



RESIDENTIAL HOME INSPECTION

2525 Malibu Glen Dr
Katy, TX 77493



Inspector

Michael Matthew
TREC License #24801
(346) 370-2083

michaelmarkm@gmail.com



Agent

Donnell Mann



PROPERTY INSPECTION REPORT FORM

Sonia Perez <i>Name of Client</i>	09/21/2023 11:00 am <i>Date of Inspection</i>
2525 Malibu Glen Dr , Katy, TX 77493 <i>Address of Inspected Property</i>	
Michael Matthew <i>Name of Inspector</i>	TREC License #24801 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

What's Included/ What to Expect:

Note: A home inspection involves a visual inspection of several systems of a house. It is not intended to be an exhaustive process but will undoubtedly highlight deficiencies and issues in need of attention. Should you require an in-depth analysis of any deficiency outlined in the report, it is advisable that an appropriately qualified and licensed professional be consulted.

Any deficiencies reported are the buyer's responsibility to obtain additional reviews and evaluations by a certified technician prior to the end of the option period. Additional investigations from qualified technicians may lead to additional discoveries or deficiencies that may not be visible or accessible at the time of the inspection and may require additional repairs or costs. Failure to address these deficiencies may lead to additional costs in the future. It is not the responsibility of the inspector to provide these additional evaluations or to verify that these evaluations/repairs have been made.

The contents of this report are for the sole use of the client named above and below and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at his or her own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

The photos provided in this report SHOULD NOT be considered representative of the "only" -or- "most significant" items in the report. Photos are provided as a visual reference point to items outlined in the report.

Note: Any directions given in the report are referenced from the street facing the house.

Limitations:

The property is not inspected for and not tested for the presence or absence of fungal growth (toxic mold), radon gas, mVOC's, pollutants, biohazards, wood destroying insects (WDI) or environmental hazards in any way whatsoever. We do not test for compliance with applicable building codes or for the presence of or for any potential dangers arising from the presence of asbestos,

lead paint, soil contamination, or other environmental hazards or violations. Absolutely no opinions, no representations, no warranties and no implied warranties are made or given as to the presence or absence of fungal growth (toxic molds).

Identification of recalled items is not within the scope of this inspection.

Particular attention should be given to the fact that the inspection does not and cannot reflect an in-depth perspective of the various included items. It can only reflect what the inspector is able to actually see without removing obstructions to visibility or physically taking anything apart (personal belongings, and boxes etc. are not moved out of closets or storage areas). If the home is occupied, no furniture, rugs, or personal belongings are moved during the inspection. Before closing, we recommend visually checking those areas that had obstructions removed when the property becomes vacant.

Unless the property being inspected is new construction, it will undoubtedly show signs of wear and tear. Please bear in mind that these signs are considered normal, and such instances will not be noted. Carpet is not inspected for wear or stains. Counter-tops and cabinets are not part of the home inspection.

Structural and mechanical inspections do not include the following: gas lines, outdoor cooking equipment, yard lighting, french drain systems or underground drains connected to gutters, water well systems, septic sewage systems, self cleaning cycle on ovens, and radiation leakage from microwave ovens.

In some new construction homes, all systems may not be installed by the builder at the time of the inspection. In these cases, another inspection will be required when the builder is finished installing all systems.

In Attendance: N/A

Occupancy: New Construction -

When a home is furnished and occupied, the inspector might not be able to access every part of the home due to personal items being in the way.

Style: Ranch

Temperature (approximate): 93 Fahrenheit (F)



Type of Building: Single Family

Weather Conditions: Clear, Dry, Hot

Report Notes:

Thank you for choosing Elevation Home Inspections!

Please take time to review your inspection report and feel free to reach out to us if you have any further questions or queries.

Note: The digital (web browser) version of this report uses advanced web features that allow for easier navigation and expanded photographs.

The PDF menu on this web-page includes a version titled "Full Report" and is written on the official state promulgated form for your records. Please review all documents and attachments that were sent to you by the inspector.

Still under construction:

Parts of the property were still under construction and we're not inspected.

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I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Foundation Performance:

At the time of inspection, the foundation appeared to be performing the function for which it was designed. There was no evidence of excessive movement or structural failure. Doors and windows generally fit properly in their frames and opened and closed freely. There were no visible signs of racking or twisting in the visible roof framing and the fascia corners were tight.

Note: Any foundation deficiencies noted during the inspection are listed below.

Foundation Information:

Note: As part of the inspection process, an opinion on the performance of the foundation is mandatory. The client should understand that inspectors are not structural engineers. The client should have an engineer give an evaluation if any concerns exist about the potential for future movement. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. Where the face of the foundation is covered / obstructed, those sections of the foundation cannot be inspected.

