



Simply The Best!

Inspection Report

Joao Arantes

Property Address:
16915 Farley Pass Dr
Houston TX 77095



HG Home Inspection/Hilsher Group LLC

**Gonzalo Allende-Savage 22481 Texas Professional Home Inspector #22481
2020 N Loop W Ste 150
Houston, TX 77018
281-782-7451**

PROPERTY INSPECTION REPORT FORM

Joao Arantes	9/6/2024
<i>Name of Client</i>	<i>Date of Inspection</i>
16915 Farley Pass Dr, Houston, TX 77095	
<i>Address of Inspected Property</i>	
Gonzalo Allende-Savage 22481	Texas Professional Home Inspector #22481
<i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

Standards of Practice:

TREC Texas Real Estate Commission

In Attendance:

Customer and their agent

Type of building:

Single Family (1 story)

Style of Home:

Traditional

Approximate age of building:

Over 10 Years

Home Faces:

North

Temperature:

Over 65 (F) = 18 (C)

Weather:

Light Rain

Ground/Soil surface condition:

Wet

Rain in last 3 days:

Yes

Comments: SET BY BUYER -MRR
BUYER & AGENT WILL ATTEND AT 4
Referral: Realtor
Year Built: 2006
Square Footage: 1523

Report Identification: 16915 Farley Pass Dr

Rooms:

Property is Vacant

Utilities On: None

People Present at Inspection: Buyer, Buyer Agent

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.



Roof



Roof



Insulation is approximately 10" deep



Stick built without radiant barrier

A. Foundations

Type of Foundation (s): Poured concrete

Comments:

- (1) This is not an engineering report, but is only an opinion based on observation of conditions known to be related to foundation performance, using the knowledge and experience of the inspector.
- (2) The foundation has minor corner pop(s) that are considered cosmetic. Further deterioration may occur if not corrected. I recommend having a qualified person make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1 (Picture) Foundation corners

(3) The post tension foundation has exposed cable ends that are starting to show signs of deterioration. This is a maintenance issue. Further deterioration will occur if not corrected. I recommend having a qualified person make repairs as needed.



A. Item 2 (Picture) Areas around foundation perimeter

(4) The foundation is showing signs of movement. I recommend consulting with a Structural Engineer or foundation professional.



A. Item 3 (Picture) Rear left corner (kitchen nook)

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I	NI	NP	D
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B. Grading and Drainage

Comments:

(1) Gutters are deteriorated and leaking. I recommend a qualified professional to further evaluate.



B. Item 1 (Picture) Multiple gutters

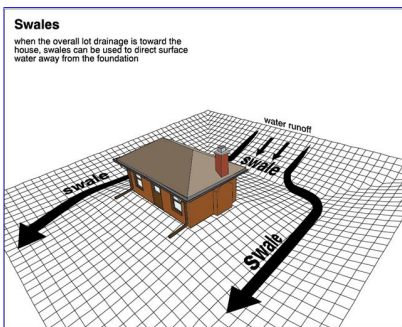


B. Item 2 (Picture) Multiple gutters around home



B. Item 3 (Picture) By front door

(2) Grading on the lot does not appear to drain water properly. I recommend having a qualified person grade lot properly.



B. Item 4 (Picture) All around home perimeter



B. Item 5 (Picture) Rear

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(3) The landscape at the exterior may require a trench or drain if water stands or puddles after heavy rain. I am unable to determine due to no rain during inspection period.



B. Item 6 (Picture) Right side



B. Item 7 (Picture) Front



B. Item 8 (Picture) Left side

(4) There is a negative slope towards the exterior areas. This area does not appear to drain water away from home and needs landscaping and drainage corrected to show a minimum of 4 inches of slab.

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B. Item 9 (Picture) Front



B. Item 10 (Picture) Front



B. Item 11 (Picture) Rear



B. Item 12 (Picture) Rear

(5) Damaged splash block. This is for your information.



B. Item 13 (Picture) Left side

(6) Missing downspout and extension on gutter. This is for your information.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 14 (Picture) Rear

(7) The gutters have standing water and debris in them. I recommend having a qualified person correct gutter drainage.



B. Item 15 (Picture) Multiple areas

C. Roof Covering Materials

Types of Roof Covering: Architectural, Asphalt/Fiberglass

Viewed from: Ground, Ladder, Walked roof, Attic

Roof Ventilation: Soffit Vents, Passive

Comments:

(1) This inspection does not warrant against roof leaks.

(2) Lifted flashing present in areas. I recommend a qualified professional to further evaluate.

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C. Item 1 (Picture) Drip edge flashing in the front



C. Item 2 (Picture) Drip edge flashing above garage

(3) The roof is showing missing shingles, wear, tear and granular loss. (Granules provide UV protection for shingles. Once the granules erode away the sun is able to deteriorate the asphalt and shortens the life of the roofing material.) I recommend consulting with a roofing professional.. A qualified person should repair or replace as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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C. Item 3 (Picture) Throughout roof



C. Item 4 (Picture) Throughout roof



C. Item 5 (Picture) Throughout roof



C. Item 6 (Picture) Throughout roof



C. Item 7 (Picture) All throughout roof



C. Item 8 (Picture) All throughout roof

(4) Roof repairs present. This is for your information.

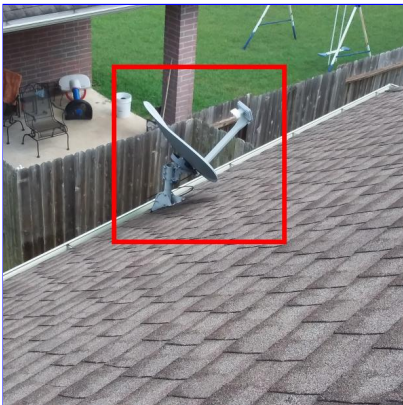
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I NI NP D



C. Item 9 (Picture) Front left

(5) There is a satellite dish bracket mounted on roof that is screwed directly through roofing surface. This is not considered to be today's standard. I recommend having a qualified person remove and patch roofing as needed. (The area will need periodic maintenance)



C. Item 10 (Picture) Left side

(6) The roofing surface has exposed nail heads that are showing signs of deterioration. Further deterioration will occur if not corrected. I recommend having a qualified person repair or replace as needed.



