



# Your Inspection Report

5603 Armillary Dr  
Katy, TX 77449



**PREPARED FOR:**  
MICHELE CARRIS BORISOV

**INSPECTION DATE:**  
Tuesday, June 25, 2024

**PREPARED BY:**  
Alex Mathew, 22145



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The best home inspection experience available.



# PROPERTY INSPECTION REPORT FORM

Michele Carris Borisov <i>Name of Client</i>	Tue, Jun 25, 2024 <i>Date of Inspection</i>
5603 Armillary Dr, Katy, TX <i>Address of Inspected Property</i>	
Alex Mathew <i>Name of Inspector</i>	22145 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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## I. STRUCTURAL SYSTEMS

### A. Foundations

Type of Foundation(s): Poured concrete

Foundation Performance Opinion: No opinion provided

Comments:

### B. Grading and Drainage

Comments:

• Landscaping\General notes: Gate latch adjustments needed. It was noted at the time of inspections that the backyard fence gate latch was difficult to open and close.

Recommend to have this repaired or replaced.

• Landscaping\Lot grading: Water ponding noted near the foundation, excessive water will saturate the clay soils around and under the perimeter of the homes foundation. Inspector recommends backfill in the problematic area(s). Water should be move 6-inch drop in elevation for every 10 feet of distance from the base of the foundation. The rainwater should flow down the slope into the street and storm sewers.

• Landscaping\Driveway: Driveway cracks are a common issue that can occur over time due to various factors such as weather conditions, heavy traffic, or poor installation. While some cracks may be purely cosmetic, others can compromise the integrity and functionality of the driveway.

Small cracks that are less than a quarter inch in width are generally not a cause for concern and can be filled with a crack filler or sealant to prevent water penetration and further damage. However, larger cracks or those that are wider than a quarter inch may require more extensive repairs such as resurfacing or patching.

It is recommended that you consult with a qualified contractor to assess the severity of the issue and recommend appropriate repairs.

### C. Roof Covering Materials

Types of Roof Covering: Asphalt shingles

Viewed From: A ladder at the edge of the roof, The ground

Comments:

• Optional\Roofing: The inspector has checked for visible signs of damage or issues at the time of inspection. If your roof is more than 10 years old comprehensive roof inspection should be completed by a roofing professional

### D. Roof Structures and Attics

Viewed From: The attic access hatch, Roof framing/attic viewed from attic access hatch

Approximate Average Depth of Insulation: 6 inches

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Comments:

• *Recommendations\General:* visual inspection was conducted at the time of inspection. Inspector was unable to access all areas of the attic or moved any insulation.

**E. Walls (Interior and Exterior)**

Comments:

- *Walls\Plaster or drywall:* drywall damage noted at one more location the time of the inspection. Before the expiration of your Inspection Objection Deadline you may wish to consult with a qualified contractor to discuss options and costs for repairs.
- *Walls\Siding and trim:* Siding damage/rot/cracked noted.

Inspector noted rotten/damaged/cracked siding at multiple locations on the exterior of the house.  
 Recommends having it further evaluated a qualified contractor prior to option repair or replace as needed.

- *Walls\Masonry (brick, stone) and concrete:* Missing sealant around (plumbing/Light/Vent covers)  
 Rain will often find its way into a wall if the exterior (plumbing/Light/Vent covers) is not properly sealant.  
 Therefore, proper caulking will help prevent water from entering into a wall; helping prevent damage and mold.

Recommend to have it corrected.

**F. Ceilings and Floors**

Comments:

- *Ceilings\Plaster or drywall:* Poorly jointed Sheetrock can cause gaps, bulges, and uneven surfaces that detract from the look of the finished product. It can also lead to cracks in the Sheetrock, which can lead to further problems down the line. To prevent this, make sure to use a good joint compound and to apply it evenly and carefully. Use tape to reinforce the joints, and smooth out any ridges or bulges with a putty knife.
- *Floors\Subflooring:* Floor is not at level.

During the inspection, the inspector noted that the flooring in the is not level and feels bouncy or squeaks. As a result, there can be several consequences, including damage to the subfloor and/or joists over time, excessive wear and tear on the flooring, and noise and discomfort when walking on the floor. The inspector recommends having the flooring further evaluated by a professional prior to making any decisions about repair or replacement. Based on the evaluation, the necessary repairs or replacements should be made as needed to ensure the safety and comfort of the occupants."

**G. Doors (Interior and Exterior)**

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Comments:

- *Doors\Doors and frames:* The Inspector observed that the door on the inside of the house was damaged and suggested that it be replaced.
- *Doors\Doors and frames:* The Inspector observed that the door on the inside of the house was damaged and suggested that it be replaced.
- *Doors\Doors and frames:* Inspector noted the door may not close properly due to the misalignment and may need to be adjusted or replaced.

2. There may be gaps in the doorway that allow air or insects to enter the home.

3. The door may not be secure if the hinges are loose.

4. The door may be difficult to open and close if it is not properly aligned.

- *Doors\General notes:* The exteriors of the doors displayed typical signs of weathering, wear, and deterioration that are expected with their age. It is recommend having it corrected.
- *Garage\Vehicle doors:* Inspector noted garage door damage at the time of inspection. It is recommended to having it corrected. damage vehicle doors can be a safety hazard.

**H. Windows**

Comments:

- *Exterior glass/windows\Glass (glazing):* The window seal is broken or condensation inside

A thermal window features two or three panes of glass with open space between the panes. This window assembly is known in the industry as an IGU, for an insulated glazing unit or insulated glass unit.

The space between the glass panes of an IGU is vacuumed to remove air and is often filled with an inert (or noble) gas, such as argon or krypton, to slow the passage of heat through the window unit. Inert gasses are less heat-conductive than air or a vacuumed space.

Inspector recommends a qualified technician service all the windows, repair or replace as needed.

- *Exterior glass/windows\Exterior trim:* During the inspection, the inspector observed that the window or windows do not have sufficient slope to effectively shed water away. This can lead to potential moisture-related issues such as mold growth, rot, and damage to the window frame.

To prevent water from pooling on the window sill, In general, it is recommended that the slope of a window sill be between 5% to 15%. This range allows for

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effective water drainage while preventing water from pooling on the sill.

- *Exterior glass/windows\Frames:* The inspector observed that the window lintel is not properly supported, with one end lacking adequate support. This issue can compromise the structural integrity of the window frame and surrounding wall. It is recommended to have the lintel properly supported to ensure the stability and safety of the window structure.

**I. Stairways (Interior and Exterior)**

Comments:

**J. Fireplaces and Chimneys**

Comments:

**K. Porches, Balconies, Decks, and Carports**

Comments:

**L. Other**

Comments:

- *Optional\Interior:* During the inspection, it was noted that the property was occupied, and as a result, the inspector's visibility was limited due to storage, furniture, and materials. This means that cracks and damages that may be concealed behind furniture or other items may not have been visible or inspected.

It is important to note that items may be moved and appliances may be turned off or not working. Therefore, it is recommended that all appliances, plumbing, walls, and floors be checked prior to closing the property that they are in good working condition and free from any damage.

It is the responsibility of the buyer to ensure that the property is in satisfactory condition before closing. It is recommended that the buyer conduct a final walkthrough of the property prior to closing to check for any issues or changes since the initial inspection.

- *Optional\Exterior:* Exterior view of the house
- *Recommendations\General:* During the inspection, it was observed that the following appliances were functioning properly and as intended:

It is important to note that while the appliances were in good working condition at the time of the inspection, normal wear and tear or other factors can impact their performance over time. Regular maintenance and inspections can help ensure the appliances continue to function properly and extend their lifespan

- *Landscaping\Fence:* At the time of inspection, the inspector noted that the wood fence post was loose and shaking when pushed. This is a sign of incorrect post installation and can be further weakened by heavy wind and storms. It is recommended that this issue be corrected to prevent further damage.

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## II. ELECTRICAL SYSTEMS

### A. Service Entrance and Panels

Comments:

- Service box, grounding and panel\Service box: **Ground Rod should be flush with the grade, recommend to have it corrected. As per code**

**This all comes from 250.53**

**(G) Rod and Pipe Electrodes. The electrode shall be installed such that at least 2.44 m (8 ft) of length is in contact with the soil. It shall be driven to a depth of not less than 2.44 m (8 ft)**

**Inspector recommends having it corrected and service the electricals systems for the house by a licensed electrician**

- Service box, grounding and panel\Service box - fuse, breaker, wire: **Anti-oxidant missing - At the time of inspection, it was noted that the aluminum main service wires were missing anti-oxidant gel. Aluminum service wires can become very hot and also corrode over time. It is crucial to apply an anti-oxidant gel to the wires where they meet the main lugs of the service panel. Recommend to have it serviced by licensed electrician.**

- Service box, grounding and panel\Service box:

**The inspector observed that there is a breaker in the electrical panel without any wires connected to it. This could indicate potential issues with the electrical system. It is recommended to have a licensed electrician inspect the panel and address any necessary repairs or replacements to ensure the safety and functionality of the electrical system.**

### B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper - metallic sheathed

Comments:

### C. Other

Comments:

- Recommendations\General: **Electrical outlets and breaker panels were inspected, however if the home is 40 years or older, and or new an appliance has been added, and or the home had any renovation. In any situation, a licensed electrician must perform the electrical inspection.**
- Optional\Electrical: **Inspector is unable verify if the CO2 or smoke detectors are installed or working properly, Inspector recommends having it verified and tested prior to occupancy.**

## III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

### A. Heating Equipment

Type of Systems: Furnace

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Energy Sources: Gas  
Comments:

**B. Cooling Equipment**

Type of Systems: Air cooled  
Comments:

**C. Duct Systems, Chases, and Vents**

Comments:

• Air conditioning\Ducts, registers and grilles: **Dirty filter/Grille - At the time of inspection, the inspector noted dirty air filter/Grilles. Filters should be checked every three months and replaced when they reach a condition in which accumulation of particles becomes so thick that particles may be blown loose from the filter and into indoor air. Homes in areas with high indoor levels of airborne pollen or dust may need to have air filters checked and changed more frequently. Failure to change the filter when needed may result in the following problems: - Reduced blower life due to dirt build-up on vanes, which increasing operating costs. - Reduced indoor air quality. - Increased resistance resulting in the filter being sucked into the blower.**

**Recommend the grilles cleaned and replace with new filters.**

• Air conditioning\Ducts, registers and grilles: **Mold / mildew like substance noted on the HVAC registers.**

**Recommended have it further evaluated repair and replace a needed.**

• Air conditioning\Ducts, registers and grilles: **The inspector observed condensation on the HVAC plenum in the attic during the inspection. This condensation can be a sign of potential issues such as inadequate insulation, improper ventilation, or a malfunctioning HVAC system. Excess moisture can lead to mold growth, water damage, and decreased efficiency of the HVAC system. It is recommended to have a qualified HVAC technician evaluate the situation to determine the underlying cause of the condensation**

**D. Other**

Comments:

• *Optional\Heating:* **The heating system was tested was working at the time of inspection. It is recommended that all furnace units especially those more than 10 years of age be further evaluated by licensed HVAC technician. Inspector is not a licensed to open up the units to check its components. Heating system consist of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the Heating system is encouraged by a licensed HVAC technician.**

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- *Optional\Heating:* The heating system was tested was working at the time of inspection. It is recommended that all furnace units especially those more than 10 years of age be further evaluated by licensed HVAC technician. Inspector is not a licensed to open up the units to check its components. Heating system consist of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the Heating system is encouraged by a licensed HVAC technician.