Note: Foundations on clay-based soils require adequate and evenly-distributed moisture around the perimeter of the foundation to prevent excessive movement. Trees and shrubbery can cause foundation damage when growing too close. Water should not be permitted to erode the soil or to pond alongside or under any part of the foundation. Since the variation of the moisture content of the foundation soil is probably the most significant factor contributing to potential foundation movement, a proper lawn maintenance program will aid in minimizing foundation problems in the future. Depending on the design and construction of a pier and beam foundation, periodic leveling may be required.

Note: On pier & beam construction, the entire sub-floor and its structural components cannot be completely and thoroughly visually inspected. The inspector will make every effort to inspect as much of the sub-floor as possible, however, the possibility exists that some deficiencies may not be discovered during a home inspection.

Note: No warranty against future movement can be made. The inspector can only provide an opinion of foundation conditions based on visible findings at the time of the inspection. Detailed evaluation of foundation performance requires special knowledge, research and tools, which beyond the scope of a home inspection.

1: Exposed Post Tension Cable

 **Recommendation**

There are exposed post-tension cables on the foundation at the time of the inspection. I recommend sealing all exposed post tension cables with a concrete sealant.

Recommendation: Contact a qualified professional.

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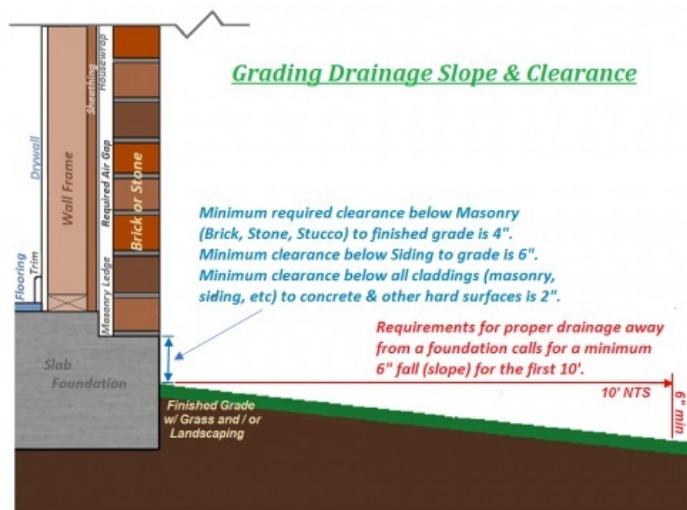
B. Grading and Drainage

Grading and Drainage Information:

Note: Proper drainage is defined as grass and landscaping in place to move water away from the foundation and have no low spots to allow pooling next to foundation. The grading should promote the flow of storm water away from the house and off the lot. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. Ideally, at least 4-6 inches of clearance should be maintained between soil level and the top of the foundation walls.

Note: Drainage away from the foundation may be accomplished through the installation of a French drain, swales, or other means of directing water away from the foundation. Water shall not be discharged onto an adjoining property.

Note: On condo/townhouses grading and drainage is not inspected.



1: Depressions Around House

🟡 Recommendation

There are depressions around the home which may promote ponding of water during and after rainfall. These low areas need to be regraded so that water drains away from the property. Failure to correct this may lead to problems in the future.

Recommendation: Contact a qualified landscaping contractor

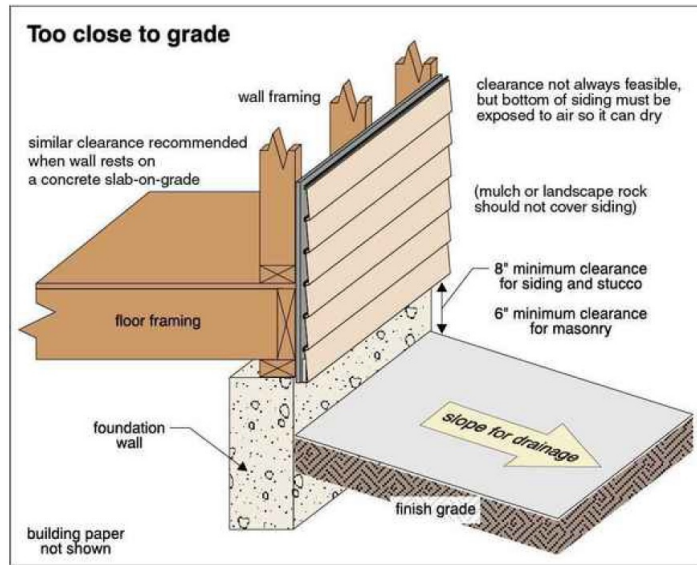
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C. Roof Covering Materials

Types of Roof Covering: Composition Shingle

Viewed From: Ground

Roof Photos:

The following are pictures of the condition of the roof.