C. Item 11 (Picture) Multiple areas throughout roof

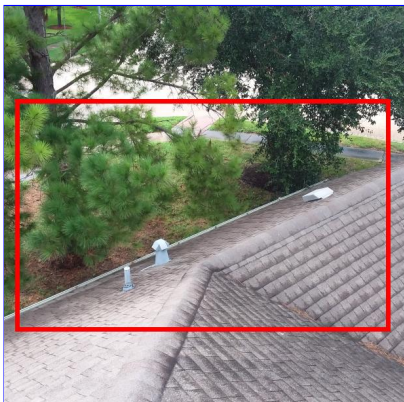


C. Item 12 (Picture) Multiple areas throughout roof

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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(7) The tree limbs that are in contact with roof or hanging near roof should be trimmed.



C. Item 13 (Picture) Right side

D. Roof Structures and Attics

Method used to observe attic: From entry, Walked

Viewed from: Attic, Ground, Ladder, Walked roof

Roof Structure: Stick-built

Attic Insulation: Blown

Approximate Average Depth of Insulation: 10 inches

Approximate Average Thickness of Vertical Insulation: None

Attic info: Pull Down stairs

Comments:

(1) Attic inspection is limited to visibility from service decking that is safely accessible at the time of inspection.

(2) The pull down stairs are not properly insulated. This can cause some heat loss in winter and loss of cool air in summer if not corrected. I recommend repair as desired.



D. Item 1 (Picture) Pull down

(3) The attic space has areas of thin insulation. This is causing energy loss and is not today's standard. I recommend having a qualified person evaluate and add insulation as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



D. Item 2 (Picture) Multiple attic areas



D. Item 3 (Picture) At least 12" is recommended



D. Item 4 (Picture) Throughout attic



D. Item 5 (Picture) Attic

E. Walls (Interior and Exterior)

Wall Structure: Wood

Comments:

(1) All exterior cracks, gaps, penetrations, holes and openings should be properly sealed to avoid water and vermin intrusion. This is a maintenance recommendation.

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E. Item 1 (Picture) Multiple areas in window frames around home perimeter



E. Item 2 (Picture) Wall penetrations



E. Item 3 (Picture) Multiple areas around home perimeter



E. Item 4 (Picture) Multiple areas around home perimeter

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I NI NP D



E. Item 5 (Picture) Multiple areas around home perimeter



E. Item 6 (Picture) Gaps between siding boards and exterior window frames

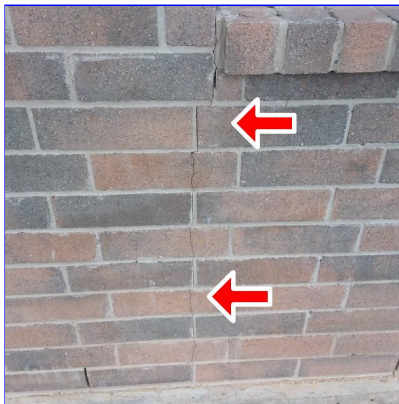


E. Item 7 (Picture) Rear

(2) The Brick siding at the exterior has step cracks caused from settlement. Deterioration can eventually occur if not corrected. A qualified contractor should inspect and repair as needed.



E. Item 8 (Picture) Right side

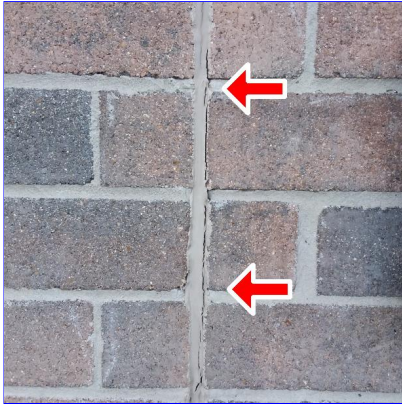


E. Item 9 (Picture) Right side

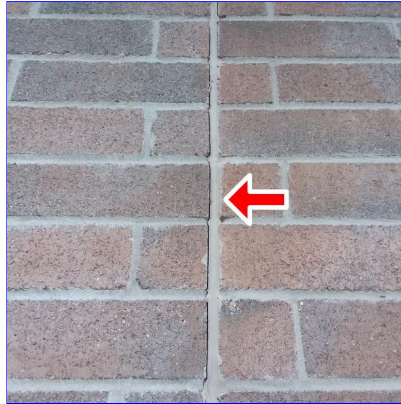
(3) The brick siding at the exterior of the home has expansion joint sealant that is weathered or missing. Further deterioration can occur if not corrected. A qualified person should repair or replace as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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E. Item 10 (Picture) All around home perimeter



E. Item 11 (Picture) All around home perimeter



E. Item 12 (Picture) Next to front door

(4) There is vegetation growth on exterior of the home. This can cause damage, contribute to premature deterioration and create conducive conditions for certain wood destroying insects. I recommend removal of vegetation and having a qualified pest control company inspect and treat as needed.



E. Item 13 (Picture) Left side



E. Item 14 (Picture) Front left

(5) The exterior siding and trim is deteriorated in areas. Further deterioration will occur if not corrected. A qualified contractor should inspect and repair as needed.

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E. Item 15 (Picture) Rear



E. Item 16 (Picture) Rear



E. Item 17 (Picture) Rear



E. Item 18 (Picture) Around garage door



E. Item 19 (Picture) Chimney areas

(6) Missing weep holes on shower wall. I recommend a qualified professional to further evaluate.