- *Optional\Cooling:* Visual inspection was performed on Evaporator coil and the compressor. Although everything is functioning as expected at the time of inspection. It is recommended to have License HVAC person service the unit(s) prior to the option period expires. [Visual inspection HVAC]

Although cooling System is functional, the inspection performed was a limited visual inspection with the unit operating under normal mode at the time of inspection. Panels and compartments are not opened or removed and high-pressure lines are not tested.

The heating and cooling systems should be serviced by a qualified specialist

#### IV. PLUMBING SYSTEMS

##### A. Plumbing Supply, Distribution Systems and Fixtures

*Location of water meter:* Front near street

*Location of main water supply valve:* Exterior wall

*Static water pressure reading:* 55 psi

*Type of supply piping material:* CPVC

*Comments:*

- *Fixtures and faucets\Bathtub:* **Caulking loose, missing or deteriorated Caulking line failure/breaks down over time in a bathroom and kitchen between various plumbing fixtures and floor joints in a bathroom, especially around sinks, bathtubs, and showers.**

The inspector noted at the time of inspection existing caulking has deteriorated/missing. The Inspector recommends that this sealant be removed and replaced to help prevent the development of unhealthy conditions.

- *Fixtures and faucets\Bathtub:* **Caulking loose, missing or deteriorated Caulking line failure/breaks down over time in a bathroom and kitchen between various plumbing fixtures and floor joints in a bathroom, especially around sinks, bathtubs, and showers.**

The inspector noted at the time of inspection existing caulking has

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deteriorated/missing. The Inspector recommends that this sealant be removed and replaced to help prevent the development of unhealthy conditions.

• *Fixtures and faucets\Shower stall enclosure:* Shower stall issues noted at the time of inspection. shower door does not keep water inside the stall. Inspector recommends having the door tightly sealed and having door frames close properly.

• *Fixtures and faucets\Faucet:* Shower diverter issue noted.

The diverter is a valve in your tub's faucet that diverts water from the tub to the showerhead when the lever is pulled to turn on the shower. A small amount of water dripping out of your tub's faucet is normal because the valve doesn't have a perfect seal. But, if a large amount of water is coming out of the tub's faucet then you most likely have a problem with that valve.

Worn rubber washers, seals or gaskets in the valve assembly cause most leaks. Inspector recommends licensed plumber service the house repair and replace all plumbing issues.

• *Fixtures and faucets\Hose bib or bibb (outdoor faucet):* During the inspection, it was noted that the hose bib knob has sustained damage. A damaged hose bib knob can prevent proper sealing of the hose bib, leading to water leakage and potentially causing damage to the surrounding area.

It is recommended that the damaged hose bib knob be replaced by a qualified contractor.

• *Fixtures and faucets\Hose bib or bibb (outdoor faucet):* During the inspection, it was noted that the hose bib knob has sustained damage. A damaged hose bib knob can prevent proper sealing of the hose bib, leading to water leakage and potentially causing damage to the surrounding area.

It is recommended that the damaged hose bib knob be replaced by a qualified contractor.

• *Fixtures and faucets\Faucet:* The inspector noted at the time of inspection that there is a leak present at the faucet. This observation requires immediate attention due to its implications for safety, functionality, and code compliance. Recommend having a licensed plumber service the house.

• *Fixtures and faucets\Faucet:* The inspector observed that the faucets are exhibiting signs of a manufacturing defect. Specifically, the color of the faucets is fading, and discoloration is becoming apparent. This could potentially lead to further deterioration over time. Therefore, it is recommended to have the faucets either repaired or replaced to ensure they function properly and maintain the aesthetic quality of the home. Taking prompt action will help prevent any potential issues that could arise from continued use of the defective faucets.

**B. Drains, Wastes, and Vents**

*Type of drain piping material:* Plastic

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Comments:

**C. Water Heating Equipment**

Energy Sources: Gas

Capacity: 40 gallons

Comments:

**D. Hydro-Massage Therapy Equipment**

Comments:

**E. Gas Distribution Systems and Gas Appliances**

Location of gas meter: Exterior left side

Type of gas distribution piping material: Steel

Comments:

**F. Other**

Comments:

- *Optional\Plumbing:* Main water shut off location. Please note this area in the case of emergency
- *Optional\Plumbing:* Gas shut off location on the exterior side of the house.
- *Optional\Plumbing:* Water heating unit(s) were working at the time of inspection, it is recommend having water heating units further evaluated especially if the units are more than 10 year old.

**V. APPLIANCES**

**A. Dishwashers**

Comments:

**B. Food Waste Disposers**

Comments:

**C. Range Hood and Exhaust Systems**

Comments:

**D. Ranges, Cooktops, and Ovens**

Comments:

**E. Microwave Ovens**

Comments:

- *Appliances\Microwave oven:* The microwave handle is broken/missing and needs to be repaired or replaced. The handle is essential for opening and closing the microwave door. Recommend having it corrected.

**F. Mechanical Exhaust Vents and Bathroom Heaters**

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Comments:

**G. Garage Door Operators**

Comments:

**H. Dryer Exhaust Systems**

Comments:

**I. Other**

Comments:

## VI. OPTIONAL SYSTEMS

**A. Landscape Irrigation (Sprinkler) Systems**

Comments:

**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

Type of Construction:

Comments:

**C. Outbuildings**

Comments:

**D. Private Water Wells (A coliform analysis is recommended.)**

Type of Pump:

Type of Storage Equipment:

Comments:

**E. Private Sewage Disposal Systems**

Type of System:

Location of Drain Field:

Comments:

**F. Other Built-in Appliances**

Comments:

**G. Other**

Comments:

## LIMITATIONS

### Roofing

- General: **General Limitation**

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection

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performed by a qualified roofing contractor. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

Although the Inspector inspects the roof to the best of his ability, the General Home Inspection does not include destructive testing or research. We disclaim responsibility for confirming installation according to the manufacturer's installation recommendations of roofing components including, but not limited to, shingles, underlayment, flashing and fasteners. Inspection of these components is limited to compliance with widely accepted general best practices.

- General: **General Limitation**

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

Although the Inspector inspects the roof to the best of his ability, the General Home Inspection does not include destructive testing or research. We disclaim responsibility for confirming installation according to the manufacturer's installation recommendations of roofing components including, but not limited to, shingles, underlayment, flashing and fasteners. Inspection of these components is limited to compliance with widely accepted general best practices.

- Inspection performed: **From the ground**

### Exterior

- Inspection limited/prevented by: **Storage**
- Inspection limited/prevented by: **Car in garage**
- Inspection limited/prevented by: **Inaccessible wall**

### Structure

- General: **Limitations**
- There are many structural components that are inaccessible because they are buried below grade or behind finishes. Therefore, much of the structural inspection is performed by identifying resultant symptoms of movement, damage and deterioration AT THE TIME OF INSPECTION. Were there are no visible symptoms, conditions requiring further review or repair may go undetected and identification will not be possible. We make no representations as to the internal conditions or stabilities of soils, concrete footings and foundations.
- Inspection limited/prevented by: **Carpet/furnishings**

### Electrical

- General: **Limitations**
- Home inspection of the electrical system includes the exposed and accessible conductors, branch circuitry,

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panels, over-current protection devices, and a random sampling of convenience outlets. We look for adverse conditions such as improper installation, exposed wiring, running splices, reversed polarity and circuit protection devices. We do not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical wiring prevents inspection of every length of wire.

- General: **General Limitations**

Home inspection of the electrical system includes the exposed and accessible conductors, branch circuitry, panels, over-current protection devices, and a random sampling of convenience outlets. We look for adverse conditions such as improper installation, exposed wiring, running splices, reversed polarity and circuit protection devices. We do not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical wiring prevents inspection of every length of wire.

We test random electrical outlets that are easily accessible.

- System ground: **Not accessible** *There were some areas that were inaccessible due to storage, there may be hidden issues/damages. Recommend to have the buyer double check after moving in.*

### Heating

- General: **General limitation**

The heating system is not tested if the outside temperature is hot for proper operation.

Heating system consist of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the Heating system is encouraged by a licence HVAC technician.

- Inspection prevented/limited by: **A/C or heat pump operating**
- Safety devices: **Not tested as part of a building inspection**
- Heat loss calculations: **Not done as part of a building inspection**
- Heat exchanger: **Not visible**

### Cooling & Heat Pump

- General: **Limitation**

Detailed testing of the components of the cooling equipment or predicting their life expectancy requires special equipment and training and is beyond the scope of this inspection. This is a non-evasive basic function review at the time of inspection. We do not dismantle, uncover or calculate the efficiency of any system. Inspector Highly recommends licensed HVAC technician to service the units prior to option and repair and replace as needed.

The cooling system will not be tested when outside temperature is below 65 degrees.

- General: **General Information**

HVAC is a visual inspection at the time of inspection. This does not guarantee the future life or usage. Inspector Highly recommends licensed HVAC technician to evaluate the units.

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Detailed testing of the components of the cooling equipment or predicting their life expectancy requires special equipment and training and is beyond the scope of this inspection. This is a non-evasive basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the HVAC equipment is encouraged.

- Heat gain calculations: **Not done as part of a building inspection**

### Insulation and Ventilation

- Attic inspection performed: **From access hatch**
- Air/vapor barrier system: **Continuity not verified**
- Mechanical ventilation effectiveness: **Not verified**

### Plumbing

- General: **General limitations**

Some plumbing problems will not reveal itself during limited time during the Home Inspection. Partially blocked or damaged sewer line often falls into that category. When it comes to sewer-pipe scoping (sending a camera down the line), its not included in this home inspection.

**Concealed plumbing:** Inspector cannot determine any leaks/cracks or any other issues where the plumbing systems is concealed (behind Storage/ under the foundation/ in between walls). Inspector recommends having a licensed plumber service the house prior to option.

Home inspection of the plumbing system does not include landscape watering, fire suppression systems, private water supply/waste disposal systems, or recalled plumbing supplies. Review of these systems requires a qualified and licensed specialist.

- General: **General limitations**

Some plumbing problems will not reveal itself during limited time Home Inspection. Partially blocked or damaged sewer line often falls into that category. When it comes to sewer-pipe scoping (sending a camera down the line), its not included in this home inspection.

Home inspection of the plumbing system does not include landscape watering, fire suppression systems, private water supply/waste disposal systems, or recalled plumbing supplies. Review of these systems requires a qualified and licensed specialist.