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Roof Inspection Information:

This inspection covers the roof covering, flashing, skylights, gutters, and roof penetrations. If any concern exists about the roof covering life expectancy or the potential future problems, a roofing specialist should be consulted.

Note: A home inspector is not a roofing expert. We recommend that a professional roofing contractor evaluate all roof covering materials and inspect all roof penetrations to ensure no leakage is occurring and that proper sealing of all roof penetrations is achieved.

Roof Inspection Limitations: Not all roofs are walked on during the inspection due to height, the slope of the roof, type of roofing material, weather, and/or other safety concerns. The underlayment cannot be inspected if shingles are properly secured to the roof.

The inspector is unable to verify the condition of the roof coverings concealed under roof-installed equipment such as solar panels, communications/satellite dish and the like.

Weather conditions (wind, hail, extreme temperatures, etc.) affect all roofing materials day to day. Periodic observation but the homeowners is recommended. Roofs are not checked for insurability due to the fact that different insurance companies have different standards for insuring homes.

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Note: Metal roofs require regular maintenance. The fastener system includes screws with rubber washers or grommets. These washers and grommets deteriorate over time, and may permit the entry of moisture into the home.

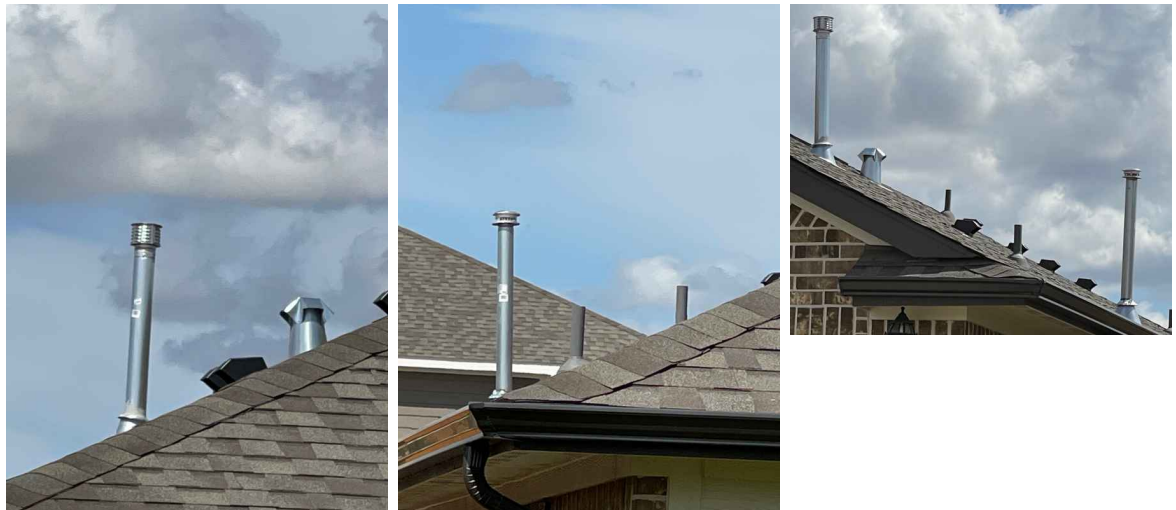
NOTE: The limited visual inspection is not a certification or warranty, expressed or implied, that the roofing surfaces will not leak. Simply viewing a roof surface from any angle cannot determine if it leaks or not. We would have no knowledge if this roof leaks under a limited visual inspection. We recommend that you view (or ask for) any disclosure form or statement to see if any repairs may have been made to this roof that might indicate past or continual problems. In the case of a fairly new roof, ask for a copy of the contractor's and manufacturer's warranty to see if any warranty can be transferred. The TREC Standard of Practice for property inspections is not designed for the purpose of underwriting or insurability.

1: Unpainted Vents/Caps

🔴 Recommendation

Unpainted vent caps and vents were noted on the roof at the time of the inspection. Painting will inhibit rusting and premature deterioration over time. I recommend painting all vent stacks.

Recommendation: Contact a qualified roofing professional.