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I	NI	NP	D
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E. Item 20 (Picture) Master shower

F. Ceilings and Floors

Floor Structure: Slab

Ceiling Structure: 6" or better

Comments:

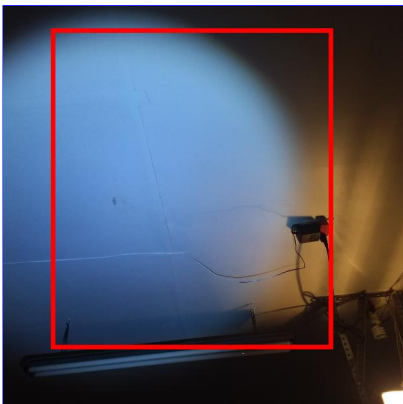
(1) The Drywall on the ceiling reveals tape line and/or cracking. This damage is considered cosmetic. A qualified contractor should inspect and repair as needed.



F. Item 1 (Picture) Kitchen and nook



F. Item 2 (Picture) Garage

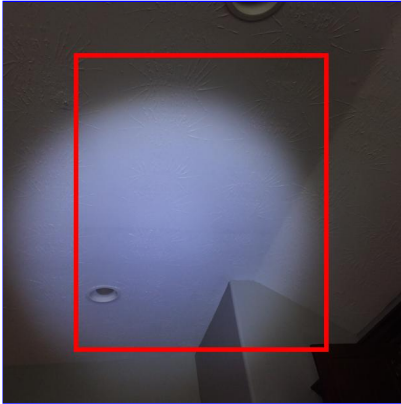


F. Item 3 (Picture) Garage

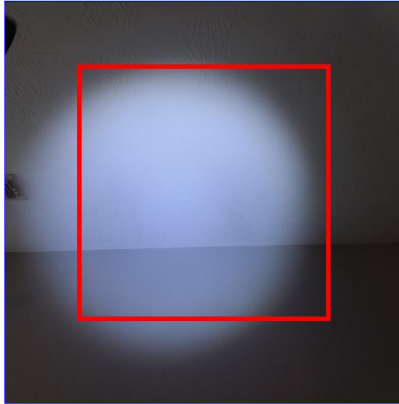
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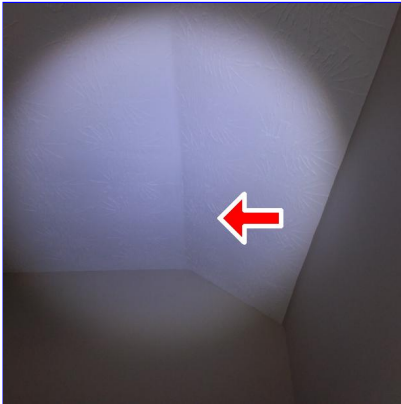
(2) The Drywall on the ceiling reveals stains indicating paint mismatch or the possibility a leak did or still exists in areas. While this damage is cosmetic, it needs to be repaired. A qualified contractor should inspect and repair as needed.



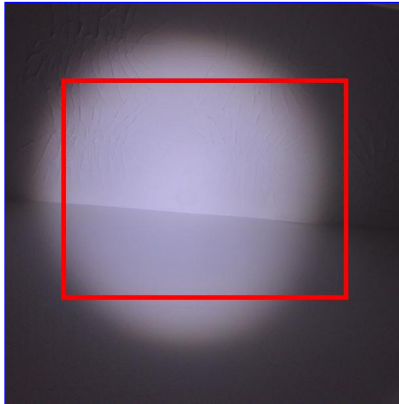
F. Item 4 (Picture) Kitchen



F. Item 5 (Picture) Above fireplace

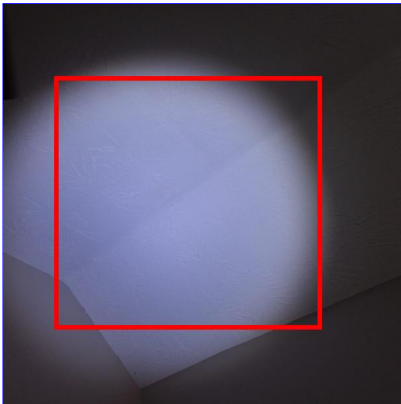


F. Item 6 (Picture) Front guest bedroom



F. Item 7 (Picture) Middle bedroom closet

(3) The Drywall on the ceiling reveals a water stain indicating a leak did or still exists in areas. While this damage is cosmetic, it needs to be repaired. A qualified contractor should inspect and repair as needed.



F. Item 8 (Picture) Front guest bedroom

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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G. Doors (Interior and Exterior)

Comments:

(1) The interior garage door does not have the required self closing hinge. This is not considered to be today's standard. I recommend having a qualified person make repairs as needed.



G. Item 1 (Picture) Garage entry door

(2) Deteriorated glass on door. This is for your information.



G. Item 2 (Picture) Back door

(3) The entry door reveals daylight at threshold when latched. This can cause some heat loss in winter and loss of cool air in summer if not corrected. A qualified contractor should inspect and repair as needed.

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I NI NP D



G. Item 3 (Picture) Back door



G. Item 4 (Picture) Back door

H. Windows

Comments:

(1) Windows have damaged or missing screens. This is not considered to be today's standards. I recommend having a qualified person make repairs as needed.



H. Item 1 (Picture) Multiple areas throughout home

(2) The glazing between glass panes appear to be failing at some windows causing cloudy glass (If there are multiple windows that are the same age and style it is safe to assume others will soon start to fail as well). I recommend having a qualified person make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



H. Item 2 (Picture) Middle bedroom

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Chimney (exterior): Cement Fiber

Operable Fireplaces: One

Types of Fireplaces: Conventional

Number of Woodstoves: None

Comments:

(1) I do not inspect the shape of fireplace or the design to determine if your fireplace has a proper air draw.

(2) Deterioration present inside fireplace. I recommend a qualified professional to further evaluate.