- Items excluded from a building inspection: **Water quality**
- Items excluded from a building inspection: **Concealed plumbing**
- Items excluded from a building inspection: **Tub/sink overflows**

### Interior

- General: **General Limitations**

The Kitchen is visually inspected for proper function of components, active leakages, excessive or unusual wear, and general state of repair. We inspect built-in appliances to the extent possible using normal operating controls. Freestanding stoves are operated, but refrigerators, small appliances, portable dishwashers, and microwave ovens are not tested.

- Inspection limited/prevented by: **Carpet**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

- Inspection limited/prevented by: **Storage/furnishings**
- Inspection limited/prevented by: **Storage in closets and cabinets / cupboards**
- Not included as part of a building inspection: **Cosmetic issues** *The inspection report does not contain any cosmetic defects.*

**END OF TREC REPORT**

**(Additional Information Follows)**

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### OPTIONAL \ Roofing

1. **Condition:** • The inspector has checked for visible signs of damage or issues at the time of inspection. If your roof is more than 10 years old comprehensive roof inspection should be completed by a roofing professional



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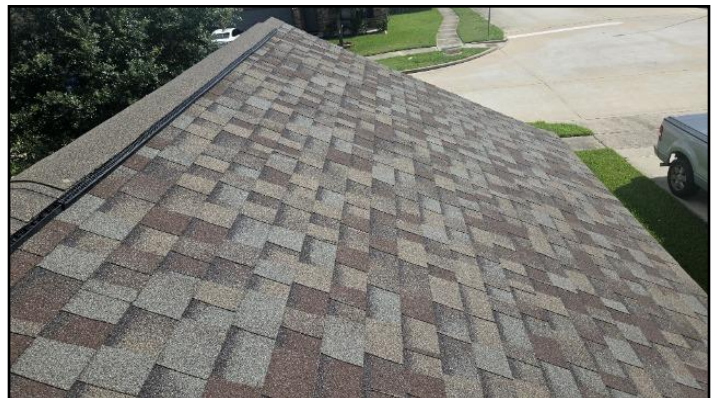
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6.

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7.



8.

## SLOPED ROOFING \ General notes

**2. Condition:** • The inspector observed a bird's nest on the side of the roof eave. To prevent potential damage, such as clogged gutters and material corrosion, it is recommended to have the nest professionally removed. This will help maintain the home's structural integrity and cleanliness.



9.



10.



11.

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## Exterior

### OPTIONAL \ Exterior

3. **Condition:** • Exterior view of the house



12.



13.



14.

### WALLS \ Masonry (brick, stone) and concrete

4. **Condition:** • Missing sealant around (plumbing/Light/Vent covers)

Rain will often find its way into a wall if the exterior (plumbing/Light/Vent covers) is not properly sealant.

Therefore, proper caulking will help prevent water from entering into a wall; helping prevent damage and mold.

Recommend to have it corrected.



15.

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17.



16.



18.

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19.

## WALLS \ Siding and trim

5. **Condition:** • Siding damage/rot/cracked noted.

Inspector noted rotten/damaged/cracked siding at multiple locations on the exterior of the house. Recommends having it further evaluated a qualified contractor prior to option. repair or replace as needed.

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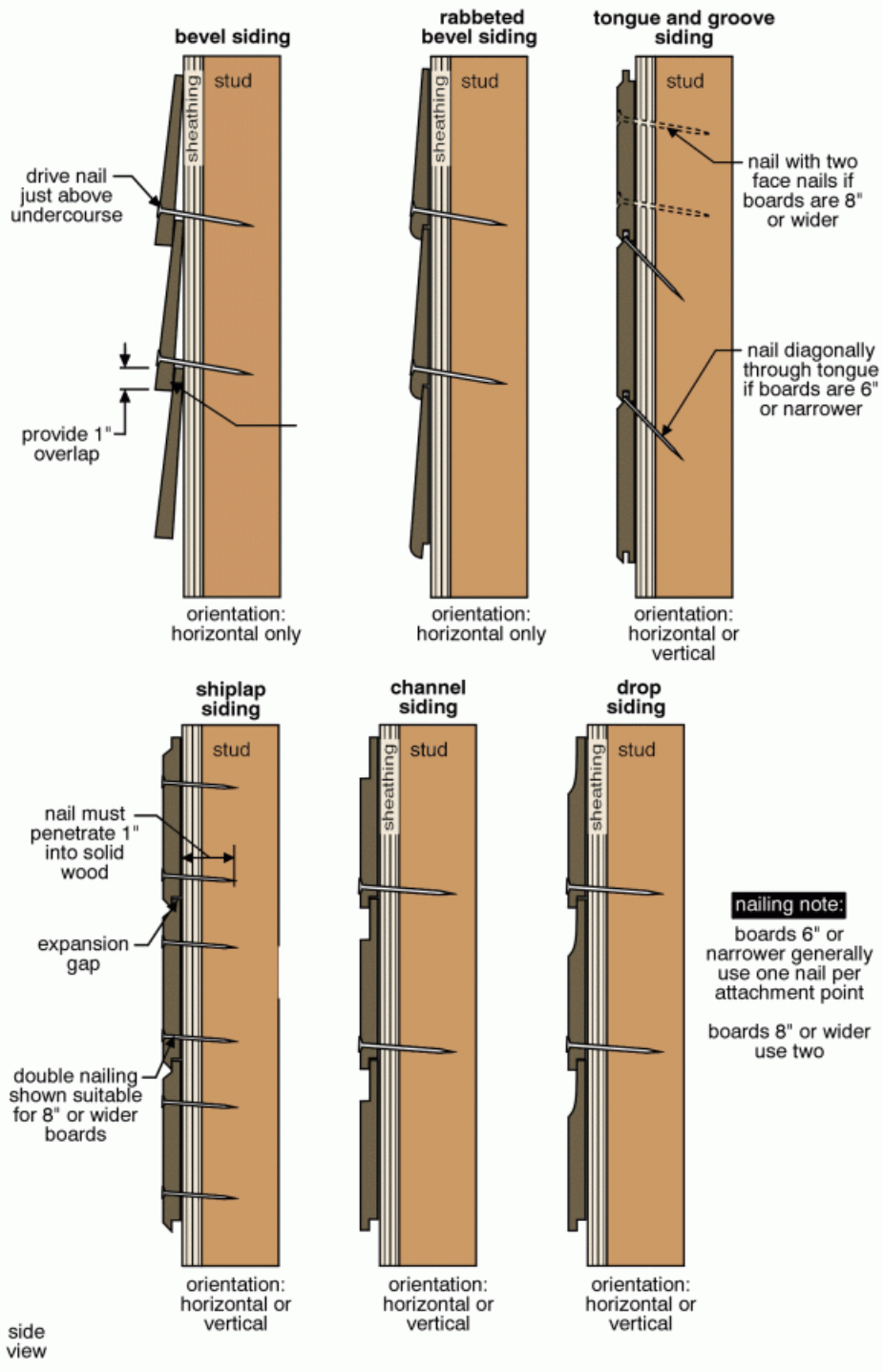
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## Horizontal wood siding



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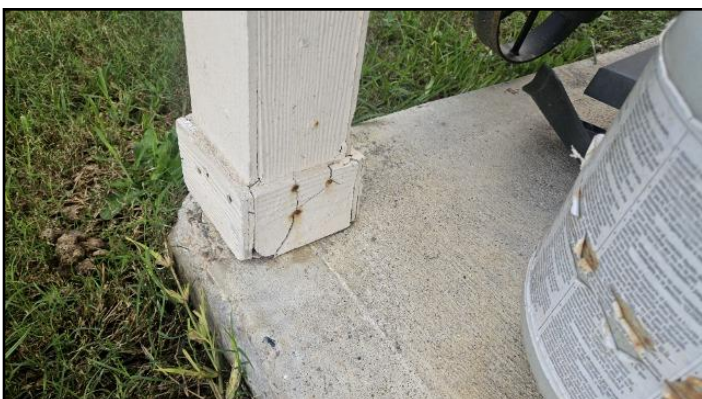
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20.



21.



22.



23.

## EXTERIOR GLASS/WINDOWS \ Glass (glazing)

**6. Condition:** • The window seal is broken or condensation inside

A thermal window features two or three panes of glass with open space between the panes. This window assembly is known in the industry as an IGU, for an insulated glazing unit or insulated glass unit.

The space between the glass panes of an IGU is vacuumed to remove air and is often filled with an inert (or noble) gas, such as argon or krypton, to slow the passage of heat through the window unit. Inert gasses are less heat-conductive than air or a vacuumed space.

Inspector recommends a qualified technician service all the windows, repair or replace as needed.

# SUMMARY

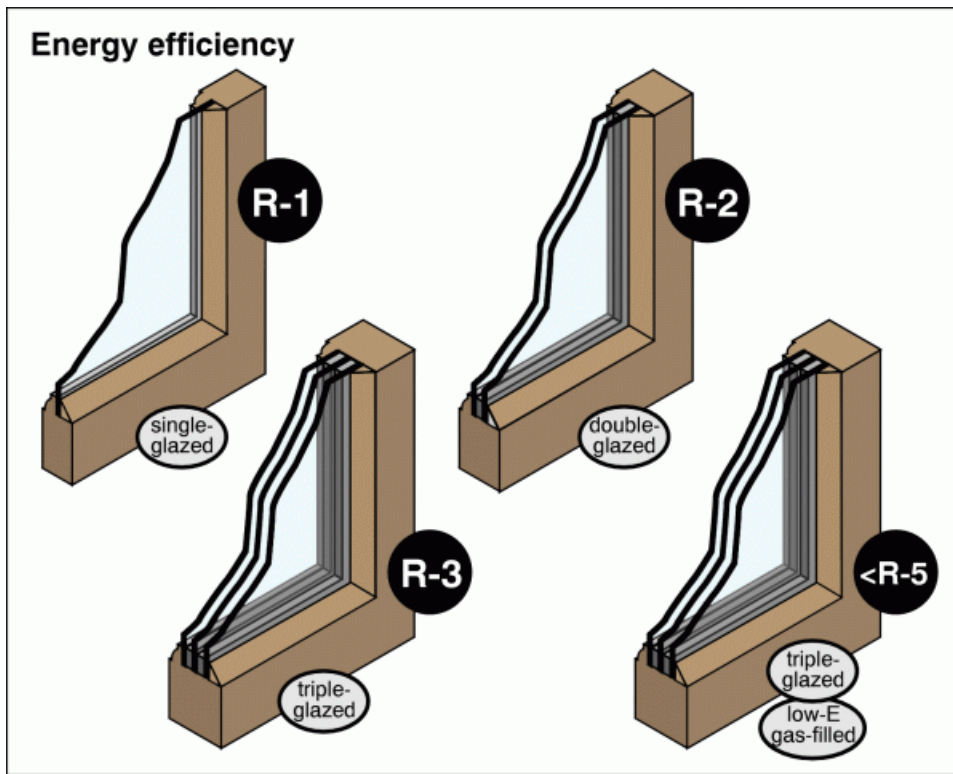
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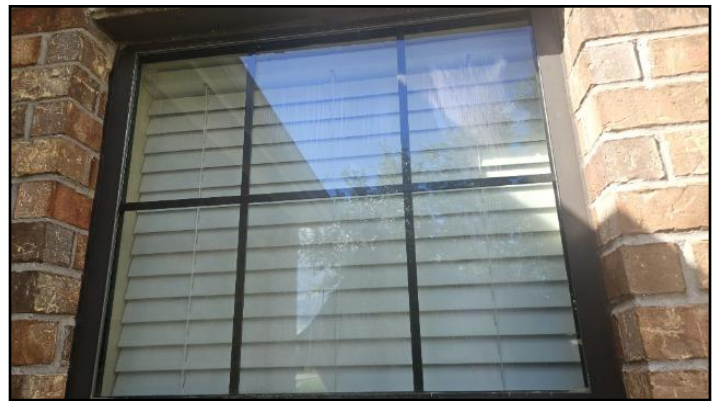
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26.



