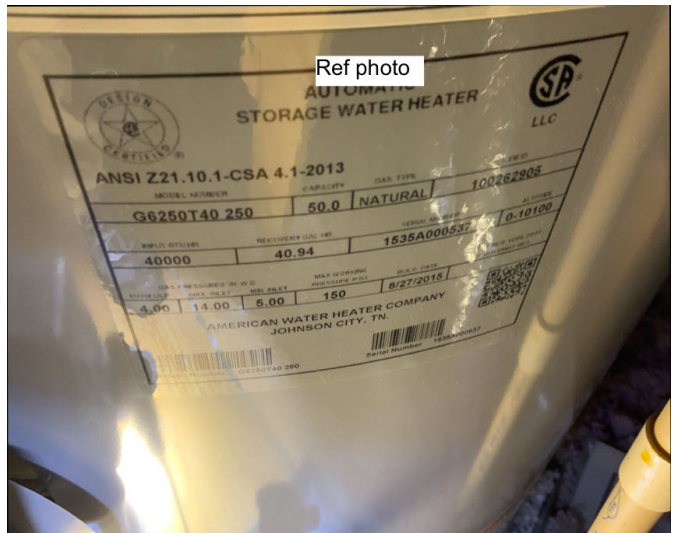
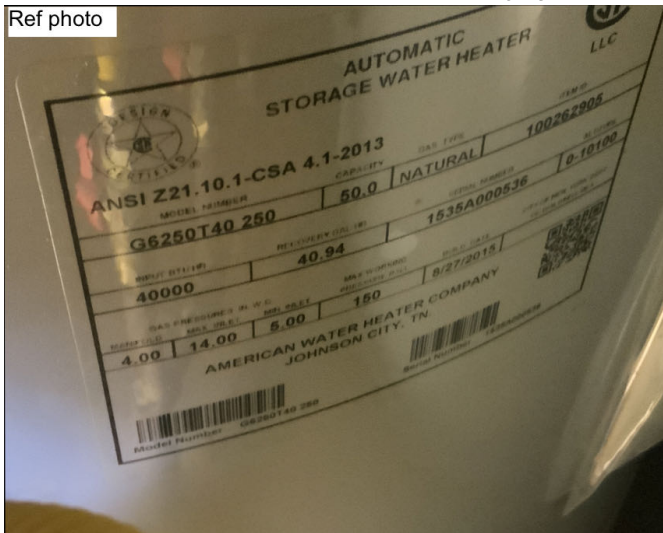


C. Water Heating Equipment

✓			✓
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Energy Source: Gas
Capacity: 50 Gallons x 2
Comments:

- Its recommended that a water heater leak detector be added to drip pan near drain line. These devices can be purchased online at Amazon. They connect to WIFI and you download an app on cell phone for notification of water entering pan(s). Great first alert device.
- The water was found to be higher than what is considered safe. The water should not exceed 120 degrees for safety purposes. Adjustments should be made to lower the water temperature to reduce the risk of injury.



D. Hydro-Massage Therapy Equipment

		✓	
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E. Gas Distribution Systems and Gas Appliances

Materials: Left side of home

Materials: Black pipe

✓			
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F. Other

		✓	
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V. APPLIANCES

A. Dishwashers

✓			
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Comments:

- No notable deficiencies observed at the dishwasher at the time of inspection.

B. Food Waste Disposers

✓			
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Comments:

- The garbage disposal operated as intended at the time of inspection.

C. Range Hood and Exhaust Systems

✓			
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Comments:

- No noted deficiencies observed at the range hood exhaust system at the time of inspection.
- Microwave is positioned over range and is configured to provide exhaust venting to the exterior of the home.

D. Ranges, Cooktops, and Ovens

✓			
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Comments:

- No notable deficiencies observed at the gas cooktop at the time of inspection.
- The oven operated as intended at the time of inspection.

E. Microwave Ovens

✓			
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Comments:

- No noted deficiencies observed at the microwave at the time of inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

✓			
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Comments:

- No noted deficiencies observed at the exhaust fans at the time of inspection.

G. Garage Door Operators

✓			
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Comments:

- The garage door opener operated as intended at the time of inspection.

H. Dryer Exhaust Systems

✓			✓
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Comments:

- Discharge location: Vent on the roof.
- The dryer vent was found to have a build up of lint. Cleaning is required for safety purposes, as lint build up can pose as a fire hazard.

I. Other

		✓	
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VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

✓			✓
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Comments:

- The valve box cover is missing. Replacement of the cover is needed to reduce the risk of damage to the valve.



B. Swimming Pools, Spas, Hot Tubs, and Equipment

		✓	
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C. Outbuildings

		✓	
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D. Private Water Wells (A coliform analysis is recommended)

		✓	
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E. Private Sewage Disposal Systems

		✓	
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F. Other Built-In Appliances

		✓	
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G. Other

Observations:

		✓	
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• KEY NOTES:

- Foundation: repair all broken corners
- Roof: repair and seal flashings at chimney, repair and seal dryer vent termination, correct roof vent
- Ceilings: recommend further evaluation of source to water stains in primary and left front bedroom
- Windows: replace lost seal window
- Doors: install correct back door seal
- Electrical: repair unprotected GFCI outlets in kitchen
- Plumbing: correct drain lines on left side

These are only key notes, see full report for all details