J. Item 1 (Picture) Inside fireplace

K. Porches, Balconies, Decks and Carports

Comments:

(1) The weight load capabilities are not part of this inspection.

(2) Gap between back porch and siding should be sealed to avoid water pooling. I recommend a qualified professional to correct.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



K. Item 1 (Picture) Back porch



K. Item 2 (Picture) Back porch

(3) Cracking present on patio. This is for your information.



K. Item 3 (Picture) Back patio

(4) Deterioration and water pooling pm driveway. This is for your information.



K. Item 4 (Picture) Driveway

L. Other

Comments:

(1) Areas of the home have caulking or grout missing or damaged. Deterioration could occur if not corrected. I recommend having a qualified contractor inspect and make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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L. Item 1 (Picture) Around exterior outlets



L. Item 2 (Picture) Behind kitchen sink



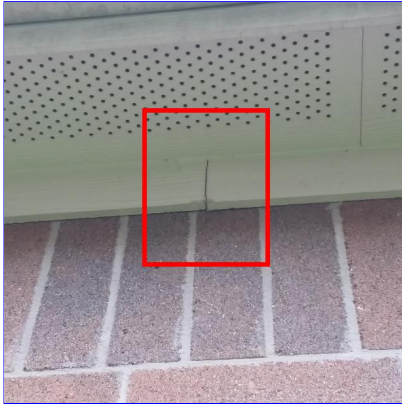
L. Item 3 (Picture) Backsplashes in kitchen in multiple areas



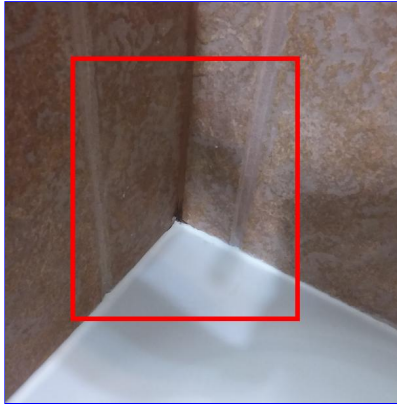
L. Item 4 (Picture) Front left

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



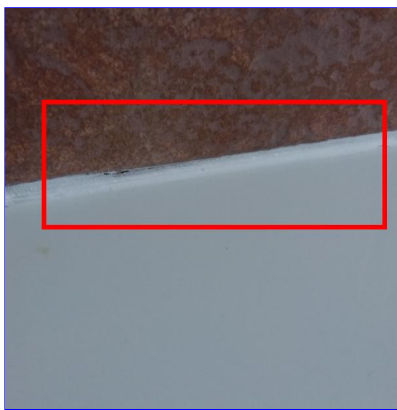
L. Item 5 (Picture) Frieze boards



L. Item 6 (Picture) Guest tub



L. Item 7 (Picture) Master shower



L. Item 8 (Picture) Master tub

(2) There is what appears to be an active insect colony. I recommend contacting a qualified pest control company to inspect and treat as needed.



L. Item 9 (Picture) Rear



L. Item 10 (Picture) Rear

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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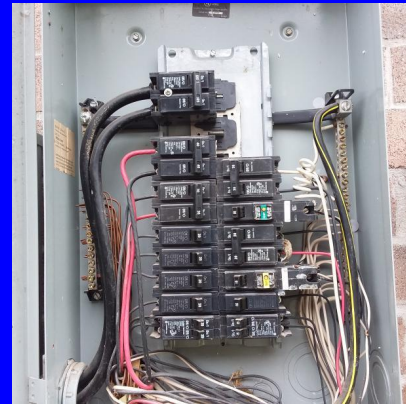
I NI NP D

II. ELECTRICAL SYSTEMS

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



Below ground service and main panel located on the left side of the home



125 amp main panel

A. Service Entrance and Panels

Electrical Service Conductors: Below ground

Panel Capacity: 125 AMP

Panel Type: Circuit breakers

Electric Panel Manufacturer: Cutler Hammer

Comments:

(1) The panel is missing circuit identification. **This is a safety hazard.** I recommend having a qualified person mark circuits as needed.



A. Item 1 (Picture) Main panel

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(2) The grounding rod near meter is using improper clamp for grounding of main panel (solid brass clamp is recommended). This is not considered to be today's standard. I recommend having a qualified person replace with proper clamp to assure proper grounding.

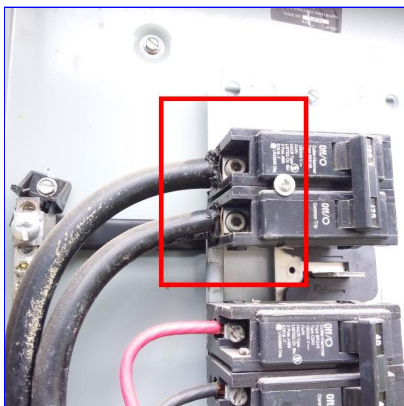


A. Item 2 (Picture)



A. Item 3 (Picture) Grounding rod

(3) Lug covers were not installed at the service entrance wires. This is not considered today's standard.



A. Item 4 (Picture) Main panel

(4) The main panel does not have a whole house surge protector. This is not today's standard. I recommend consulting a licensed electrician.

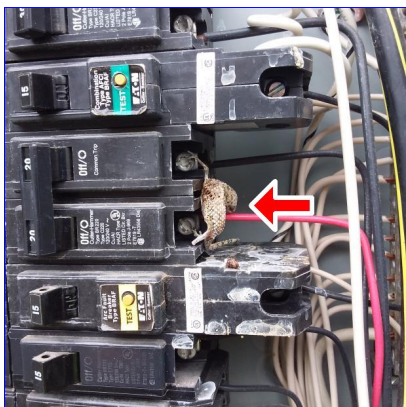
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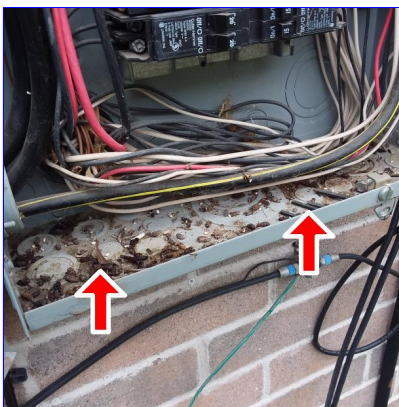


A. Item 5 (Picture) Main panel

(5) Debris present inside panel. I recommend a qualified professional to further evaluate and correct.