27.



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29.



30.



31.

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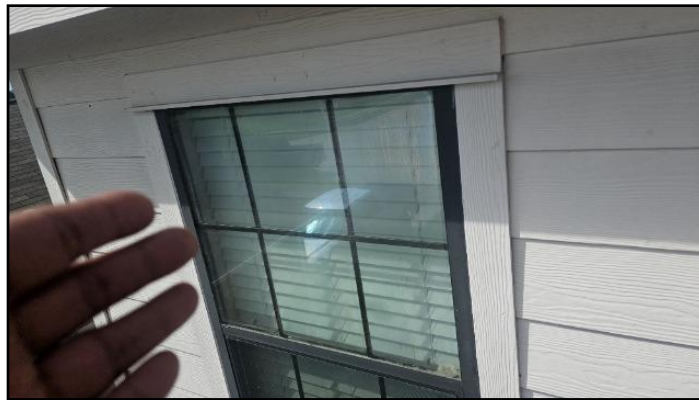
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32.

## EXTERIOR GLASS/WINDOWS \ Frames

**7. Condition:** • The inspector observed that the window lintel is not properly supported, with one end lacking adequate support. This issue can compromise the structural integrity of the window frame and surrounding wall. It is recommended to have the lintel properly supported to ensure the stability and safety of the window structure.



33.

## EXTERIOR GLASS/WINDOWS \ Exterior trim

**8. Condition:** • During the inspection, the inspector observed that the window or windows do not have sufficient slope to effectively shed water away. This can lead to potential moisture-related issues such as mold growth, rot, and damage to the window frame.

To prevent water from pooling on the window sill, In general, it is recommended that the slope of a window sill be between 5% to 15%. This range allows for effective water drainage while preventing water from pooling on the sill.

# SUMMARY

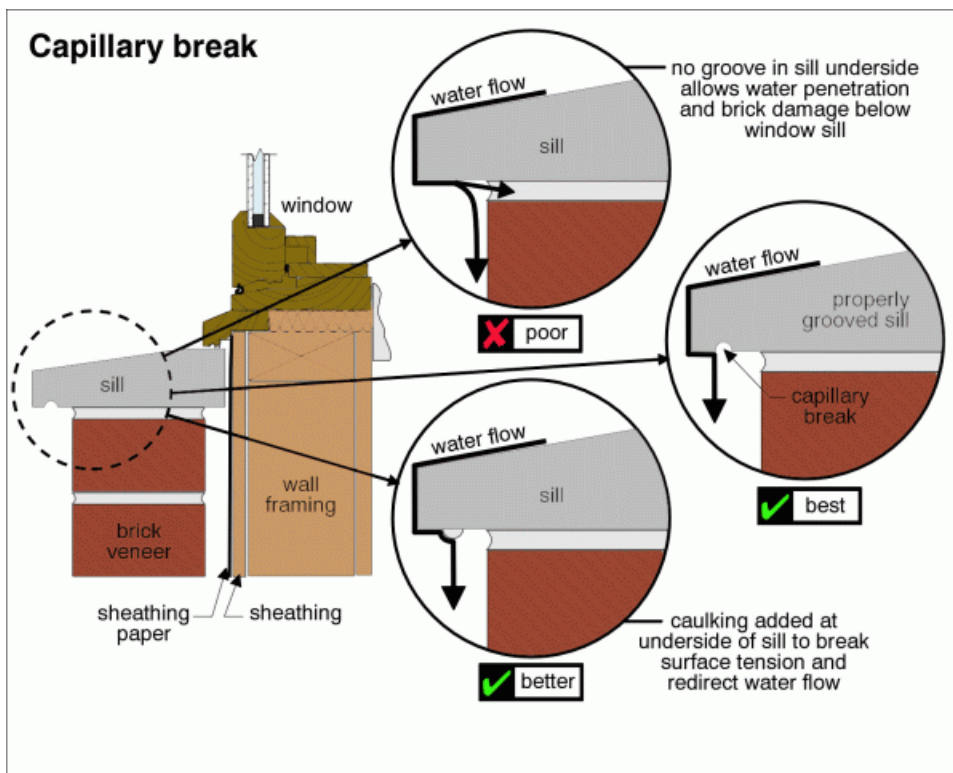
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## DOORS \ General notes

**9. Condition:** • The exteriors of the doors displayed typical signs of weathering, wear, and deterioration that are expected with their age. It is recommend having it corrected.

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36.



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## LANDSCAPING \ General notes

**10. Condition:** • Gate latch adjustments needed. It was noted at the time of inspections that the backyard fence gate latch was difficult to open and close.

Recommend to have this repaired or replaced.



38.



39.

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## LANDSCAPING \ Lot grading

**11. Condition:** • Water ponding noted near the foundation, excessive water will saturate the clay soils around and under the perimeter of the homes foundation. Inspector recommends backfill in the problematic area(s). Water should be move 6-inch drop in elevation for every 10 feet of distance from the base of the foundation. The rainwater should flow down the slope into the street and storm sewers.



40.



41.

## LANDSCAPING \ Driveway

**12. Condition:** • Driveway cracks are a common issue that can occur over time due to various factors such as weather conditions, heavy traffic, or poor installation. While some cracks may be purely cosmetic, others can compromise the integrity and functionality of the driveway.

Small cracks that are less than a quarter inch in width are generally not a cause for concern and can be filled with a crack filler or sealant to prevent water penetration and further damage. However, larger cracks or those that are wider than a quarter inch may require more extensive repairs such as resurfacing or patching.

It is recommended that you consult with a qualified contractor to assess the severity of the issue and recommend appropriate repairs.

# SUMMARY

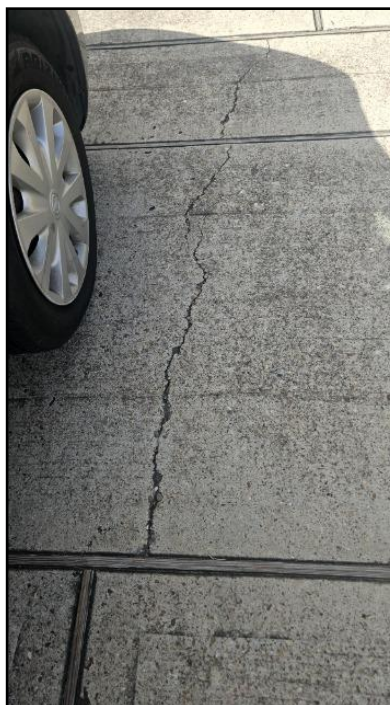
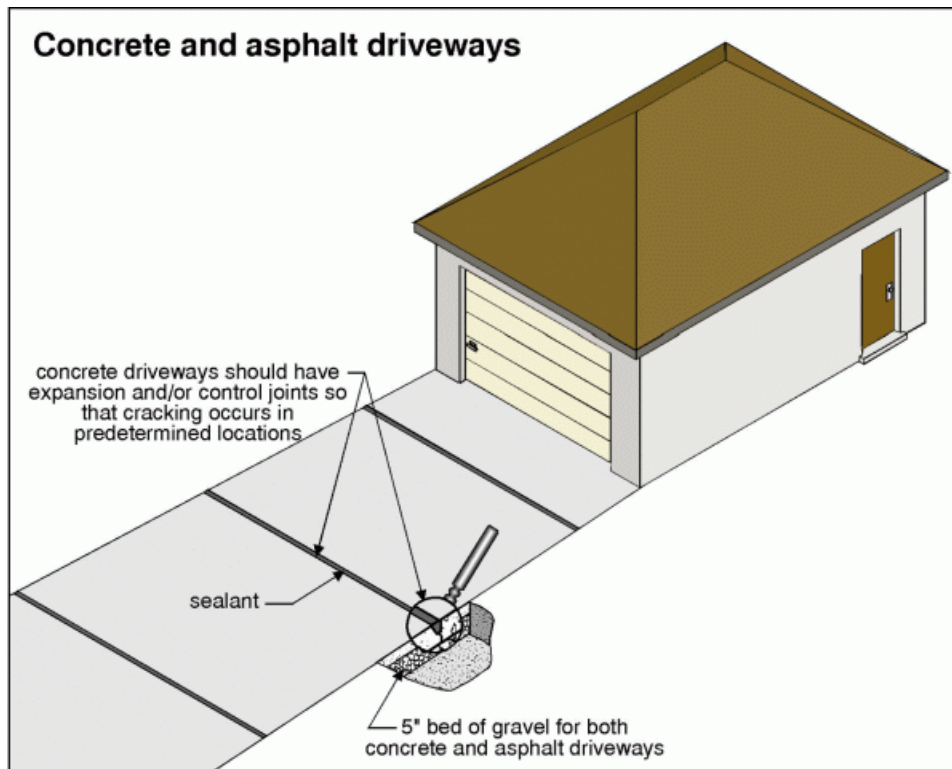
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42.

## LANDSCAPING \ Fence

**13. Condition:** • At the time of inspection, the inspector noted that the wood fence post was loose and shaking when pushed. This is a sign of incorrect post installation and can be further weakened by heavy wind and storms. It is recommended that this issue be corrected to prevent further damage.

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43.



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## Electrical

### RECOMMENDATIONS \ General

**14. Condition:** • Electrical outlets and breaker panels were inspected, however if the home is 40 years or older, and or new an appliance has been added, and or the home had any renovation. In any situation, a licensed electrician must perform the electrical inspection.

