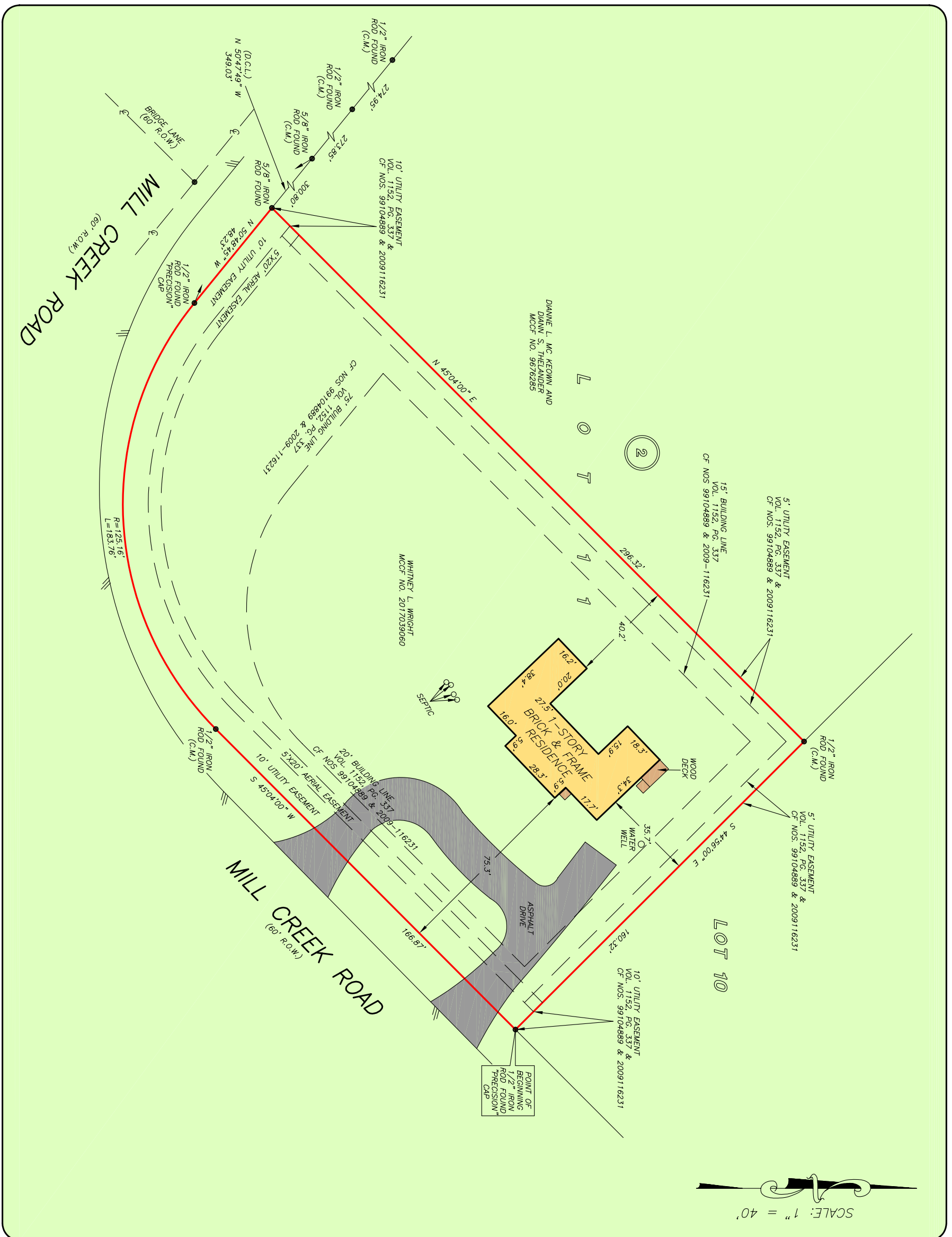


ADDRESS: 40602 MILL CREEK ROAD
MAGNOLIA, TEXAS 77354
BORROWER: WHITNEY L. WRIGHT

**0.9997 ACRES
OUT OF LOT 11, BLOCK 2
MILL CREEK LANDING, SECTION 1**

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
IN CABINET C, SHEET 47A OF THE MAP RECORDS
OF MONTGOMERY COUNTY, TEXAS
(SEE ATTACHED METES AND BOUNDS DESCRIPTION)

NOTE: THIS SURVEY WAS PREPARED WITHOUT A TITLE COMMITMENT.
OTHER EASEMENTS AND/OR BUILDING LINES MAY AFFECT THIS TRACT.



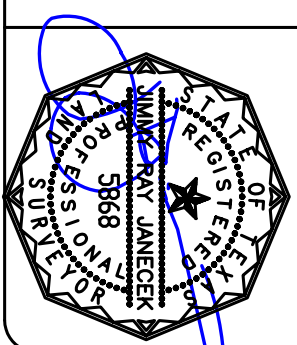
THIS PROPERTY DOES NOT LIE WITHIN THE
100 YEAR FLOOD PLAIN AS PER FIRM
MAP NO. 48339C 0480 G
MAP REVISION: 08/18/2014
ZONE X
BASED ONLY ON VISUAL EXAMINATION OF MAPS.
INACCURACIES OF TEMA MAPS PREVENT EXACT
DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SUBSURFACE INVESTIGATION
MAY BE REQUIRED TO DETERMINE THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
RECORD BEARING: MCF NO. 2000-074309

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
ON THE GROUND, THAT THIS PLAT CORRECTLY
REPRESENTS THE AND IS FOUND AT THE NO
ENCROACHMENTS APPARENT ON THE GROUND
EXCEPT AS SHOWN HEREON. THIS SURVEY IS
CERTIFIED FOR THIS TRANSACTION ONLY AND
ABSTRACTING TITLE PROVIDED IN THE ABOVE
REFERENCED TITLE COMMITMENT WAS RELIED
UPON IN PREPARATION OF THIS SURVEY.

JIMMY RAY JANECEK
PROFESSIONAL LAND SURVEYOR
NO. 5868
JOB NO. 18-08161
AUGUST 13, 2018



DRAWN BY: JB



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