A. Item 6 (Picture) Main panel



A. Item 7 (Picture) Main panel

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Romex

Branch wire 15 and 20 amperage: Copper

Comments:

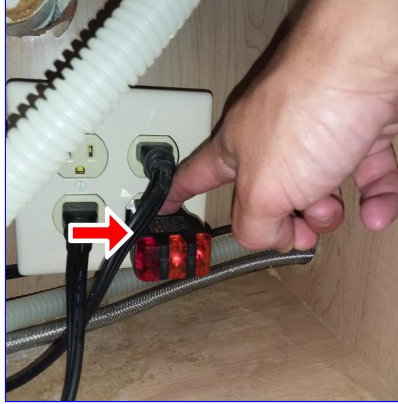
- (1) I recommend checking all smoke detectors for functionality and putting fresh batteries in each unit upon move in. It is recommend to have smoke detection in each bedroom, hallways and living area. Carbon monoxide detection is recommended in all homes, especially if equipped with gas fired appliances. Some detectors may not be available for inspection due to limiting circumstances (ex. wired with alarm company).
- (2) There are no GFCI protected circuits in required area's. This is not considered to be today's standard. I recommend having a qualified electrician make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



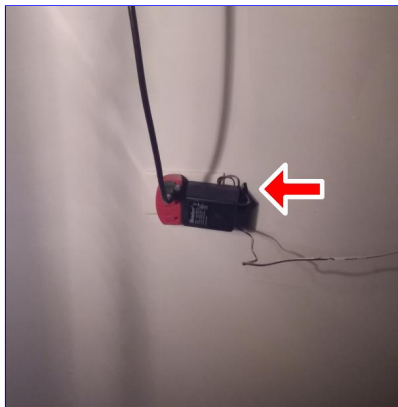
B. Item 1 (Picture) Exterior outlets



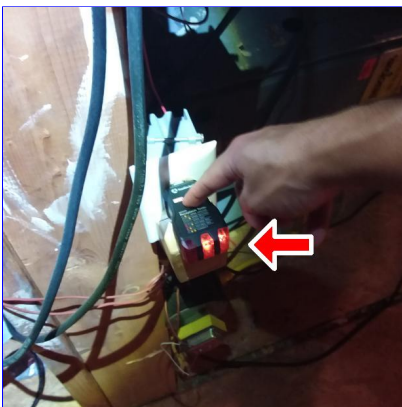
B. Item 2 (Picture) Under kitchen sink



B. Item 3 (Picture) Laundry room outlets



B. Item 4 (Picture) Garage ceiling



B. Item 5 (Picture) Attic

(3) Outlet is loose and improperly sealed. I recommend a qualified professional to further evaluate and correct.

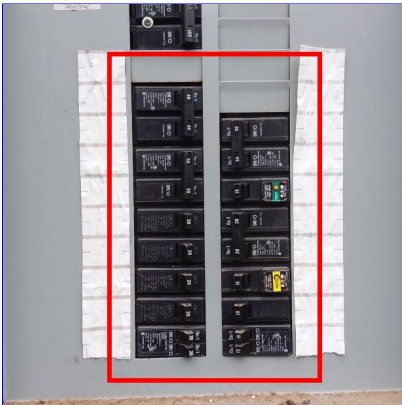
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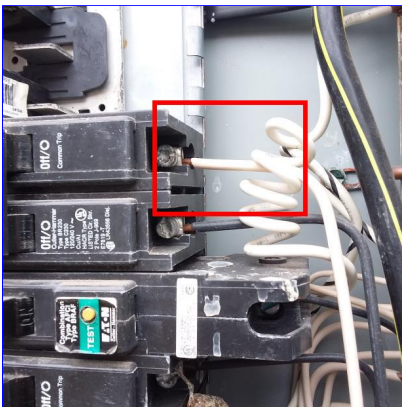
B. Item 6 (Picture) Exterior next to condenser

(4) Arc fault breakers are not in required areas of home at electrical panel. This is not considered today's standard. I recommend having a qualified electrician inspect and make repairs as needed.



B. Item 7 (Picture) Main panel

(5) Problem(s) discovered with Branch Circuits such as wire not labeled or identified and any other problems that an electrical contractor may discover while performing repairs need correcting. I recommend a licensed electrical contractor inspect further and correct as needed.



B. Item 8 (Picture) Main panel

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

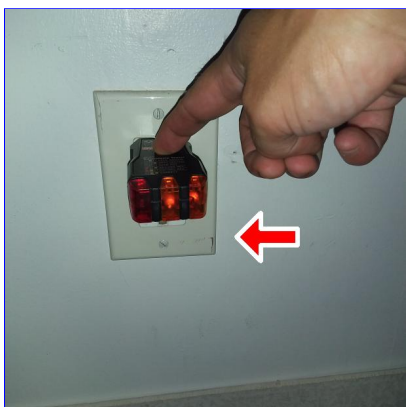
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(6) Exterior light is crooked. This is for your information.



B. Item 9 (Picture) Garage light

(7) Deficient GFCI outlet present, it does not reset, I recommend a qualified professional to further evaluate and repair.



B. Item 10 (Picture) Garage

(8) The light fixture is missing cover at the in areas. This is a safety issue that needs to be corrected. A qualified licensed electrical contractor should correct as needed.