# SUMMARY

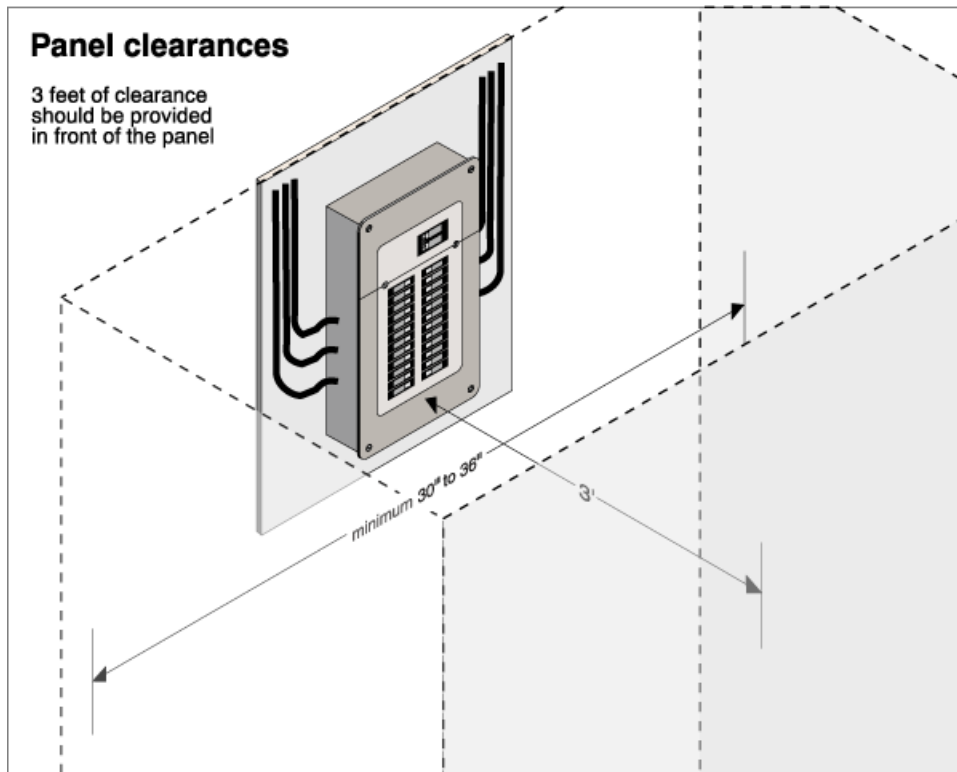
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## OPTIONAL \ Electrical

**15. Condition:** • Inspector is unable verify if the CO2 or smoke detectors are installed or working properly, Inspector recommends having it verified and tested prior to occupancy.

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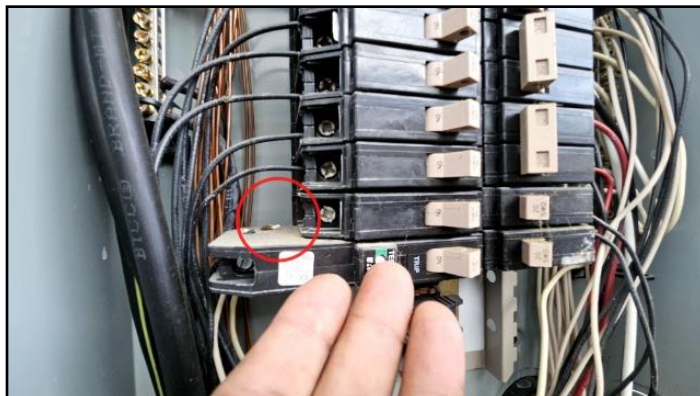
48.



49.

## SERVICE BOX, GROUNDING AND PANEL \ Service box

**16. Condition:** • The inspector observed that there is a breaker in the electrical panel without any wires connected to it. This could indicate potential issues with the electrical system. It is recommended to have a licensed electrician inspect the panel and address any necessary repairs or replacements to ensure the safety and functionality of the electrical system.



50.

**17. Condition:** • Ground Rod should be flush with the grade, recommend to have it corrected. As per code

This all comes from 250.53

(G) Rod and Pipe Electrodes. The electrode shall be installed such that at least 2.44 m (8 ft) of length is in contact with the soil. It shall be driven to a depth of not less than 2.44 m (8 ft)

Inspector recommends having it corrected and service the electricals systems for the house by a licensed electrician

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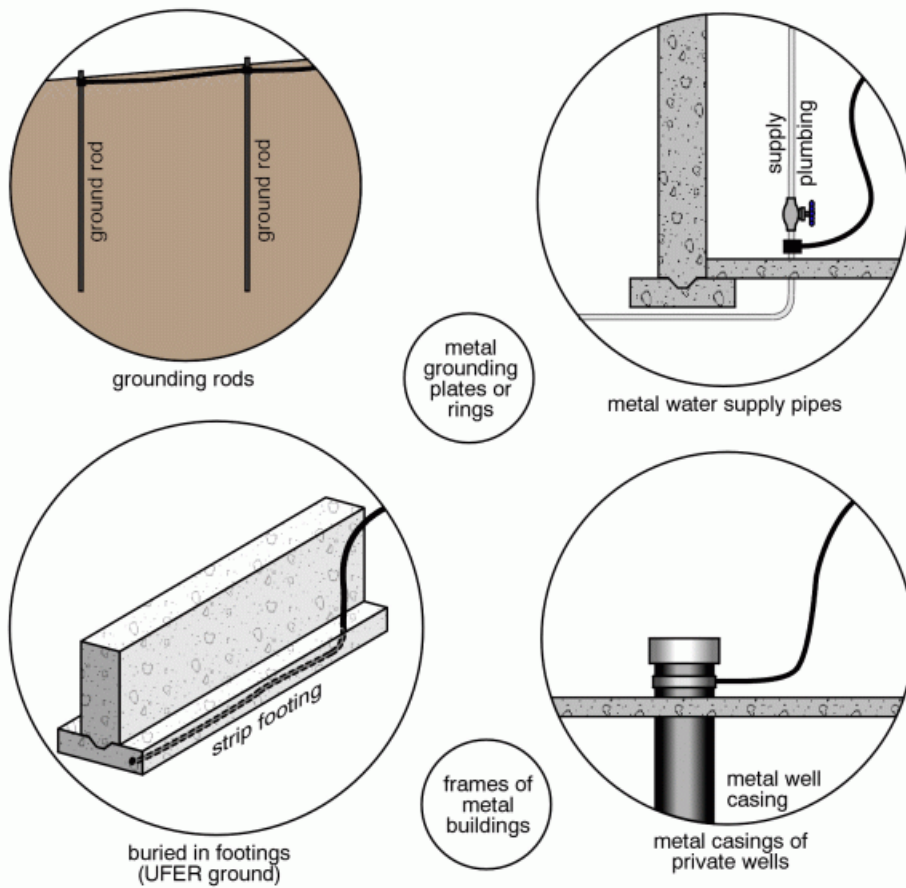
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## Where do ground wires go ?



51.

### SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

**18. Condition:** • Anti-oxidant missing - At the time of inspection, it was noted that the aluminum main service wires were missing anti-oxidant gel. Aluminum service wires can become very hot and also corrode over time. It is crucial to apply an anti-oxidant gel to the wires where they meet the main lugs of the service panel. Recommend to have it serviced by licensed electrician.

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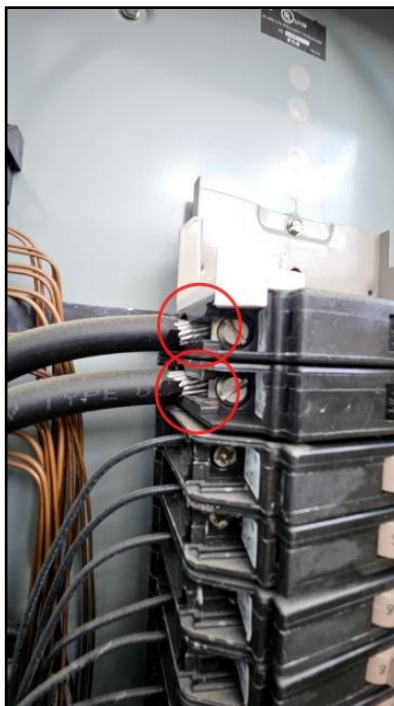
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## Heating

### OPTIONAL \ Heating

**19. Condition:** • The heating system was tested was working at the time of inspection. It is recommended that all furnace units especially those more than 10 years of age be further evaluated by licensed HVAC technician. Inspector is not a licensed to open up the units to check its components. Heating system consist of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the Heating system is encouraged by a licensed HVAC technician.



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# SUMMARY

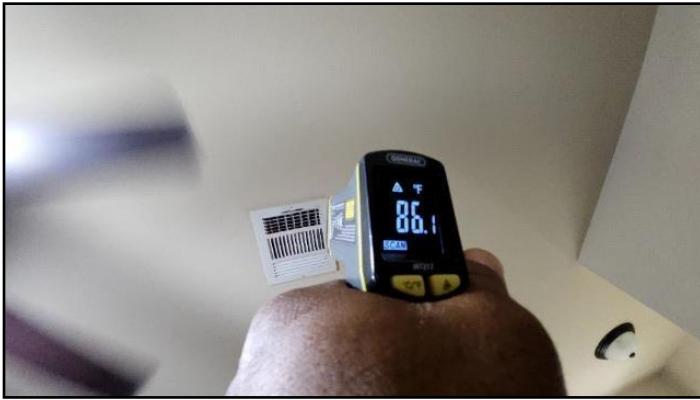
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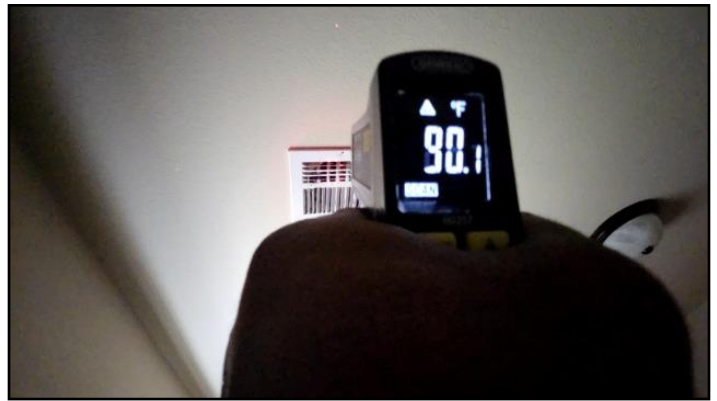
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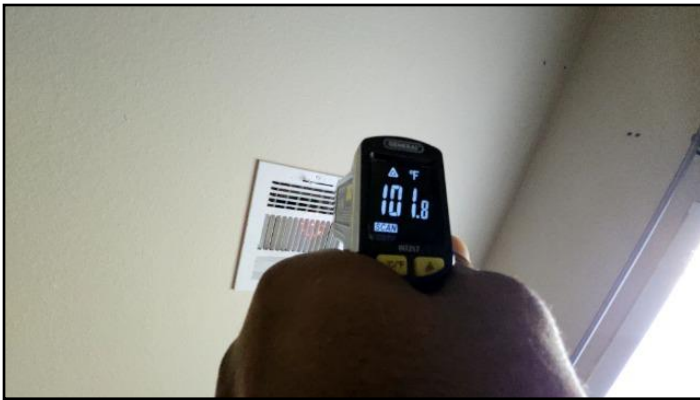
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61.