D. Roof Structures and Attics

Viewed From: N/A

Approximate Average Depth of Insulation: 0 N/a -

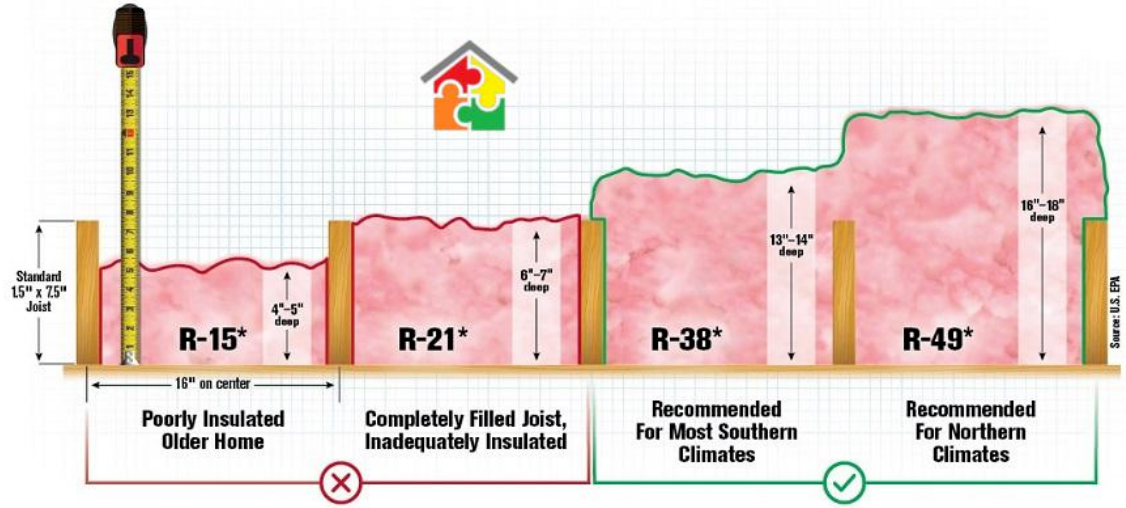
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*Recommended Dept. Of Energy attic insulation levels for commonly used fiberglass, mineral wool, and cellulose insulation assuming about R-3 per inch.
 **Standard joists are sold as 2" x 8" but usually measure closer to 1.5" x 7.5"

SOURCE: ENERGY STAR

Thickness (inches)	R-Value	Cost (cents/sq. ft.)
3 1/2	11	12-16
3 5/8	13	15-20
3 1/2 (high density)	15	34-40
6 to 6 1/4	19	27-34
5 1/4 (high density)	21	33-39
8 to 8 1/2	25	37-45
8 (high density)	30	45-49
9 1/2 (standard)	30	39-43
12	38	55-60

Note: Closed cell spray foam has an R-value of R-7 per inch. In comparison, open cell spray foam has an R-value of R-3.8 per inch. Spray foam insulation installed in attics on the underside of roofing structures (roof sheathing & framing members) conceals these roofing members, and prevents the inspector from seeing and inspecting roofing structure.

Comments:

Note: The inspection of the attic and roof structures are limited to access and visibility. Not all attic areas have safe and clear passages to safely inspect the entire area. Any comments made with respect to the attic and roof structures are based on areas that the inspector was able to access and visibly inspect.

Note: Unconditioned attics shall be cross ventilated. A one to one ratio shall be installed; for every one foot of soffit vent area there shall be one foot of ridge, gable, or turtle vent area. Soffit vents shall have baffles installed providing at least 1" of airspace to prevent wind washing and/or attic insulation blocking soffit vents. Baffles ensure proper airflow into your attic space. Baffles prevent vents from getting clogged by

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insulation and ensure a clear channel for outside air to move into the attic through soffit vents. All vents shall be provided with corrosion-resistant wire cloth screening or similar material.

Inaccessible:

The attic door in the garage was not accessible.



E. Walls (Interior and Exterior)

Comments:

Note: If the home is occupied, not all walls are visible during inspection for review due to furniture or storage obstructions. The TREC Standards of Practice states that the inspector is NOT required to climb over obstacles, move furnishings or stored items.

F. Ceilings and Floors

Comments:

Note: If the home is occupied, not all ceilings and floors are visible during inspection for review due to furniture or storage obstructions. The TREC Standards of Practice states that the inspector is NOT required to climb over obstacles, move furnishings or stored items.

1: Missing or Deteriorated Caulking/Gaps

👉Recommendation

During the inspection of the property, it was observed that there were missing caulking and gaps at several areas around the floor of the home. Proper sealing of these areas is crucial to prevent issues such as moisture intrusion, air leaks, and potential damage to the property. I recommend having a qualified profession to address these deficiencies by properly sealing and caulking the identified areas.

Recommendation: Contact a qualified professional.

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Hallway Bathroom

2: Gaps/Cracks in Flooring

🔴 Recommendation

Gaps/cracks in floor were observed at several locations. This needs to be properly sealed to prevent any moisture from penetrating below the flooring.

Recommendation: Contact a qualified flooring contractor



Primary



G. Doors (Interior and Exterior)

Comments:

Note: Bathrooms, bedrooms and utility rooms shall have a door that is easily operable condition and fitted with functioning hardware that tightly latches the door.

Note: Doors are checked for ease of opening and closing in their frames. Doors leading to the exterior of the home should have weather stripping installed.