B. Item 11 (Picture) Attic

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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(9) The light fixture does not work (try bulb first). Electrical issues are considered a hazard until repaired. A qualified licensed electrical contractor should perform repairs that involve wiring.



B. Item 12 (Picture) Kitchen

C. Other

[Comments:](#)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



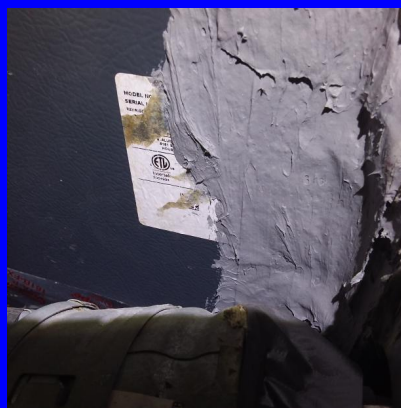
Exterior HVAC condenser located on the right side of the home



2006 Rheem condenser



Gas furnace/air handler located in attic



Unable to read label

A. Heating Equipment

Type of Systems: Air conditioner unit
Energy Sources: Gas
Heat System Brand: Rheem
Number of Heat Systems (excluding wood): One
Comments:

- (1) It is recommend to have heating systems serviced annually.
- (2) Furnace flue appears to be loose and improperly sealed. I recommend a qualified HVAC professional to further evaluate.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1 (Picture) Furnace flue in attic

(3) The heat exchangers on a gas furnace can not be completely examined with out removal of front cover. I recommend having heating system serviced by HVAC professional before use and annually.

(4) Unable to test. The gas is shut off to the home.

B. Cooling Equipment

Type of Systems: Air conditioner unit

Central Air Manufacturer: Rheem

Comments:

(1) Thermostat before and after HVAC inspection.



B. Item 1 (Picture) Before



B. Item 2 (Picture) After

(2) Filter is located at the return register. This is for your information.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 3 (Picture) Outside master B. Item 4 (Picture) Master

(3) The condenser outside (AC unit) is old and deteriorated; may last a few years more, but maybe not. I have seen units fail shortly after a home inspection during the seasonal change from mild to hot weather. I cannot determine how long your AC will last before a replacement is necessary. I recommend a qualified HVAC professional to further evaluate.



B. Item 5 (Picture) 2006 unit

(4) The condenser is missing foam sleeve in area(s). A replacement is needed. A licensed HVAC contractor should service or repair unit.



B. Item 6 (Picture) Suction line at condenser

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

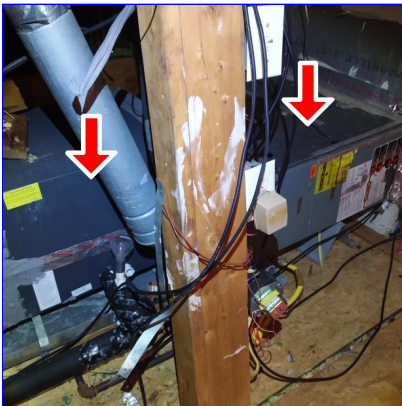
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(5) HVAC condenser unit manufacturer plate is missing/faded. Unable to determine the nature of the unit at the time of inspection. This is for your information.



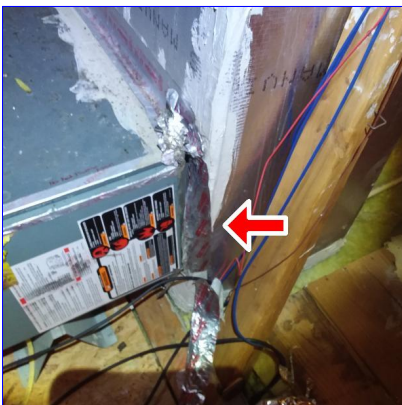
B. Item 7 (Picture) Attic unit

(6) I am unable to determine the age of the air handler and the furnace, both in the attic. I recommend a qualified HVAC professional to further evaluate.



B. Item 8 (Picture) Attic

(7) Attic unit is improperly sealed. It is leaking air into the attic; I recommend a qualified HVAC professional to further evaluate.



B. Item 9 (Picture) Attic HVAC

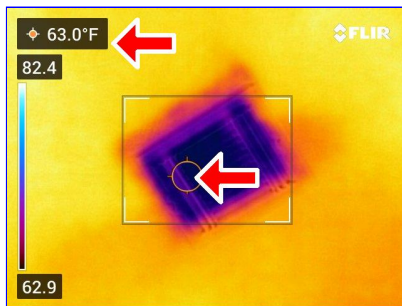
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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(8) The ambient air test was performed by using infrared thermal equipment at the supply vents of Air conditioner to determine if the difference in temperatures of the supply and return air are between 15 degrees and 22 degrees which indicates that the unit is cooling as intended. The supply air temperature on your system read 63 degrees and the return air temperature was 76 degrees. This indicates that the unit is **not** cooling properly and a licensed Heat/Air contractor should inspect for cause or problem.



B. Item 10 (Picture) Return



B. Item 11 (Picture) Supply

C. Duct Systems, Chases, and Vents

Ductwork: Insulated
Filter Type: Disposable
Filter Size: N/A

Comments:

- (1) I recommend changing all HVAC filters upon move in.
- (2) Duct piping appears to be in contact with one another in the attic space. Condensation could occur if not corrected. I recommend having a qualified HVAC contractor further evaluate and make repairs as needed.



C. Item 1 (Picture) Attic areas

D. Other

Comments:

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. PLUMBING SYSTEM

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



Water meter is located in front of the home to the right



Main water shut off is located in the garage



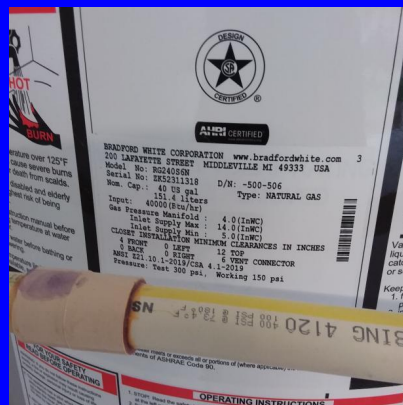
Water pressure is 55 psi



Gas meter is located on the left side of the home



Gas water heater located in the garage



2023 Bradford White water heater

A. Plumbing Supply Distribution Systems and Fixtures

Location of water meter: Front, Right Side

Location of main water supply valve: Garage

Static water pressure reading: 55 pounds/square inch

Water Source: Public

Plumbing Water Supply (into home): Copper

Plumbing Water Distribution (inside home): CPVC

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Water Filters: (We do not inspect filtration systems)

Type of gas distribution piping material: Black pipe

Comments:

(1) All supply lines were not visible at time of inspection process due to cabinetry or construction materials. This is for your information.

(2) Supply line is not properly insulated in areas. I recommend having a qualified plumber inspect and repair as needed.



A. Item 1 (Picture) Main water supply



A. Item 2 (Picture) Exterior faucets

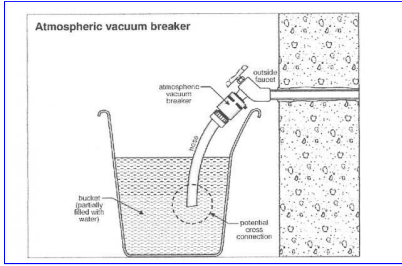


A. Item 3 (Picture) Water heater

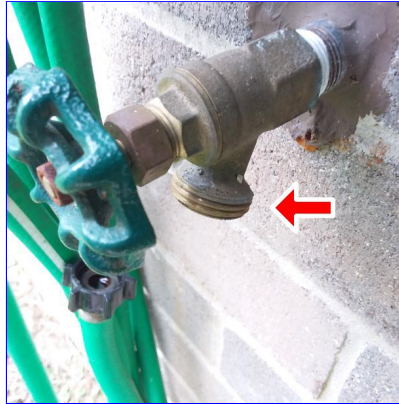
(3) There is no Anti Siphon device installed on exterior faucet(s). This is not considered to be today's standard. I recommend having a qualified person make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 4 (Picture)



A. Item 5 (Picture) Exterior hose bib

(4) Diverter is leaking while on shower mode. I recommend a qualified plumber to further evaluate.



A. Item 6 (Picture) Guest bathroom

(5) Damaged master shower pan. This is for your information.



A. Item 7 (Picture) Shower

B. Drains, Waste, and Vents

Washer Drain Size: 2" Diameter

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Plumbing Waste: PVC

Comments:

(1) All drainage piping was not visible at time of inspection process due to cabinetry or construction materials. This is for your information.

(2) The toilet is loose at floor at the bath. Repairs may involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.



B. Item 1 (Picture) Guest bathroom

(3) The bath sink stopper mechanism is not working properly. I recommend repairs as needed.



B. Item 2 (Picture) Master sink

C. Water Heating Equipment

Energy Sources: Gas (quick recovery)

Capacity (Water Heater): 40 Gallon (1-2 people)

Water Heater Manufacturer: Bradford-White

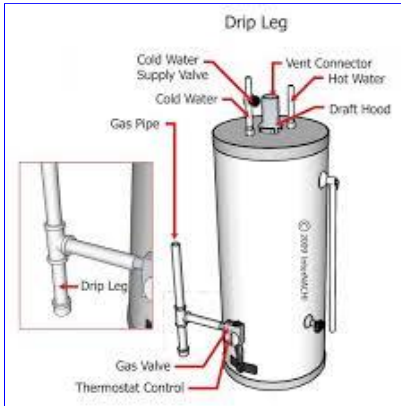
Water Heater Location: Garage

Comments:

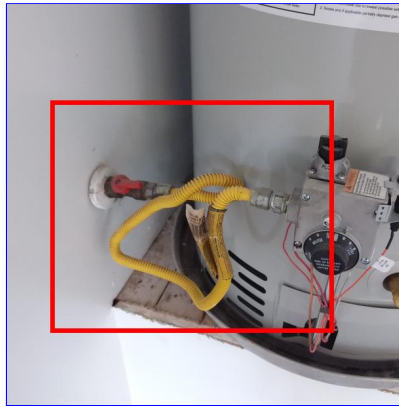
(1) The water heater is installed without the recommended sediment trap or "drip leg" that is designed to extend the life of the unit. This is not considered to be today's standard. I recommend having a qualified plumber make repairs as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1 (Picture)



C. Item 2 (Picture) Water heater gas line

(2) The existing piping for T&P valve on water heater is piped horizontally. This is a safety issue and should be repaired. A qualified licensed plumber should repair or correct as needed.



C. Item 3 (Picture) Water heater

(3) Unable to test. The gas is shut off to the home.

D. Hydro-Massage Therapy Equipment

[Comments:](#)

E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Left Side of Home

[Comments:](#)

(1) Unused gas lines should be properly capped off. I recommend correcting.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



E. Item 1 (Picture) Dryer line in laundry room

(2) Range does not appear to have an easily accessible gas shutoff valve. This is not considered today's standard. I recommend having a qualified plumber repair as needed.



E. Item 2 (Picture) Range

(3) Missing protective sleeve on gas line entering the home through brick siding. I recommend a qualified professional to further evaluate.



E. Item 3 (Picture) Gas meter

(4) Gas meter/appliances should be on 12 hours prior to inspection process. This is to ensure that units do

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

not have issues such as leaking or damaged areas. Furthermore some appliances may be function tested with limitations. The exception is a water heater. A water heater must be able to fully heat up to ensure TPR valve is functional and leaking is not present at set temperature. This is for your information.

(5) Gas was off to the home at the time of inspection. This is for your information.



E. Item 4 (Picture) Gas meter

F. Other

[Comments:](#)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. APPLIANCES

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Dishwasher



Range



Vent hood and microwave



Disposer



Garage door operator

A. Dishwashers

Dishwasher Brand: Kitchenaid

Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

The dishwasher is loose and needs securing to underside of countertop (using a proper length screw). I recommend repair as necessary.



A. Item 1 (Picture) Dishwasher

B. Food Waste Disposers

Disposer Brand: In Sink Erator

Comments:

The food disposer wiring is missing a wire connector (anti-strain device). I recommend repair as needed.



B. Item 1 (Picture) Disposer

C. Range Hood and Exhaust Systems

Exhaust/Range hood: General Electric

Comments:

The kitchen vent hood does not vent to the outdoors. This is not considered to be today's standard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1 (Picture) Range hood

D. Ranges, Cooktops and Ovens

Range/Oven: General Electric

Comments:

(1) Loose range panel cover, this is for your information.



D. Item 1 (Picture) Range

(2) Unable to test. Gas is shut off to the home.

E. Microwave Ovens

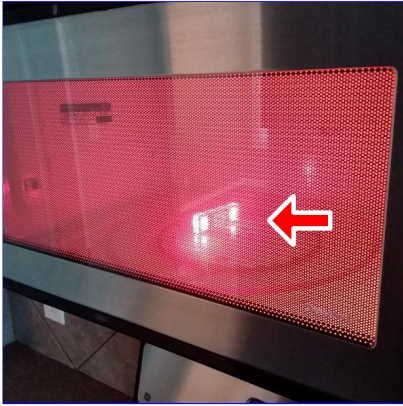
Built in Microwave: General Electric

Comments:

Tested and working at the time of inspection. However, there is a small area showing deterioration inside unit. I recommend a qualified professional to further evaluate.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



E. Item 1 (Picture) Radiation leak tester inside microwave indicates the unit is working



E. Item 2 (Picture) Deterioration

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Tested and working properly at the time of inspection.

G. Garage Door Operator(s)

Comments:

(1) The sensors are in place for garage door(s) and will reverse the door.

(2) The automatic opener for at the garage has electronic sensors located higher than six inches off floor which may not be installed according to manufacturers specification. This is considered unsafe and needs correcting. A qualified person should repair or replace as needed.



G. Item 1 (Picture) Both sensors

(3) Garahe door doesn't close all the way. I recommend a qualified professional to further evaluate.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 2 (Picture) Garage door

H. Dryer Exhaust Systems

Comments:

The dryer vent piping is long and vertical which can trap lint at elbow. Vent pipes should be cleaned regularly if they are longer than normal (10 feet or more) or vented vertically. I recommend cleaning and/or repair as needed.



H. Item 1 (Picture) Laundry room

I. Other

Comments:

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

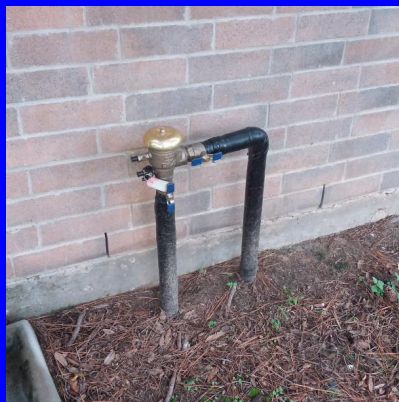
I NI NP D

VI. OPTIONAL SYSTEMS

The home inspector shall observe and operate the basic functions of the following optional systems (unless listed as not inspected): Sprinkler systems will be run through each zone in test mode (we do not test timers), out buildings are inspected for structural and safety hazards, private wells are checked for proper pressure and flow, permanently installed outdoor cooking equipment is tested to operate under normal use settings, Sewer systems are put under simulated living conditions to confirm proper drainage, pools and hot tubs are tested using regular controls, heaters are only tested for a short while (we do not run heaters to full temp), pool inspection is limited to visual deficiencies. The home inspector is not required to observe: Clocks, timers, for calibration or automatic operation.



Sprinkler system control panel is located in the garage

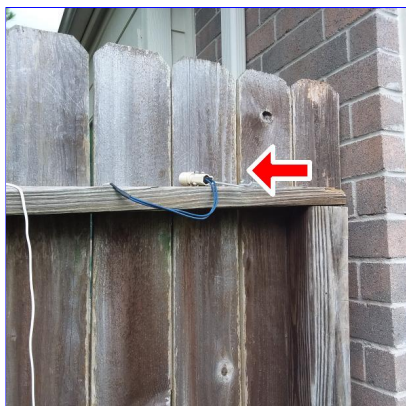


Sprinkler system backflow prevention device is located on the right side of the home

A. Landscape Irrigation (Sprinkler) Systems

Comments:

(1) Loose bypass rain sensor. This is for your information.



A. Item 1 (Picture) Rear

(2) Tested and working at the time of inspection however some sprinkler heads spray patterns will need adjustment or replacement. There are 7 zones all in the front and right side; there are no sprinklers in the back.

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

(1) Our company does not inspect pool for leaks or seepage. Only components readily accessible are inspected.

(2) Any area with a pool or spa should be equipped with safety features: Fencing (minimum 4ft), Self

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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closing/latching/lockable gates (latch 54 inches), Door alarms on any doors leading to pool area and Splash alarms. I recommend consulting your insurance provider and their recommendation and requirements.

C. Outbuildings

[Comments:](#)

D. Private Water Wells (A coliform analysis is recommended)

[Comments:](#)

We only check wells for functionality and water pressure, water quality is not part of the scope of this inspection.

E. Private Sewage Disposal System

[Comments:](#)

F. Outdoor Cooking Equipment

[Comments:](#)

G. Other

[Comments:](#)

H. Other Built-in Appliances

[Comments:](#)

Noted optional systems of the home that were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.