**20. Condition:** • The heating system was tested was working at the time of inspection. It is recommended that all furnace units especially those more than 10 years of age be further evaluated by licensed HVAC technician. Inspector is not a licensed to open up the units to check its components. Heating system consist of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing of the Heating system is encouraged by a licensed HVAC technician.



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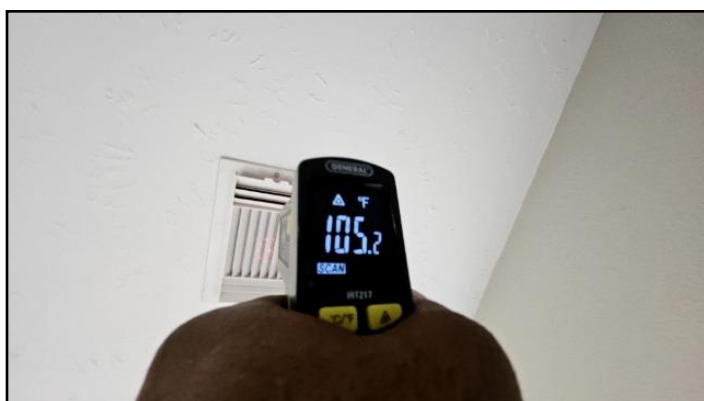
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## Cooling & Heat Pump

### OPTIONAL \ Cooling

**21. Condition:** • Visual inspection was performed on Evaporator coil and the compressor. Although everything is functioning as expected at the time of inspection. It is recommended to have License HVAC person service the unit(s) prior to the option period expires. [Visual inspection HVAC]

Although cooling System is functional, the inspection performed was a limited visual inspection with the unit operating under normal mode at the time of inspection. Panels and compartments are not opened or removed and high-pressure lines are not tested.

The heating and cooling systems should be serviced by a qualified specialist

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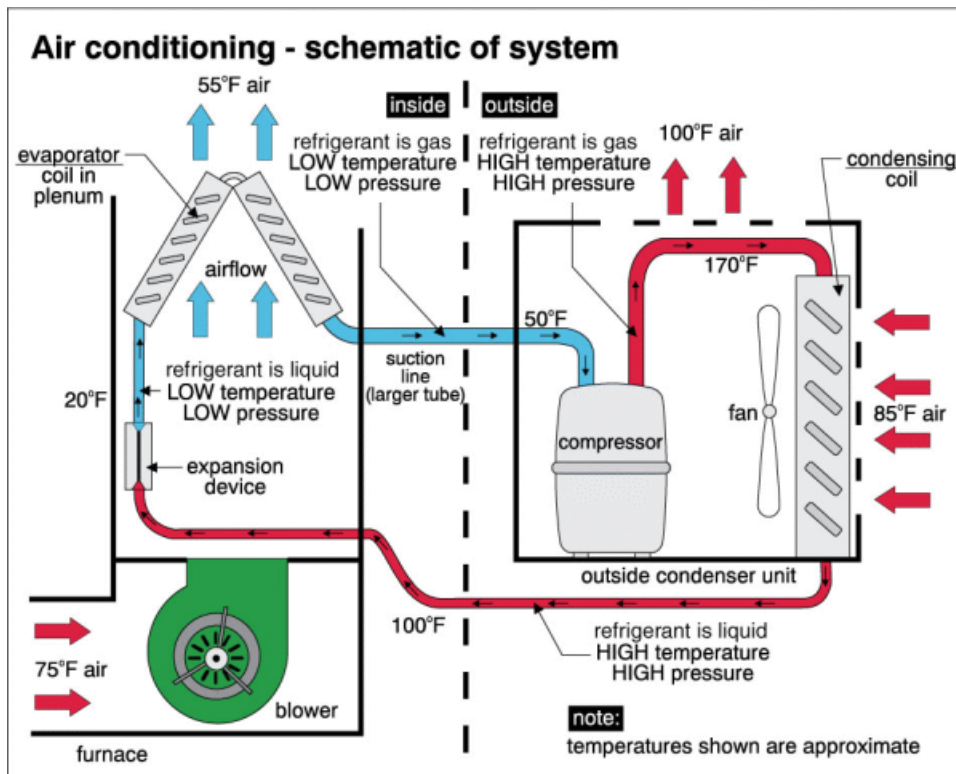
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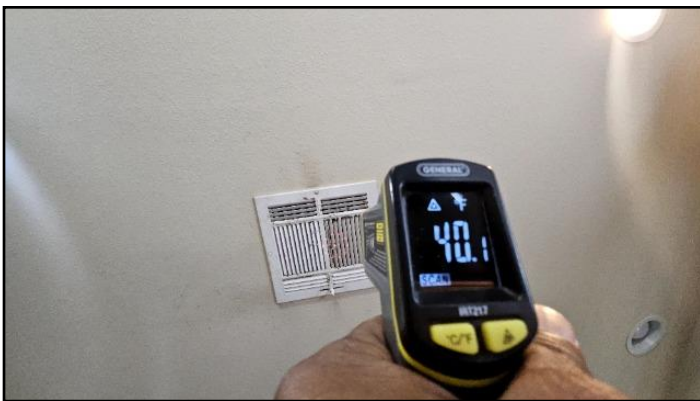
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## AIR CONDITIONING \ Ducts, registers and grilles

**22. Condition:** • Dirty filter/Grille - At the time of inspection, the inspector noted dirty air filter/Grilles. Filters should be checked every three months and replaced when they reach a condition in which accumulation of particles becomes so thick that particles may be blown loose from the filter and into indoor air. Homes in areas with high indoor levels of airborne pollen or dust may need to have air filters checked and changed more frequently. Failure to change the filter when needed may result in the following problems: - Reduced blower life due to dirt build-up on vanes, which increasing operating costs. - Reduced indoor air quality. - Increased resistance resulting in the filter being sucked into the blower.

Recommend the grilles cleaned and replace with new filters.



79.

**23. Condition:** • Mold / mildew like substance noted on the HVAC registers.

Recommended have it further evaluated repair and replace a needed.



80.



81.

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**24. Condition:** • The inspector observed condensation on the HVAC plenum in the attic during the inspection. This condensation can be a sign of potential issues such as inadequate insulation, improper ventilation, or a malfunctioning HVAC system. Excess moisture can lead to mold growth, water damage, and decreased efficiency of the HVAC system. It is recommended to have a qualified HVAC technician evaluate the situation to determine the underlying cause of the condensation



82.



83.



84.

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## Insulation and Ventilation

### RECOMMENDATIONS \ General

**25. Condition:** • visual inspection was conducted at the time of inspection. Inspector was unable to access all areas of the attic or moved any insulation.



85.



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## Plumbing

### OPTIONAL \ Plumbing

26. **Condition:** • Main water shut off location. Please note this area in the case of emergency



90.

27. **Condition:** • Gas shut off location on the exterior side of the house.



91.

28. **Condition:** • Water heating unit(s) were working at the time of inspection, it is recommend having water heating units further evaluated especially if the units are more than 10 year old.

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## **FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)**

**29. Condition:** • During the inspection, it was noted that the hose bib knob has sustained damage. A damaged hose bib knob can prevent proper sealing of the hose bib, leading to water leakage and potentially causing damage to the surrounding area.

It is recommended that the damaged hose bib knob be replaced by a qualified contractor.

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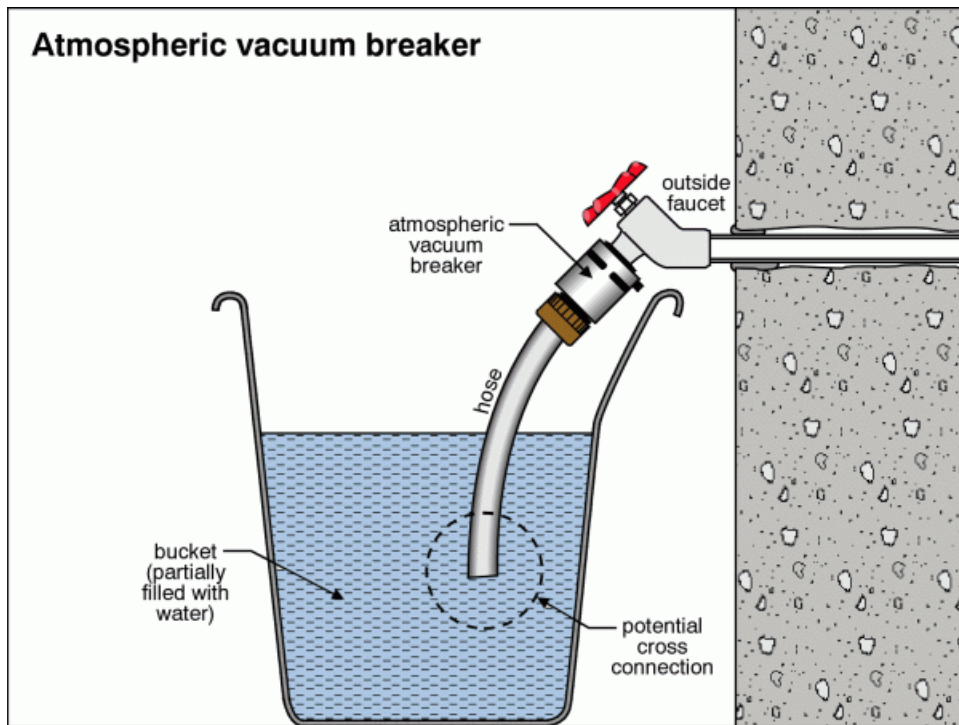
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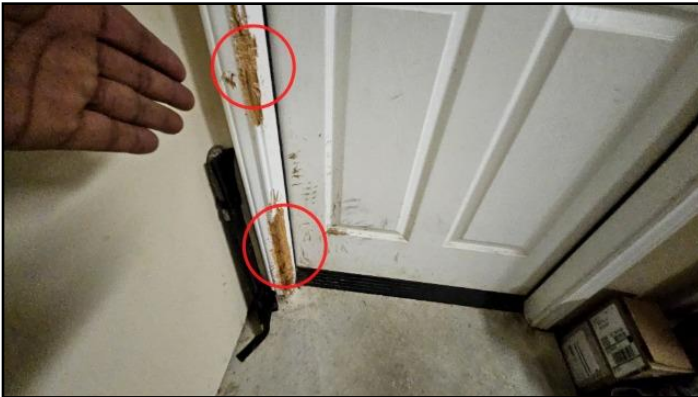
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97.

**30. Condition:** • During the inspection, it was noted that the hose bib knob has sustained damage. A damaged hose bib knob can prevent proper sealing of the hose bib, leading to water leakage and potentially causing damage to the surrounding area.

It is recommended that the damaged hose bib knob be replaced by a qualified contractor.