I=Inspected

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Note: Garage-to-house door should be fire rated or equivalent. Garage entry door should be solid 1 3/8" and fire rated for 20 min.

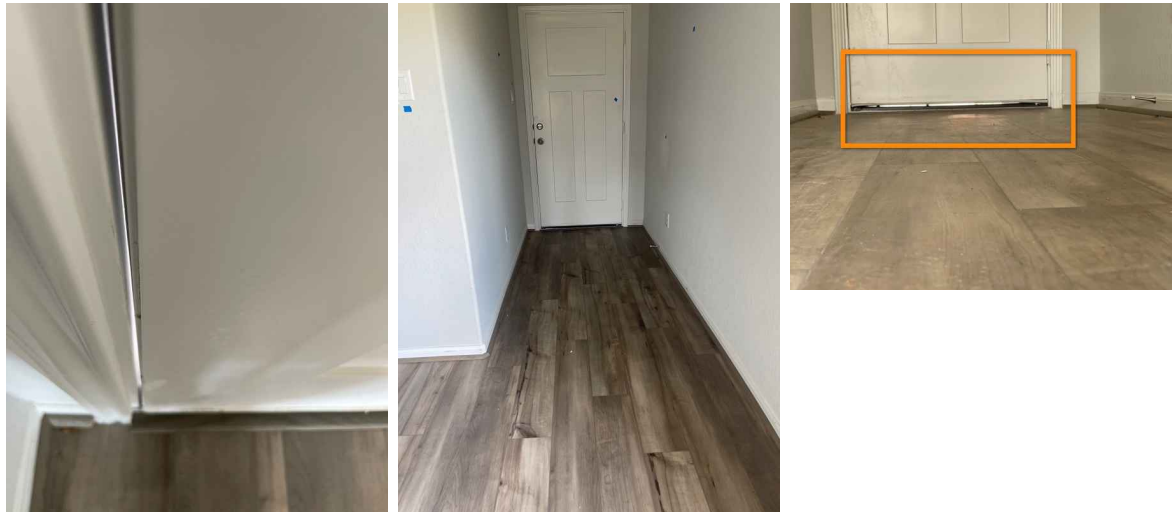
1: Weatherstripping Insufficient

🔴 Recommendation

The weather stripping on the following exterior door is deficient. This can result in significant energy loss and moisture intrusion. Recommend installation of standard weatherstripping, or adjusting the closure space of the door in its frame.

[Here is a DIY guide on weatherstripping.](#)

Recommendation: Contact a qualified handyman.



Front Door

2: Missing/Non Functioning Door Stop

🔴 Recommendation

There were missing doorstops on several doors in the home. I recommend installation of door stops to prevent doors from striking the wall therefore damaging the adjacent wall.

Recommendation: Contact a qualified general contractor.

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3: Noticeable Gaps

🔴 Recommendation

There are noticeable gaps around the following door of the home. Sometimes gaps in weather-stripping or gaps between the door and frame can lead to energy losses. I recommend that a qualified contractor evaluate and repair.

Recommendation: Contact a qualified door repair/installation contractor.



Garage

4: Hinge improperly installed

🚩 Safety Hazard

The hinges on the rear door appear to be improperly installed and potentially pose a security hazard. It is understood that the exception to this would be when there is a security hinge installed that cannot be removed. This is something that the builder can verify with the buyer. I recommend evaluation and reinstallation

Recommendation: Contact a qualified professional.

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H. Windows

Comments:

Note: Each habitable room that contains a window shall have at least one window that is in operable condition and capable of being held in the open condition without assistance or device. Habitable bedrooms must have a minimum one window that meets egress requirements.

Note: Caulking of windows is part of regular home maintenance whenever gaps in caulking appear or separation of old caulking between the window frame and the brick window openings.

Note: Windows that are not regularly operated will become stuck and difficult to open. I recommend that a window professional clean, lubricate & adjust all windows as necessary.

I. Stairways (Interior and Exterior)

Comments:

Note: Building codes for stairs is a maximum 7" rise and minimum 11" run (tread depth); and can not vary more than 3/8 of an inch. The OSHA standard for rise and run of stairs is maximum 9.5" rise and minimum 9.5" run (tread depth).

IRC R311.7.8.2 Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals.

J. Fireplaces and Chimneys

K. Porches, Balconies, Decks, and Carports

Comments:

Note: Structural load capabilities are not part of the home inspection.

Note: If the deck is 30" or more above the ground or next level then a guardrail is required on all open sides. Guardrails must be a minimum of 36" high from the surface. If there is adjacent, fixed seating against the edge the guardrails must be at least 36" higher than the seating.

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Note: When openings occur in a guardrail they must be spaced in such a way that the opening will not allow a 4 inch diameter sphere to pass through.



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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Note: Current building standards require a whole-house surge protective device to be installed at the origin of the supply to the property. New and replaced electrical equipment and systems must incorporate Type 1 or Type 2 surge protective devices. Surge protectors protect appliances and devices that may not have built-in surge protection.

Note: Unable to inspect underground services and the depth of the ground rods. Any panel covers that are not reasonably accessible due to shrubs, storage etc. as determined by the inspector may not be removed for safety or accessibility reasons.



Main Service Panel Location: Rear, East Exterior Wall



Sub Panel Location: Garage

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Main Service Panel Amperage: 150 Amp
 Main Service Panel Manufacturer: Square D

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper, Aluminum

Comments:

Note: Current building standards require arc fault protection (AFCI) in the family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, or similar rooms or areas.

Note: Current building standards require ground fault protection (GFCI) in all wet locations (e.g. bathrooms, kitchen, garage and outlets on external walls).

Note: Not all outlets are accessible for inspection. Only outlets that are readily accessible are tested. Outlets behind furniture or storage, or high up on ceilings or soffits, that are not accessible were not tested.

Note: Current building standards require smoke detectors in the bedrooms, in the hall to the bedrooms, on each level and they must be hard wired together with battery back-up. Smoke detectors, which are older than 10 years need to be replaced.

Note: Any structure that is used for residential purposes and uses gas or fuel-burning appliances and/or has an attached garage that connects to the structure, are required to install and maintain approved and operational Carbon Monoxide (CO) Alarms, installed within ten feet of each room lawfully used for sleeping purposes.

I recommend regular and annual testing of all installed smoke/carbon monoxide detectors in the home.

Detectors Not Tested:

Note: If the smoke/carbon monoxide detectors are connected to the house security system or are not readily accessible to the inspector, the detectors will not be tested.

I recommend replacing all batteries in smoke detectors and testing prior to occupancy.

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central Heating

Energy Sources: Natural Gas



Comments:

Note: Complete evaluation of gas fired furnace heat exchangers require dismantling and is beyond the scope of a home inspection.

Note: Heat pumps are not inspected when the outside temperature is above 70 degrees Fahrenheit. If the outdoor temperature is too high, some systems would not allow the heating unit to be turned on for testing.

Note: The inspection of the heating equipment is a visual one of the components, the gas supply line, sediment trap and flue vent. No dismantling of the unit is performed.

Note: If outdoor temperatures permit the testing of the heating equipment, the temperature recorded at various supply and return vents at the time of testing would be included in the photos below. The visible burner flames of the heating unit may also be included in the photos below.



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Brand: American Standard

B. Cooling Equipment

Comments:

Note: The inspector does not measure airflow or determine the adequacy of the system. Humidifiers, motorized dampers, electronic filters, and programmable thermostats are not inspected.

Note: The air conditioner system is not tested when outside ambient temperature is below 65 degrees Fahrenheit to avoid damage to the system.

Note: The inspector is not required to program digital controls, check pressure or type of refrigerant, verify compatibility of components, verify accuracy of thermostats, determine adequacy of the system, or to determine uniformity of conditioned air to various parts of the home.

Note: The differential temperature is a basic test. This does not validate the size of the unit or the home's ability to be cooled due to insulation, air leaks, or other inefficient conditions. Recommend reaching out to a qualified HVAC professional for evaluation, servicing and recommendations.

The temperature recorded at the home's supply and return vents at the time of testing are included in the photos below.



Type of Systems: Central Air Conditioner

Brand: Lennox

A/C Temperature Differential:

The air conditioning system operation was tested and responded to the on/off command at the inside thermostat controllers. The unit did function as expected and discharged conditioned air at **some** measured ducts. The differential temperature between the supply and return vents did appear to be reading an acceptable (14°F - 20°F) at the time of inspection. **At other vents it was not performing to the expected standard.** The differential temperature is an indication that the air conditioning system is functioning satisfactorily.

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Living Room



Primary Bedroom



Primary Bathroom



Hallway Return



Middle Right Right Side

Location of condensate drain line: Hallway bathroom



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I NI NP D

1: Insufficient Temperature Differential

Recommendation

The unit was operating below the recommended cooling differential of 15 to 22 degrees F between supply and return air. I recommend evaluation and repair by a qualified HVAC professional.

Recommendation: Contact a qualified HVAC professional.



C. Duct Systems, Chases, and Vents
HVAC Filter Information: Aprilaire See photo 410



D. Other
Temperature of the home when the inspection began: 73

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Temperature of the home when the inspection finished: 74

I=Inspected

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I NI NP D

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Exterior - Front yard



Location of Main Water Supply Valve : Main Level



Static Water Pressure Reading: 50 -
The static water pressure was within the recommended water pressure of 40 - 80 PSI.

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Type of Supply Piping Material: PVC

Comments:

Note: Pipes, plumbing equipment, and reservoirs concealed in enclosures or underground are not checked for leaks or defects. The water supply pipes and plumbing in walls in or under concrete slabs, or concealed by personal possessions are not included in this inspection. Water purification systems are not part of a home inspection. This inspection covers the type and condition of all accessible and visible water supply components.

Note: All exposed plumbing (water) pipes should be properly insulated and “winterized” to prevent breakage from freezing during winter months. This includes water lines in unconditioned spaces like the attic spaces over garages.

Note: Galvanized steel pipe was commonly used as water supply plumbing until the mid 1980's. Over time, two defects occur with steel water piping. Firstly, corrosion accumulates inside the pipe restricting or even stopping water flow to fixtures. Secondly, corrosion penetrates the wall of the pipe causing leaks, which may occur instantaneously. This can result in water damage to the home if a leak occurs. The Client should take note that older galvanize pipes are particularly prone to these defects over time. Most of the supply plumbing is located in walls, between ceilings and floors or under insulation. This makes the piping inaccessible to the inspector. The Client should also be aware some insurance companies will not cover water damage that has resulted from leakage due to faulty steel piping. As time passes, repairs/upgrade will be needed. If your home contains galvanize pipes, It is recommended that your plumbing system be completely evaluated by a qualified licensed plumber.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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B. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

Note: Underground plumbing and drain clean-outs are not within the scope of this inspection. Broken pipes from tree roots or other causes cannot be found during a normal home inspection. A licensed plumber should be consulted for this kind of inspection.

Note: Drains, wastes, vents, and reservoirs concealed in enclosures or underground are not checked for leaks or defects. The pipes and plumbing in walls in or under concrete slabs, or concealed by personal possessions are not included in this inspection. Laundry equipment is not operated to check the drain system. This inspection covers the type and condition of all accessible and visible drains, wastes, and vents components.

While conducting the inspection, some water was run down the drains; however, it should be noted that this action does not fully replicate the waste flows that occur under conditions of full occupancy. Furthermore, unless explicitly specified, the fixtures and vessels were not filled to their capacity for leak testing purposes, as this precaution aims to prevent unintended water damage to the property. Consequently, it is possible that some leaks may remain undetected during the inspection process.

For a comprehensive evaluation of water leakages, including hydrostatic testing, it is advisable to consult

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qualified and licensed plumbers who specialize in such assessments. Moreover, additional testing and inspection of the sewer line are strongly recommended for older homes (40 years or more), homes that have undergone previous foundation repair, and homes exhibiting signs of poor foundation performance.

It is important to understand that by accepting the drain waste system in its current condition, you acknowledge and agree to assume all risks associated with its functionality and potential repairs that may be required in the future. The inspector hereby disclaims any responsibility for any plumbing issues that may arise subsequent to the conclusion of the inspection.

By continuing to utilize or occupy the property, you accept this drain waste system on an "as is" basis and acknowledge that repairs may be necessary at a later date.



C. Water Heating Equipment

Energy Sources: Gas



Capacity: 40 Gallons

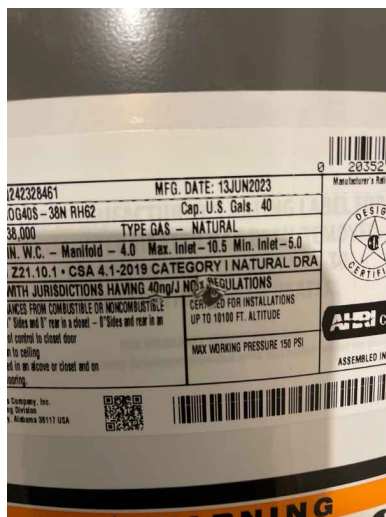
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Comments:

Note: Water heaters should be flushed annually to prevent sediment buildup and maintain efficiency. I recommend that a qualified plumber service and flush the water heater.

[Here is a DIY link to help.](#)

Note: The temperature/pressure relief valves are not usually tripped at the time of the inspection. The valves do not re-seat properly many times when they are operated which causes the valve to leak. Manufacturers recommend valves older than three years be removed cleaned and inspected or replaced.

Note: The acceptable tolerance for hot water and below the maximum recommended temperature of 120 Degrees F. High hot water temperatures can cause scalding and burns particularly in small children. If high water temperatures over 120 degrees F are being discharged from a faucet, I recommend lowering the temperature setting on the water heater.

Water Heater Not Tested:

The water heating equipment was not functional at the time of the inspection, and was therefore not tested. The installation was also not complete. Inspectors are not required to turn on water heaters since the reason for the unit being off may not be known.



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D. Hydro-Massage Therapy Equipment

F. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Main Level



Type of Gas Distribution Piping Material: Stainless Steel

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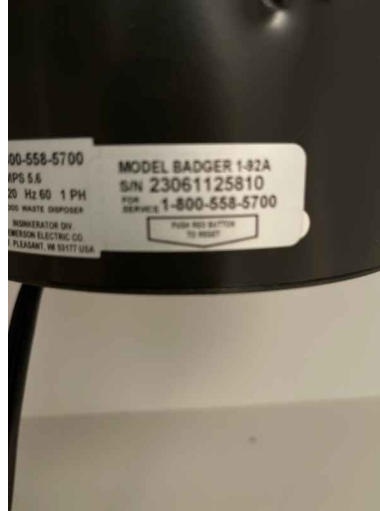
V. APPLIANCES

A. Dishwashers

B. Food Waste Disposers

Comments:

The food waste disposer was functional at the time of the inspection. No excessive noise was heard, no leaking, and proper mounting of the unit was observed.



C. Range Hood and Exhaust Systems

Not Installed:

The range hood was not installed at the time of the inspection and therefore could not be tested.

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D. Ranges, Cooktops, and Ovens

E. Microwave Ovens

Comments:

The microwave oven was functional at the time of the inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Note: Mechanical exhaust vent pipes are not internally inspected and only viewed from the visible piping in the attic. This will not give the inspector the ability to determine if the vent is clogged or connected properly inside the walls.

Note: Regular cleaning of the mechanical exhaust vent grills are recommended to prevent air restriction and reduced efficiency.

Mechanical exhaust vents were functional at the time of the inspection. No excessive noise was heard.

G. Garage Door Operators

1: Incomplete installation

🔴 **Recommendation**

The garage door opener was not connected. This might have been intentional as different trades were working in the house. I suggest verifying that the opener works.

Recommendation: Contact a qualified professional.

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H. Dryer Exhaust Systems

Comments:

Note: The dryer vent pipe is not internally inspected and only viewed from the visible piping in the attic. This will not give the inspector the ability to determine if the vent is clogged or connected properly inside the walls.

Note: Regular cleaning of the dryer vent pipe is recommended to prevent an accumulation of lint. Lint build up will reduce the efficiency of the dryer and represents a potential fire hazard.



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OTHER

Fencing

1: Loose/Warped Fence Boards

🔴 Recommendation

There were loose/warped fence boards around the perimeter of the yard in the following location(s). I recommend repairing this section of fencing.

Recommendation: Contact a qualified general contractor.



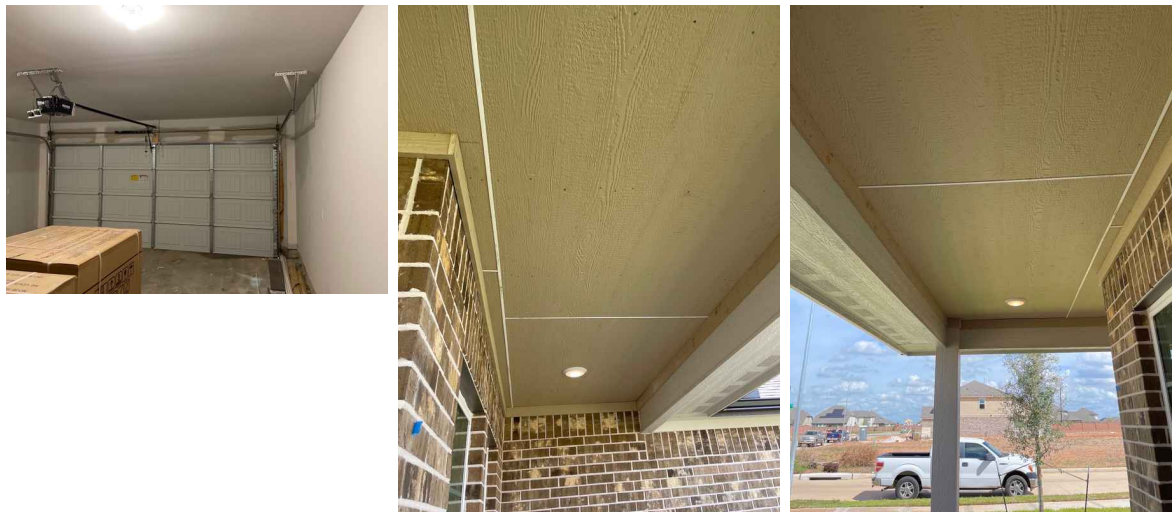
Cosmetic improvement and observations

1: Painting improvements needed

🔴 Recommendation

Painting improvement needed in the following location(s).

Recommendation: Contact a qualified professional.



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I	NI	NP	D
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