98.



99.

## FIXTURES AND FAUCETS \ Faucet

**31. Condition:** • Shower diverter issue noted.

The diverter is a valve in your tub's faucet that diverts water from the tub to the showerhead when the lever is pulled to turn on the shower. A small amount of water dripping out of your tub's faucet is normal because the valve doesn't have a perfect seal. But, if a large amount of water is coming out of the tub's faucet then you most likely have a problem with that valve.

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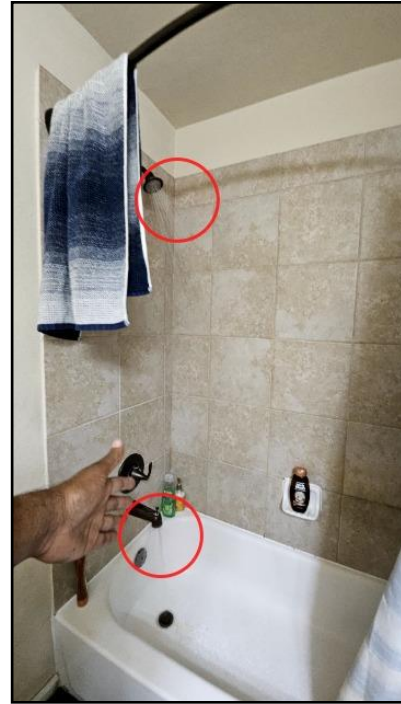
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Worn rubber washers, seals or gaskets in the valve assembly cause most leaks.

Inspector recommends licensed plumber service the house repair and replace all plumbing issues.



100.



101.

**32. Condition:** • The inspector noted at the time of inspection that there is a leak present at the faucet. This observation requires immediate attention due to its implications for safety, functionality, and code compliance. Recommend having a licensed plumber service the house.



102.

**33. Condition:** • The inspector observed that the faucets are exhibiting signs of a manufacturing defect. Specifically, the color of the faucets is fading, and discoloration is becoming apparent. This could potentially lead to further deterioration over time. Therefore, it is recommended to have the faucets either repaired or replaced to ensure they function properly and maintain the aesthetic quality of the home. Taking prompt action will help prevent any potential issues that could arise from continued use of the defective faucets.

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105.

## **FIXTURES AND FAUCETS \ Bathtub**

**34. Condition:** • Caulking loose, missing or deteriorated

Caulking line failure/breaks down over time in a bathroom and kitchen between various plumbing fixtures and floor joints in a bathroom, especially around sinks, bathtubs, and showers.

The inspector noted at the time of inspection existing caulking has deteriorated/missing. The Inspector recommends that this sealant be removed and replaced to help prevent the development of unhealthy conditions.



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### 35. Condition: • Caulking loose, missing or deteriorated

Caulking line failure/breaks down over time in a bathroom and kitchen between various plumbing fixtures and floor joints in a bathroom, especially around sinks, bathtubs, and showers.

The inspector noted at the time of inspection existing caulking has deteriorated/missing. The Inspector recommends that this

sealant be removed and replaced to help prevent the development of unhealthy conditions.



107.



108.

# SUMMARY

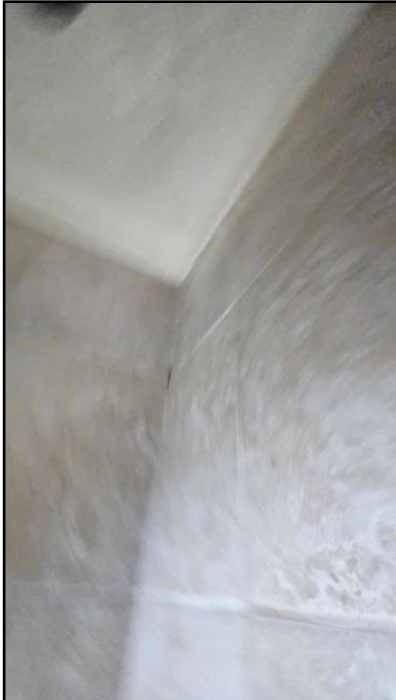
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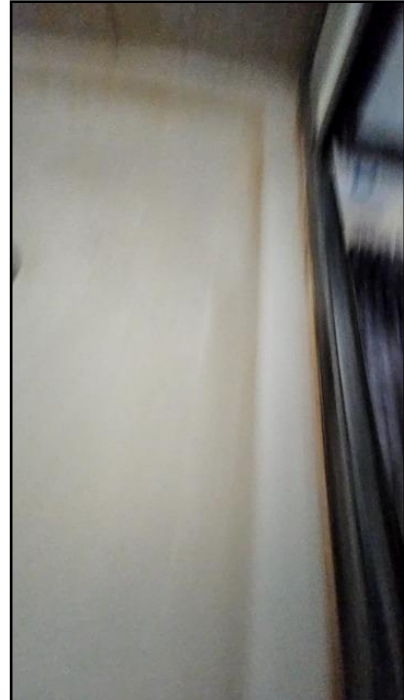
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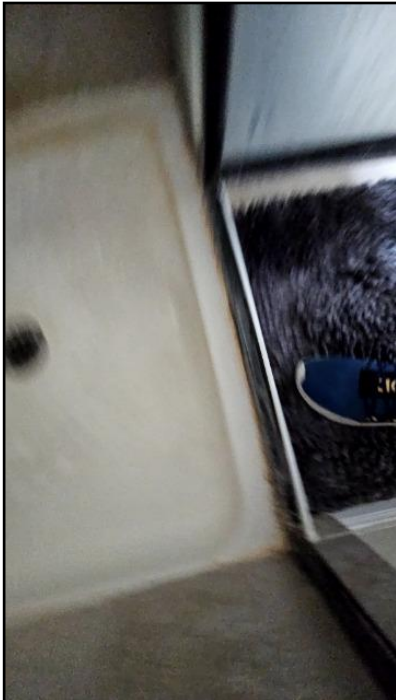
REFERENCE



109.



110.



111.



112.

## **FIXTURES AND FAUCETS \ Shower stall enclosure**

**36. Condition:** • Shower stall issues noted at the time of inspection. shower door does not keep water inside the stall. Inspector recommends having the door tightly sealed and having door frames close properly.

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113.



114.

## Interior

### RECOMMENDATIONS \ General

**37. Condition:** • During the inspection, it was observed that the following appliances were functioning properly and as intended:

It is important to note that while the appliances were in good working condition at the time of the inspection, normal wear and tear or other factors can impact their performance over time. Regular maintenance and inspections can help ensure the appliances continue to function properly and extend their lifespan



115.



116.

### OPTIONAL \ Interior

**38. Condition:** • During the inspection, it was noted that the property was occupied, and as a result, the inspector's

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visibility was limited due to storage, furniture, and materials. This means that cracks and damages that may be concealed behind furniture or other items may not have been visible or inspected.

It is important to note that items may be moved and appliances may be turned off or not working. Therefore, it is recommended that all appliances, plumbing, walls, and floors be checked prior to closing the property that they are in good working condition and free from any damage.

It is the responsibility of the buyer to ensure that the property is in satisfactory condition before closing. It is recommended that the buyer conduct a final walkthrough of the property prior to closing to check for any issues or changes since the initial inspection.



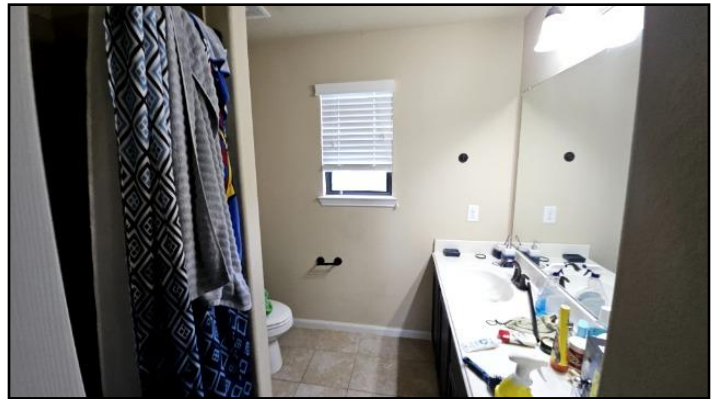
117.



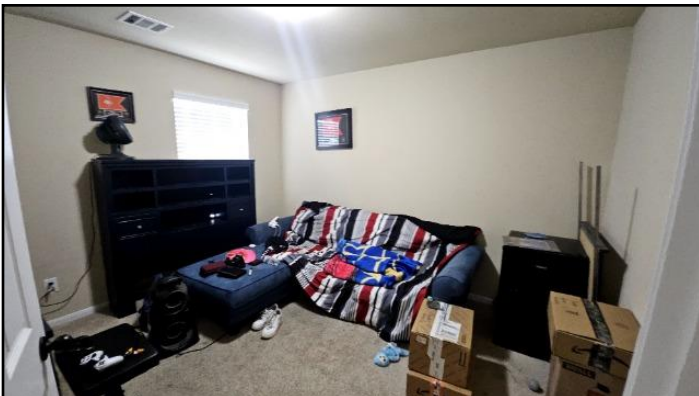
118.



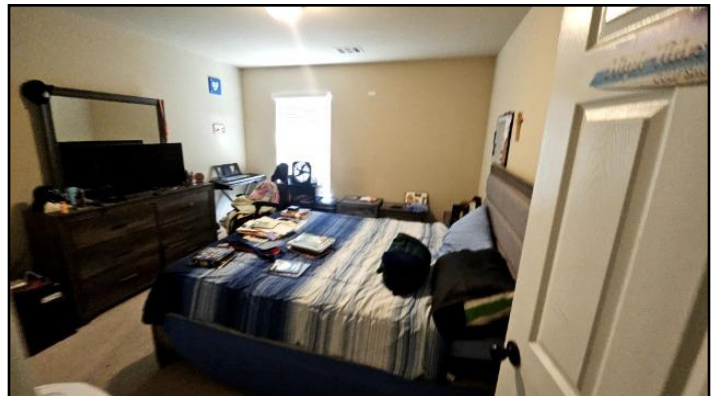
119.



120.



121.



122.

# SUMMARY

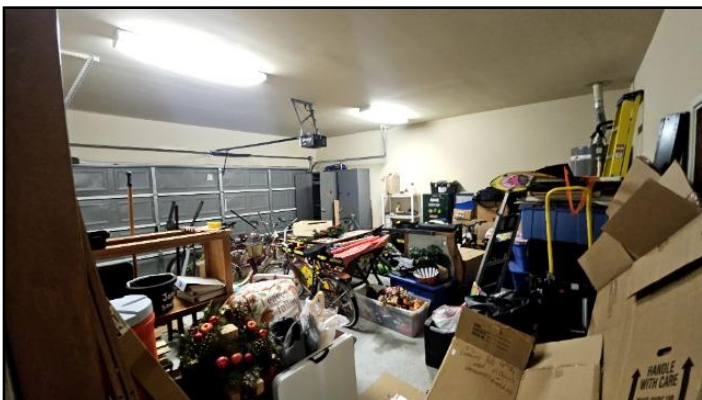
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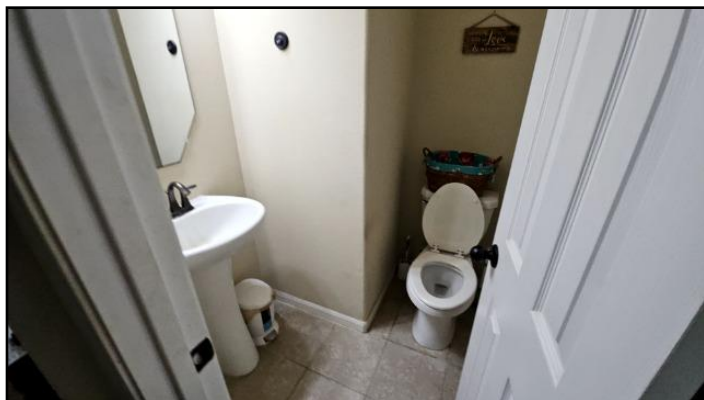
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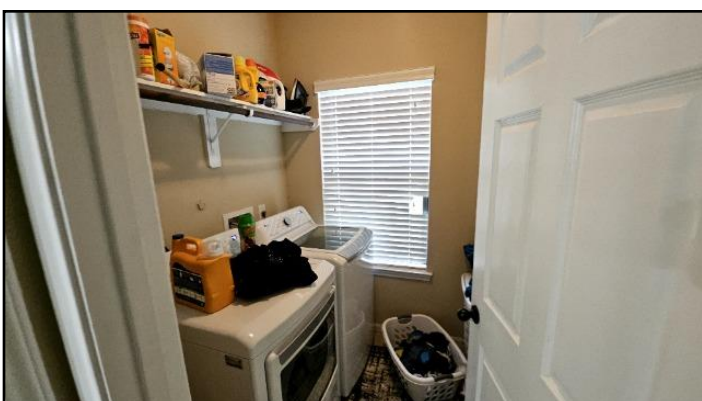
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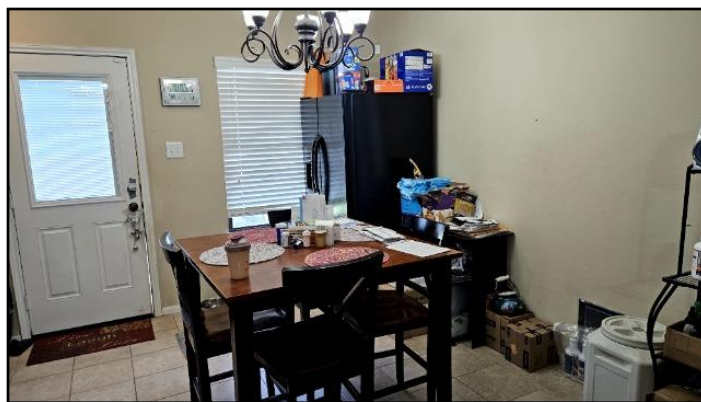
124.



125.



126.



127.

## CEILINGS \ Plaster or drywall

**39. Condition:** • Poorly jointed Sheetrock can cause gaps, bulges, and uneven surfaces that detract from the look of the finished product. It can also lead to cracks in the Sheetrock, which can lead to further problems down the line. To prevent this, make sure to use a good joint compound and to apply it evenly and carefully. Use tape to reinforce the joints, and smooth out any ridges or bulges with a putty knife.

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130.



131.

## WALLS \ Plaster or drywall

**40. Condition:** • drywall damage noted at one more location the time of the inspection. Before the expiration of your Inspection Objection Deadline you may wish to consult with a qualified contractor to discuss options and costs for repairs.

# SUMMARY

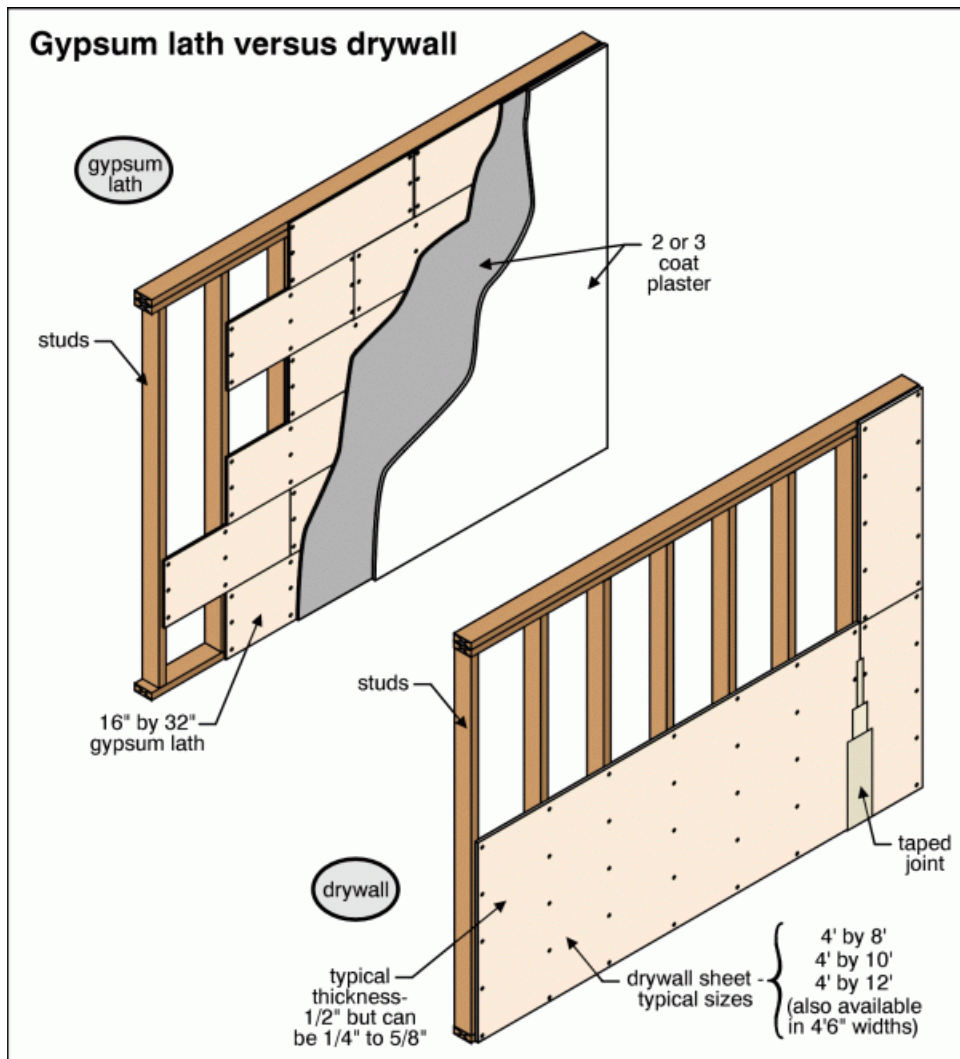
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## FLOORS \ Subflooring

**41. Condition:** • Floor is not at level.

During the inspection, the inspector noted that the flooring in the is not level and feels bouncy or squeaks. As a result, there can be several consequences, including damage to the subfloor and/or joists over time, excessive wear and tear on the flooring, and noise and discomfort when walking on the floor. The inspector recommends having the flooring further evaluated by a professional prior to making any decisions about repair or replacement. Based on the evaluation, the necessary repairs or replacements should be made as needed to ensure the safety and comfort of the occupants."



135.



136.

## DOORS \ Doors and frames

**42. Condition:** • The Inspector observed that the door on the inside of the house was damaged and suggested that it be replaced.

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**43. Condition:** • The Inspector observed that the door on the inside of the house was damaged and suggested that it be replaced.



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**44. Condition:** • Inspector noted the door may not close properly due to the misalignment and may need to be adjusted

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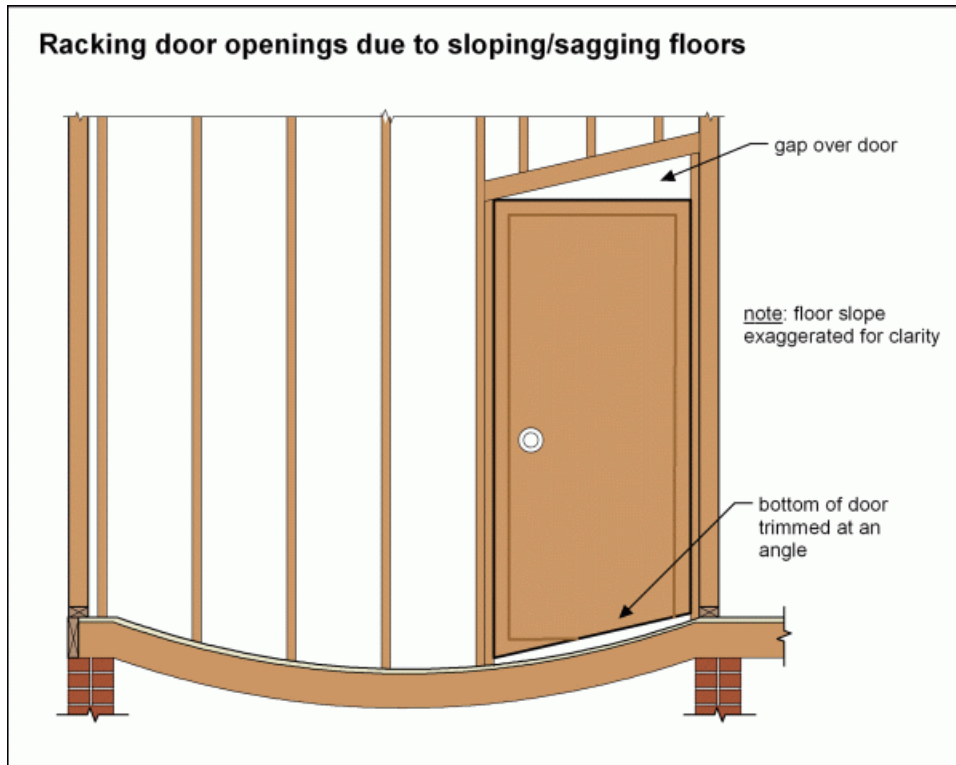
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or replaced.

2. There may be gaps in the doorway that allow air or insects to enter the home.
3. The door may not be secure if the hinges are loose.
4. The door may be difficult to open and close if it is not properly aligned.



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## **GARAGE \ Vehicle doors**

**45. Condition:** • Inspector noted garage door damage at the time of inspection. It is recommended to having it corrected. damage vehicle doors can be a safety hazard.

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## APPLIANCES \ Microwave oven

**46. Condition:** • The microwave handle is broken/missing and needs to be repaired or replaced. The handle is essential for opening and closing the microwave door. Recommend having it corrected.



144.



145.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS