



PREMIER HOME INSPECTIONS

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<https://www.inspectinghouston.com>



## HOME INSPECTION REPORT

104 April Point Dr N  
Montgomery, TX 77356

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Inspector

Larry Waidhofer

Professional Real Estate Inspector TREC #20808

(936) 523-0848

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# PROPERTY INSPECTION REPORT FORM

Steven Lewis <i>Name of Client</i>	02/20/2025 9:00 am <i>Date of Inspection</i>
104 April Point Dr N, Montgomery, TX 77356 <i>Address of Inspected Property</i>	
Larry Waidhofer <i>Name of Inspector</i>	Professional Real Estate Inspector TREC #20808 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

*It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

*In Attendance:* None

*Occupancy:* Occupied, Furnished

*Weather Conditions:* Clear, Recent Rain, Windy

*Temperature (approximate):* 30 Fahrenheit (F)

*Type of Building:* Duplex

*Older Home :*

The home was older and as is typical of most older homes would not meet current/modern building standards. Some items in this report may be a modern building standard that may not have been required when the home was originally built, and homes are generally not required to be updated to comply with newly enacted safety standards.

*Report Photos:*

The photographs included in this report and referenced by some items in the report are only intended to provide a general representation of the condition discussed in the referencing paragraph. The referenced photographs do not necessarily represent all locations where described conditions exist and such should not be assumed. Photographs are taken at the discretion of the inspector and are not provided for all irregularities observed during the inspection or included in this report.

*Access Limited - Storage/Personal Items:*

The access to one or more areas was limited (storage/personal items blocking access). Any latent deficiencies are not covered under the scope of this inspection.

*Multiple Locations*

*WDI:*

Evidence of previous wood destroying insect (WDI) activity was observed. The extent of damage could not be determined. If concerns exist as to the nature of this issue contact a specialist for further evaluation.

*Further Evaluation Recommendations:*

Comments in this report may recommend further evaluation of an item/system/component. Comments in this report that recommend further evaluation of an item/system/component should be followed up on as additional deficiencies may be present but not noted in this report.

*Lead Based Paint:*

Identifying or testing for lead based paint is not covered under the scope of this home inspection.

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I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

**A. Foundations**

*Type of Foundation(s):* Slab on Grade

*Comments:*

*Performing as Intended:*

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there are elevation variations that indicate excessive movement of the foundation. At the time of this inspection, the measured areas did not indicate any variations that, in this inspectors OPINION, indicate any need for invasive repairs to the foundation.



*Limitations:*

Home Inspectors are not structural engineers and are not acting as a structural engineer. All statements relating to structural movement are based on the professional opinion of this inspector.

*Parging:*

Parging (covering to a part of a building with plaster or mortar) was observed at the visible sections of the slab which can conceal potential defects. Any latent deficiencies are not covered under the scope of this inspection.

### 1: Minor Spalling

[Maintenance/Note](#)

Minor surface deterioration (known as spalling) was observed. This condition is common in many homes and does not usually represent a structural concern. In an effort to prevent long term deterioration, it would be wise to consider parging/repairing the deteriorated areas.

Recommendation: Contact a handyman or DIY project

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**B. Grading and Drainage**

*Comments:*

**1: Soil - Inadequate Clearance**

**🔴Recommendation**

There was soil located too close to the siding at one or more locations. This condition can provide an entrance for moisture and/or wood destroying insects. Ideally, at least 4 inches of clearance should be maintained between the soil level and the base of the siding.

Recommendation: Contact a qualified professional.



**2: Grading - Improper**

**🔴Recommendation**

The grading was inadequate at one or more locations. Ideally, The grading should slope away from the house 1 inch per 1 foot that you move away from the house for the first 10 feet (note: this is not always possible). Re-grading so water flows away from home or installing an underground drainage system if standing water become an issue is recommended.

Recommendation: Contact a qualified professional.

**3: Gutters - Splash Blocks Missing**

**🔵Maintenance/Note**

Multiple Locations

Splash blocks are recommended beneath the gutter downspouts. Splash blocks help to direct rain water from the gutters away from the foundation and prevent soil erosion.

Recommendation: Contact a qualified handyman.

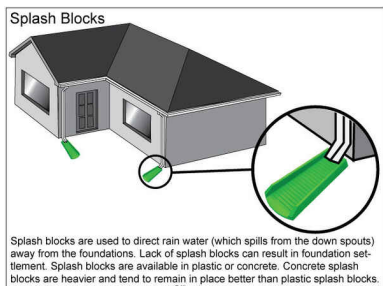
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#### 4: Gutters - Poor Slope

🔴 Recommendation

The gutters at one or more locations were incorrectly sloped. This condition can result in improper drainage, spillage and water to pool in the gutters, which can encourage corrosion and shorten the lifespan of the gutters.



#### 5: Gutters - Damaged

🔴 Recommendation

Damaged gutters were observed.

Recommendation: Contact a qualified professional.

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#### C. Roof Covering Materials

*Types of Roof Covering:* Asphalt

*Viewed From:* Ground

*Comments:*



*Roof - Limited :*

The view/access of the roof was limited. Some areas of the roof were not visible and could not be inspected.

#### 1: Satellite Dish

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[Maintenance/Note](#)

A satellite dish was mounted directly to the roof. If the dish is no longer used removal from the roof and proper repairs of the mounting bracket holes by a qualified roofer is recommended to prevent damage/leaks.

Recommendation: Contact a qualified roofing professional.

**D. Roof Structures and Attics**

*Viewed From: Attic*

*Approximate Average Depth of Insulation: 6-9 inches*

*Type of Insulation: Batt/Roll Fiberglass*

*Comments:*

*Attic Access - Limited:*

The attic access was limited. The inspector viewed the attic structure and systems from all accessible locations, however some areas/items/systems were not visible to inspect and are not covered under the scope of this inspection.

**1: Water Staining**

[Maintenance/Note](#)

There was visible evidence of previous water/moisture contact in the attic at one or more locations. No active leaks were observed; however, these areas should be monitored to determine if leaks continue to contribute to their presence. If so, corrective actions should be taken.

Recommendation: Recommend monitoring.

**2: Prior Rodent Infestation**

[Maintenance/Note](#)

Evidence of a previous rodent infestation was observed in the attic. Setting traps and blocking any openings that would allow entry is recommended.

**3: Walkway/Platform - Inadequate**

[Recommendation](#)

The walkway/access to the mechanical units (HVAC/water heater) in the attic was inadequate. This makes inspection, maintenance and repair difficult/hazardous. The attic opening should be a minimum of 30 inches x 22 inches. The mechanical unit should be no more than 20 feet from the attic entrance with a 24 inch wide walkway to the unit and a 30 inch x 30 inch platform along all sides of the unit where access is required.

Recommendation: Contact a qualified professional.

**4: Insulation - Missing**

[Recommendation](#)

The insulation was missing/displaced/inadequate at multiple areas. This condition can result in increased heating and cooling costs and reduced comfort levels in the house. The insulation should be properly distributed to cover all portions of the attic located above the living space.

Recommendation: Contact a qualified insulation contractor.

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**5: Ventilation - Inadequate**

**🔴Recommendation**

The level of ventilation may need to be improved. It is generally recommended that one (1) square foot of free vent area be provided for every one hundred and fifty (150) square feet of ceiling area. Proper ventilation will help to keep the house cooler during warm weather and extend the life of roofing materials.

Recommendation: Contact a qualified professional.

**6: Mildew Type Growth**

**🔴Recommendation**

An unidentified mildew type growth was observed. This should be further evaluated to determine if a moisture source continues to contribute to its presence. If so, corrective actions should be taken to stop the moisture source. If there are concerns about the nature of this growth, an expert in microbial growth should be retained to evaluate it.

Recommendation: Contact a qualified professional.

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**E. Walls (Interior and Exterior)**

*Comments:*



*Previous Repairs:*

There was evidence of previous repair noted at various locations on the interior walls. The reason for these repairs were not determined.

Multiple Locations

*Access Limited - Storage/Personal Items:*

Due to storage/personal items and/or furniture multiple areas were not visible/accessible to inspect. Any latent defects are not covered under the scope of this inspection.

Multiple Locations

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*Recent Paint/Texture:*

Recent painting/texturing was observed at the interior walls. This can conceal deficiencies such as water contact, damage, wood destroying insect activity, etc. Any latent deficiencies not visible at the time of inspection are not covered under the scope of this inspection.

Multiple Locations

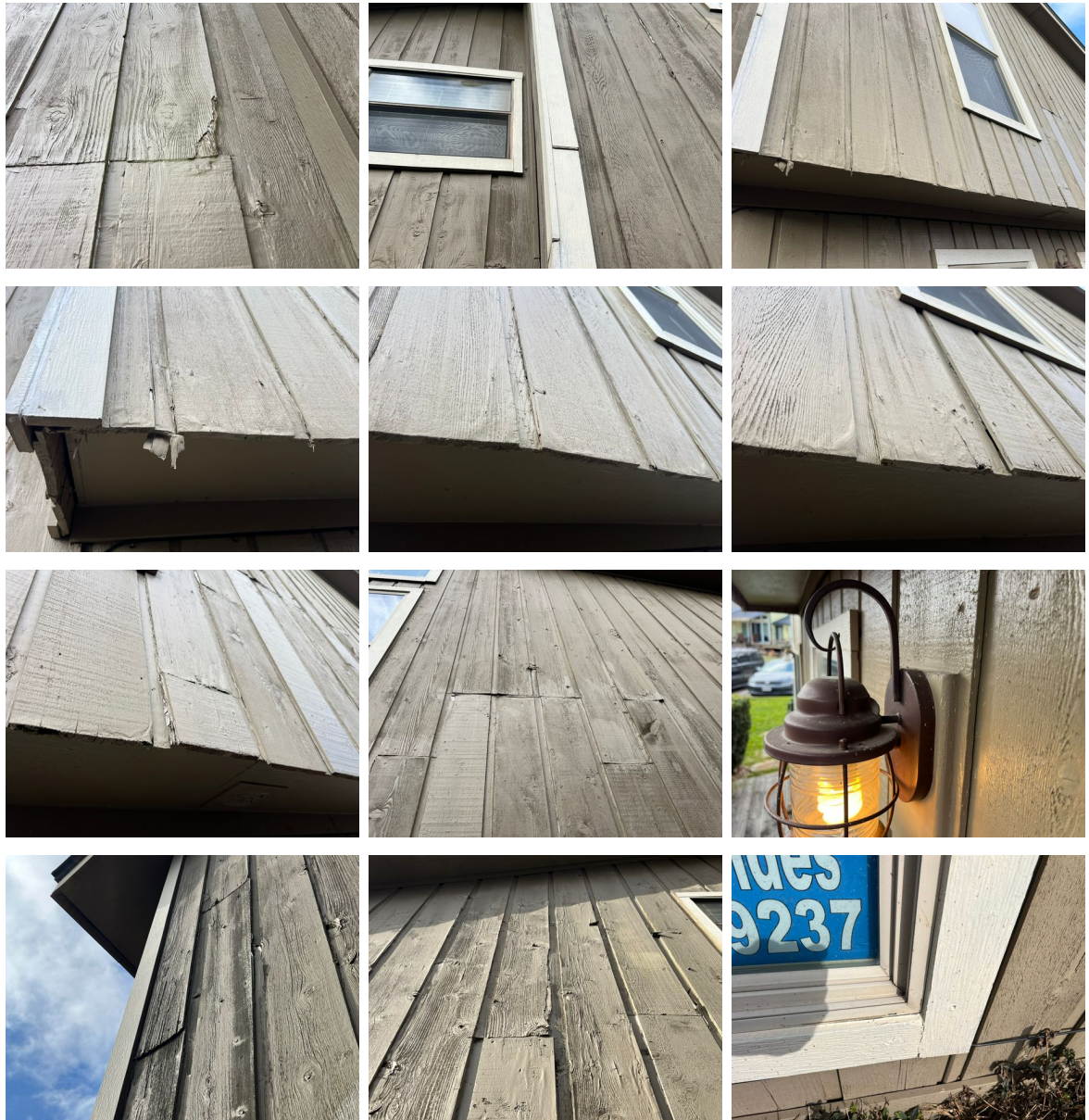
**1: Siding - Repair Recommended**

🔴 Recommendation

Multiple Locations

Maintenance/repairs to the siding/trim are recommended: damaged, deteriorated or loose sections should be repaired/secured, all flashings and penetrations should be evaluated and sealed/repaired as needed.

Recommendation: Contact a qualified siding specialist.



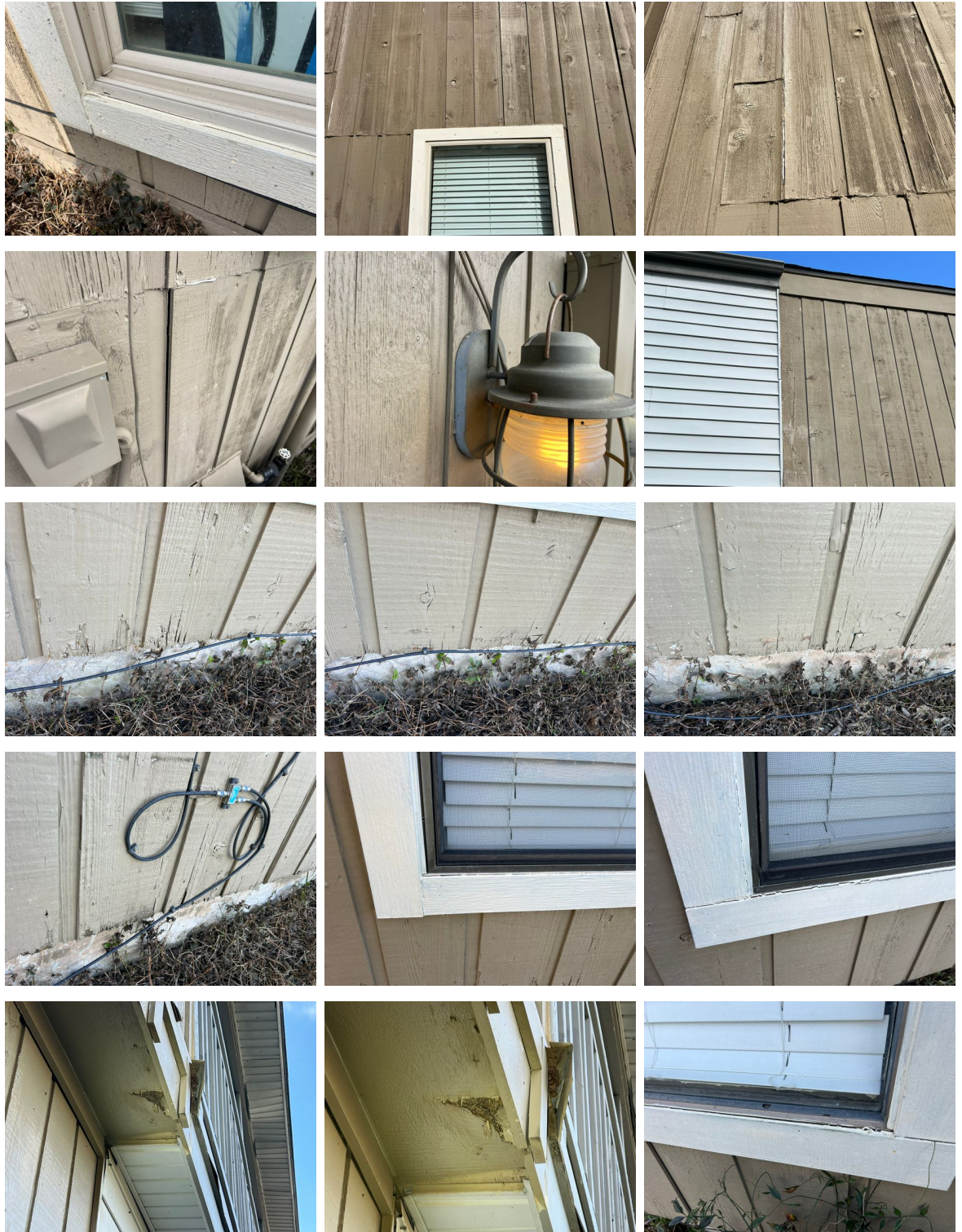
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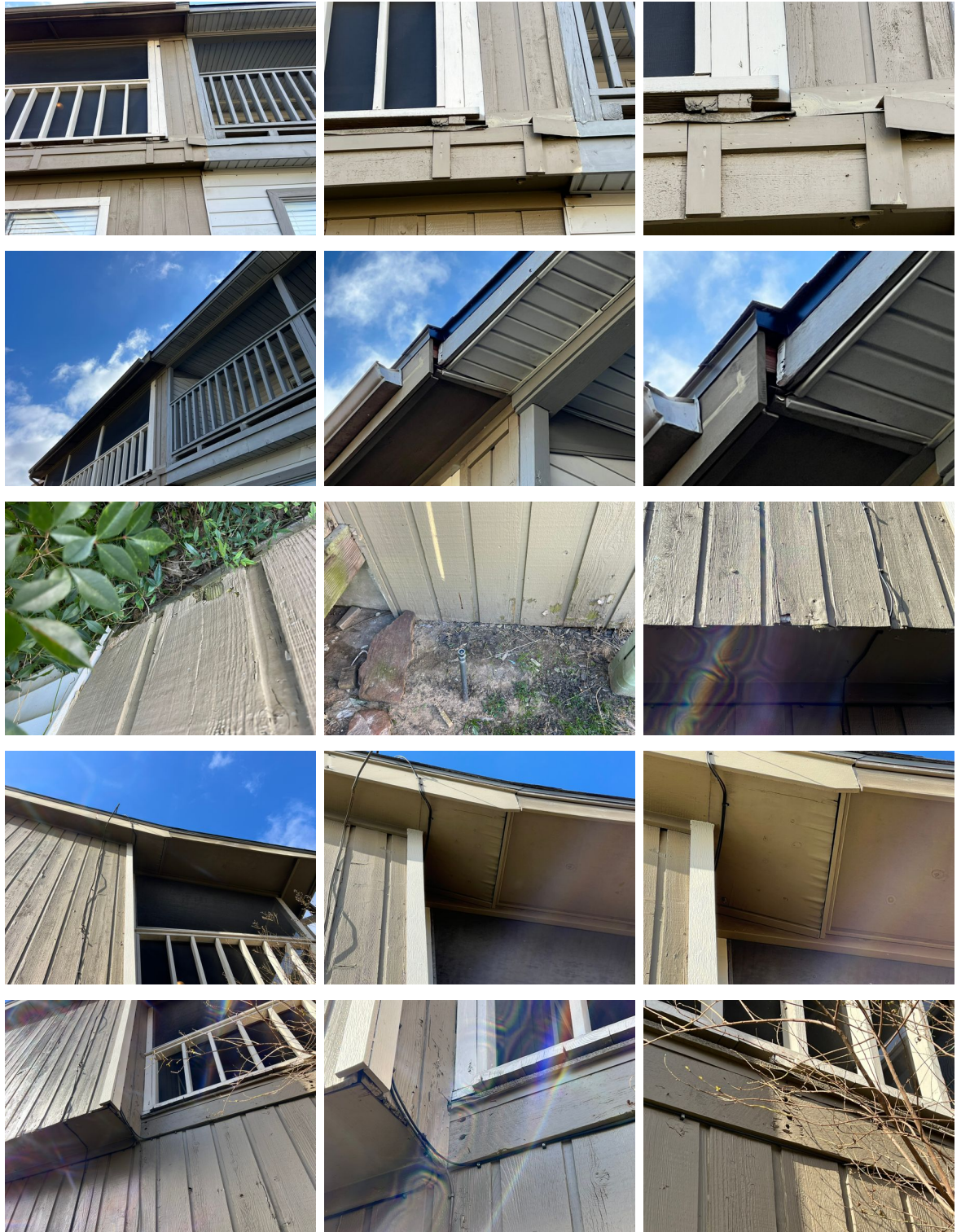
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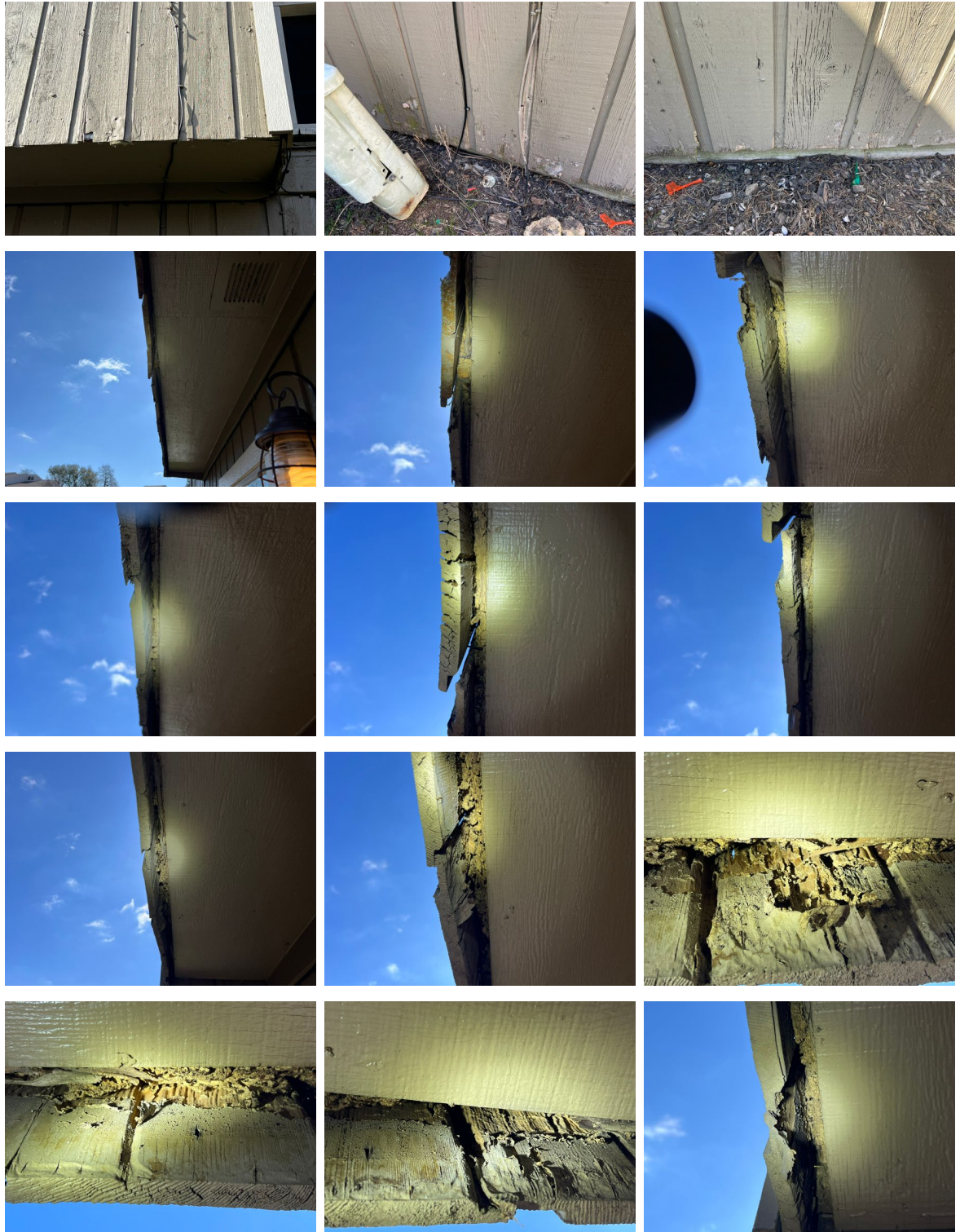
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I NI NP D



**2: Drywall - Cracks**

🔧 Maintenance/Note

Multiple Locations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

There were cracks noted at the interior walls.

Recommendation: Contact a qualified drywall contractor.



### 3: Drywall - Damaged

🔴Recommendation

Upstairs Bath , Primary Bath , Exterior Closet ,  
Damaged drywall was observed.

Recommendation: Contact a qualified drywall contractor.



### 4: Water Staining/Damage

🔴Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Upstairs Bath, Exterior Closet, Downstairs Bath Closet, Primary Bath, Primary Bath Closet, Downstairs Rear Right Bedroom, Primary Bedroom ,

Water staining/damage was observed. No active moisture was measured at the time of inspection, however monitoring is recommended to determine if a moisture source contributes to its presence. If further evaluation is desired contact a qualified contractor.

Recommendation: Contact a qualified professional.



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I NI NP D



**5: Mildew Type Growth**

🔴 Recommendation

Exterior Closet ,

An unidentified mildew type growth was observed. This should be further evaluated to determine if a moisture source continues to contribute to its presence. If so, corrective actions should be taken to stop the moisture source. If there are concerns about the nature of this growth, an expert in microbial growth should be retained to evaluate it.

Recommendation: Contact a qualified professional.



**6: Damage**

🔴 Recommendation

I=Inspected

NI=Not Inspected

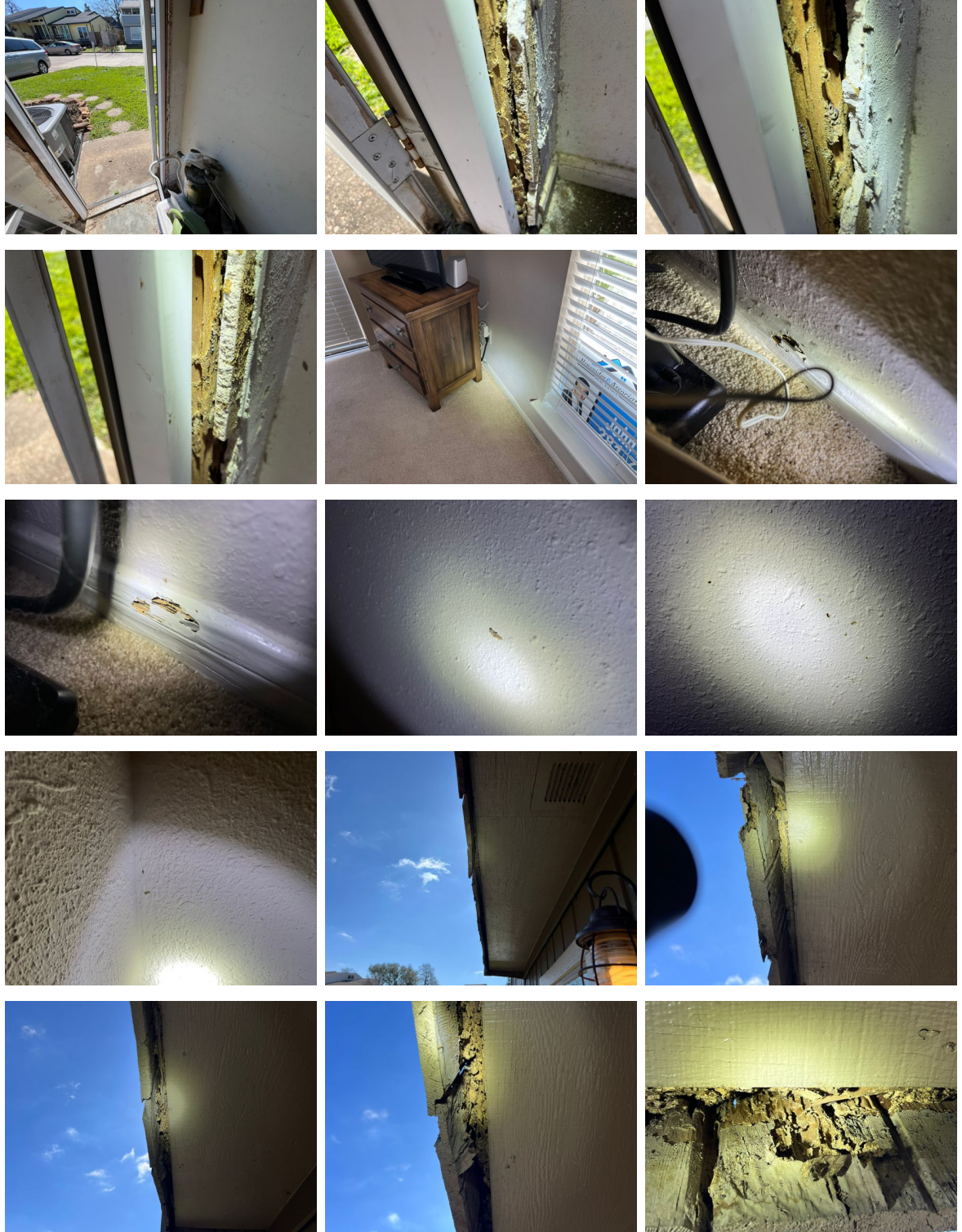
NP=Not Present

D=Deficient

I NI NP D

Exterior Closet , Primary Bedroom , Right Exterior ,  
Damage to the wall was observed. Further evaluation by a qualified contractor is recommended.

Recommendation: Contact a qualified professional.



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I NI NP D

**7: Baseboard - Missing**

[Maintenance/Note](#)

Primary Bath Closet , Upstairs Bath ,  
Missing baseboard was observed.

Recommendation: Contact a qualified professional.



**F. Ceilings and Floors**

*Comments:*

*Recent Paint/Texture:*

Recent painting/texturing was observed. This can conceal deficiencies such as water contact, damage, wood destroying insect activity, etc. Any latent deficiencies not visible at the time of inspection are not covered under the scope of this inspection.

Multiple Locations

*Access Limited - Storage/Personal Items:*

Due to storage/personal items and/or furniture multiple areas were not visible/accessible to inspect. Any latent defects are not covered under the scope of this inspection.

Multiple Locations

*Previous Repairs:*

There was evidence of previous repair noted at various locations on the ceilings. The reason for these repairs were not determined.

Multiple Locations

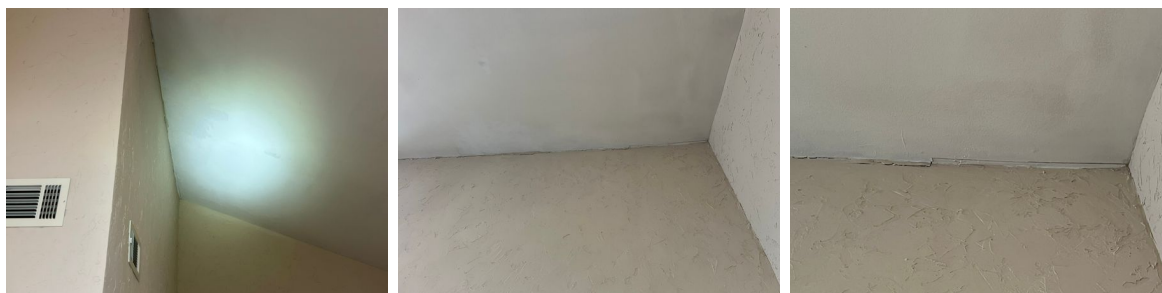
**1: Drywall - Cracks**

[Maintenance/Note](#)

Multiple Locations

Cracks in the drywall were observed.

Recommendation: Contact a qualified drywall contractor.



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I	NI	NP	D
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**2: Water Staining/Damage**

**Recommendation**

Downstairs Rear Right Bedroom , Exterior Closet , Upstairs Bath , Living Room ,  
Water staining/damage was observed. This area should be further evaluated to determine if a moisture source contributes to its presence, if so repairs should be undertaken.

Recommendation: Contact a qualified professional.



**3: Flooring - Damaged**

**Recommendation**

Downstairs Bath Closet ,  
Damaged flooring was observed.

Recommendation: Contact a qualified professional.

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I	NI	NP	D
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**G. Doors (Interior and Exterior)**

*Comments:*

**1: Did Not Latch**

🟡 **Recommendation**

Right Exterior, Primary Bedroom Exterior ,  
The door did not latch/close properly.

Recommendation: Contact a qualified door repair/installation contractor.

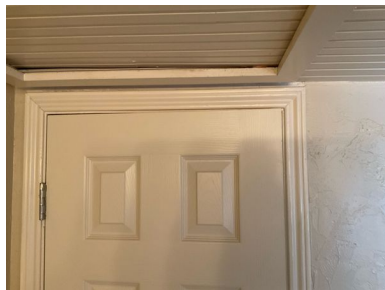


**2: Sticks In Frame**

🟡 **Recommendation**

Upstairs Bath ,  
The door binds/sticks in the frame.

Recommendation: Contact a qualified door repair/installation contractor.



**3: Deterioration**

🟡 **Recommendation**

Exterior Closet ,  
There was deterioration/damage observed at the exterior door and/or door frame.

I=Inspected

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I NI NP D

Recommendation: Contact a qualified door repair/installation contractor.



**4: Door Stop - Missing**

[Maintenance/Note](#)

Multiple Locations

Replacing all missing/damaged door stops is recommended to prevent damage to the wall.

Recommendation: Contact a handyman or DIY project

**5: Sliding Glass Door - Older**

[Maintenance/Note](#)

The sliding glass door was older. While replacement does not represent a high priority, it may be a logical long term goal. The function and efficiency of a new door would be a substantial improvement.

**6: Sliding Glass Door - Screen Missing**

[Maintenance/Note](#)

There was no screen present at the sliding glass door.

**H. Windows**

*Comments:*

**1: Screen - Damaged/Missing**

[Maintenance/Note](#)

Multiple Locations

The window screen was damaged/missing.

Recommendation: Contact a qualified window repair/installation contractor.

**2: Balance Spring - Damaged**

[Recommendation](#)

Front entry,

A broken/loose window balance spring was observed. Each window requires two balance springs to support its weight; these springs also help keep the window open. Replacement may become necessary for proper operation of the window.

Recommendation: Contact a qualified window repair/installation contractor.

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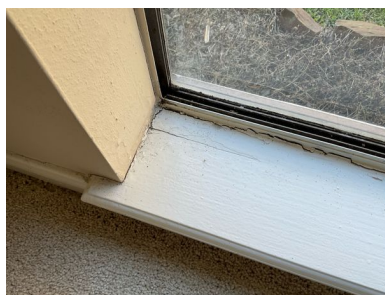
### 3: Water Staining

 Maintenance/Note

Multiple Locations

Water contact/damage was observed at the perimeter of the window. Sealing at the exterior and monitoring is recommend.

Recommendation: Contact a qualified handyman.



### 4: Hardware - Damaged

 Maintenance/Note

Upstairs Bath ,

Damaged hardware was observed.

Recommendation: Contact a qualified window repair/installation contractor.



### 5: Fall Protection - Missing

 Recommendation

Living Room ,

Fall protection was not provided for the window. Fall protection is now required (may not have been required when this house was originally built and homes are not required to be updated to meet newer building standards) at windows that are less than 24 inches from the interior floor and greater than 72 inches from the

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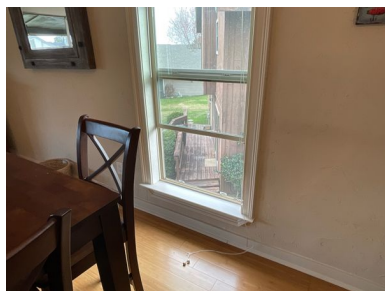
NP=Not Present

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I NI NP D

exterior grade. The fall protection should limit the opening of a window that meets these requirements so that a object 4 inches or larger cannot pass through the opening.

Recommendation: Contact a qualified window repair/installation contractor.



**6: Non-Tempered**

Recommendation

The window(s) at one or more locations did not appear to have tempered glass where recommended by modern building/safety standards. Tempered glass may not have been required at these windows when the home was originally built, and homes are not required to be updated to comply with newly enacted safety standards. However, updating the windows would improve safety.

Recommendation: Contact a qualified window repair/installation contractor.

**I. Stairways (Interior and Exterior)**

Comments:

**1: Railing - Not To Modern Standards**

Recommendation

Stairway ,

To comply with modern standards the railing must:

- provide a continuous, graspable handrail;
- measure 1 1/4 inches to 2 inches across (if circular);
- be 34 inches to 38 inches above the nosing of stair treads;
- have baluster/barrier spacing that will not allow the passage of a 4 3/8-inch sphere;
- be continuous for the full length of the flight of stairs;
- return to the wall at the top and bottom or terminate at a newel post;
- be a minimum of 1 1/2 inches from the wall;
- have a graspable profile;
- and not permit the passage of a 6-inch sphere at the triangle formed by the tread, riser and bottom rail;

The handrail assembly failed to comply with one or more of these standards.

Recommendation: Contact a qualified professional.

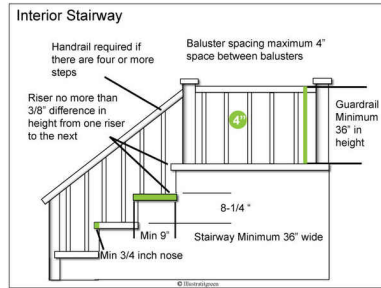
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**J. Fireplaces and Chimneys**

Comments:

**K. Porches, Balconies, Decks, and Carports**

Comments:

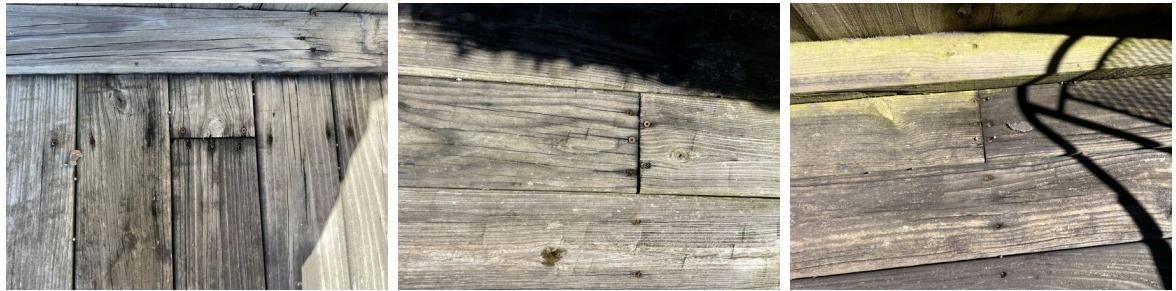
**1: Deck - Minor wear**

Maintenance/Note

Exterior ,

Minor wear/deterioration/damage was observed at the deck boards.

Recommendation: Contact a qualified professional.



**2: Deck - improper support**

Recommendation

Exterior ,

The deck was improperly supported at multiple areas.

Recommendation: Contact a qualified professional.



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I	NI	NP	D
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- L. Other**

*Comments:*

**1: Fence - Gate Latch**

● Recommendation

Exterior ,

The fence gate did not latch/close properly.

Recommendation: Contact a qualified professional.

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## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

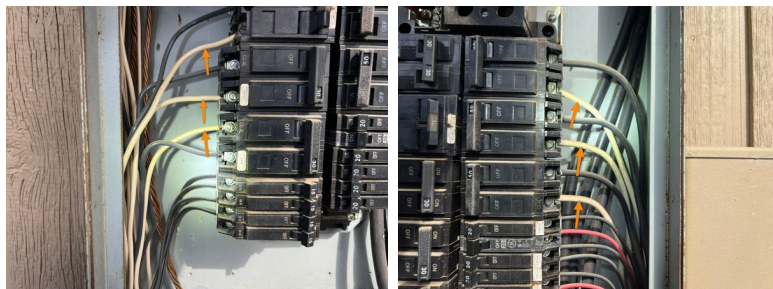
*Comments:*

**1: Wiring - Improperly Identified**

🔴 Recommendation

Any wires with white sheathing that are used as hot wires (connected to breakers) should have black tape or markings on them to indicate to service personnel that they are used as hot wires and not as neutrals.

Recommendation: Contact a qualified electrical contractor.



**2: Improperly Labeled**

🔴 Recommendation

The Circuit Directory label in the electrical panel identifying individual electrical circuits was not properly/clearly labeled. The panel should contain a clearly-marked label identifying individual circuits so that in an emergency, individual circuits can be quickly shut off.

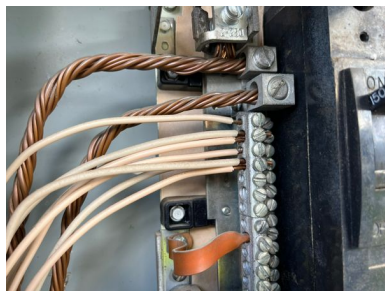
Recommendation: Contact a qualified electrical contractor.

**3: Neutral - Double Tap**

🔴 Recommendation

There was double lugging (multiple wires under one screw) present on one or more neutral lugs in the electrical panel. One neutral wire per lug is standard.

Recommendation: Contact a qualified electrical contractor.



**4: Fastener - Missing**

🔴 Recommendation

The electrical panel dead front cover was missing fasteners/screws: replacing with appropriate screws is recommended.

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Recommendation: Contact a qualified electrical contractor.

**5: Panel - Loose**

🔴 Recommendation

The electrical panel was not securely mounted to the wall.

Recommendation: Contact a qualified electrical contractor.

**6: Rust/Corrosion**

🔵 Maintenance/Note

The electrical panel had rust/corrosion present, suggesting the presence of moisture. This should be monitored. If rusting continues, or if moisture is present, an electrician should be consulted.

Recommendation: Recommend monitoring.

**7: Breaker - Mismatched**

🔵 Maintenance/Note

There were breakers installed in the panel that were not of the same brand/type as the panel. This goes against most manufactures recommendations.

Recommendation: Contact a qualified electrical contractor.

**8: Panel - Inadequate Clearance**

🔴 Recommendation

The electrical panel did not have proper clearances. The clear working space required in front of a panel is 30 inches wide by 36 deep with a minimum headroom clearance of 6 feet-6 inches.

Recommendation: Contact a qualified professional.



**9: AFCI - Missing**

🔵 Maintenance/Note

AFCI's (Arc Fault Circuit Interrupter Devices) are now required in family / living rooms, dining rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. These are required to protect the property from a fire caused by sparks. These are a newer building requirement. They were first required in 1999 for bedrooms and then for the rooms listed above beginning in September 2008.

Recommendation: Contact a qualified electrical contractor.

**10: Panel - Debris**

🔵 Maintenance/Note

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Debris should be removed from the interior of the panel.

Recommendation: Contact a qualified electrical contractor.

**11: Ground - More than three under same Lug**

 Maintenance/Note

More than three ground wires were installed under the same lug. Most manufactures installation instructions state that no more than three ground wires should be installed under a single lug.

Recommendation: Contact a qualified electrical contractor.

**12: Manufactures Label - Missing**

 Maintenance/Note

The manufacturers label was missing.

**13: Surge Protector - Missing**

 Maintenance/Note

Installation of a whole home surge protection device is recommended.

Recommendation: Contact a qualified professional.

**14: Grounding - Missing**

 Safety Hazard

There was no grounding system/rod present/visible for the electrical system. Further evaluation by a qualified contractor to ensure the presence of proper grounding or install as needed is recommended.

Recommendation: Contact a qualified professional.

**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:*

*Test Smoke Detectors:*

The smoke /CO detectors should be tested before occupying the property. Regularly testing smoke detectors once the property is occupied is recommended.

Multiple Locations

*Outlets - Not Accessible:*

Multiple outlets were not accessible to test (blocked by furniture / storage items).

Multiple Locations

**1: Outlet - GFCI Missing**

 Recommendation

Kitchen , Laundry Room , Exterior ,

GFCI (ground fault circuit interrupter) protection was not present in all recommended locations.

Recommendation: Contact a qualified electrical contractor.

**2: Smoke/CO detectors - not installed per current standards**

 Safety Hazard

Multiple Locations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Smoke Detectors are required to be installed in the following locations per current safety standards:

- 1 Per Bedroom
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

CO Detectors are required to be installed in the following locations per current safety standards:

- 1 Within 15' of sleeping areas
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

Recommendation: Contact a qualified professional.

---

**3: Box Extender - Missing**

🔴Recommendation

Kitchen (multiple) ,

The electrical box was not flush with the wall (recessed into wall). A box extender should be installed so that the box is flush with the front face of the wall.

Recommendation: Contact a qualified professional.



---

**4: Outlet - Loose**

🔴Recommendation

Multiple Locations

An outlet was improperly secured and moved when a plug was inserted. All outlets should be securely installed to prevent fire, shock and/or electrocution hazard.

Recommendation: Contact a qualified electrical contractor.

---

**5: Outlet - Weatherproof Cover Improper**

🔴Recommendation

Exterior ,

One or more of the exterior outlets did not have a proper weatherproof cover present. Outlets installed in a wet locations should have an enclosure that is weatherproof whether or not a plug is inserted.

Recommendation: Contact a qualified electrical contractor.

---

**6: Outlet - Missing (Kitchen Counter)**

🔴Recommendation

Kitchen ,

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

There was no outlet present at one or more of the kitchen countertops. Any countertop 12 inches wide or more should have an outlet present.



**7: Light - Not Functional**

🔴Recommendation

Downstairs Rear Left Bedroom , Exterior (multiple) ,

The light fixture did not illuminate (this may be due to a bulb issue, the fixture being on a photocell/timer, etc.).

Recommendation: Contact a qualified electrical contractor.



**8: Light - Loose**

🔴Recommendation

Primary Bath , Stairway ,

An improperly secured light fixture was observed.

Recommendation: Contact a qualified professional.



**9: Smoke Detectors - Older**

🔴Recommendation

Multiple Locations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

One or more of the smoke detectors in the home were older. Most manufactures recommend replacing the detectors every 10 years. Replacing any older smoke detectors is recommended for safety.

Recommendation: Contact a qualified electrical contractor.

### 10: Switch - 3-Way Not Functional

🚫 Recommendation

Stairway ,

The 3-way switch was not functioning properly at the time of inspection.

Recommendation: Contact a qualified electrical contractor.

### 11: Wiring - Exposed Splices

🚫 Recommendation

Attic (multiple) ,

Exposed wire splices were observed. Splices should be properly sealed in a junction box.

Recommendation: Contact a qualified electrical contractor.

### 12: Wiring - Grommet Missing

🚫 Recommendation

Multiple Locations

Grommets were missing at one or more locations where wiring passes into/through a metal enclosure. Grommets serve to protect the wiring from the metal edges of the enclosure.

Recommendation: Contact a qualified electrical contractor.



### 13: Wiring - Improper

⚠️ Safety Hazard

Exterior/balcony,

Improper/poor wiring was observed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



**14: Wiring - Loose**

🔴Recommendation

Attic ,

Loose wiring was observed. The wiring should be secured every 4.5 feet and within 12 inches of a junction box.

Recommendation: Contact a qualified electrical contractor.

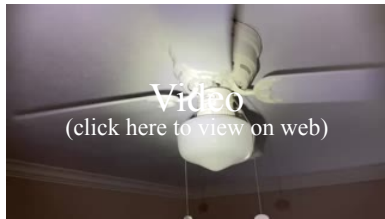
**15: Fan - Not Balanced**

🔵Maintenance/Note

Multiple Locations

The ceiling fan was not properly balanced.

Recommendation: Contact a handyman or DIY project



**16: Fan - Improper Height**

🔴Recommendation

Balcony (multiple) ,

The ceiling fan was not raised to the required 7 feet above the floor.

Recommendation: Contact a qualified electrical contractor.



**17: Fan - Hardwired**

🔴Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Living Room ,  
The ceiling fan was hardwired (improper).

Recommendation: Contact a qualified professional.



---

**18: Service Outlet/Light - Missing**

🚩 Recommendation

Attic,

There was no service outlet/light present at the HVAC equipment.

Recommendation: Contact a qualified electrical contractor.

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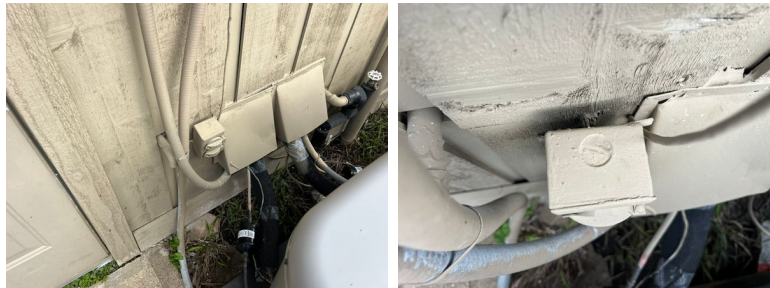
**19: Box - Loose**

🚩 Recommendation

Exterior ,

An improperly secured junction box was observed.

Recommendation: Contact a qualified professional.



**C. Other**

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

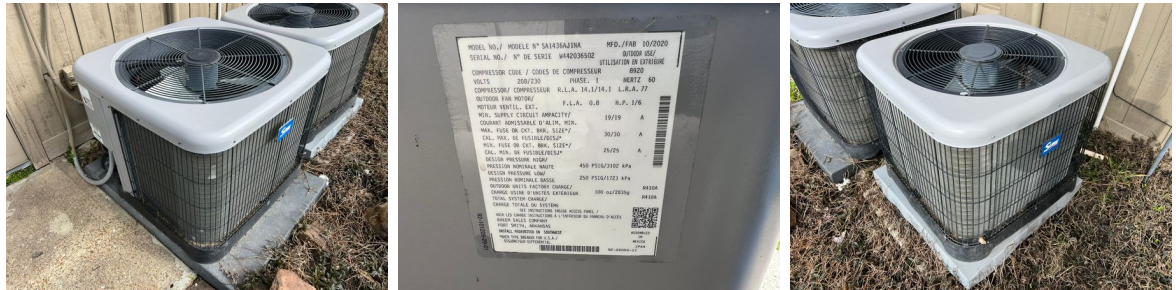
*Type of Systems:* Forced Air  
Downstairs Unit, Upstairs Unit,  
*Energy Sources:* Electric  
Downstairs Unit, Upstairs Unit,  
*Comments:*



*Functioning Properly:*  
At the time of inspection the heating system was functioning as intended.  
  
Downstairs Unit, Upstairs Unit,

**B. Cooling Equipment**

*Type of Systems:* Central Air Conditioner  
Downstairs Unit, Upstairs Unit,  
*Comments:*



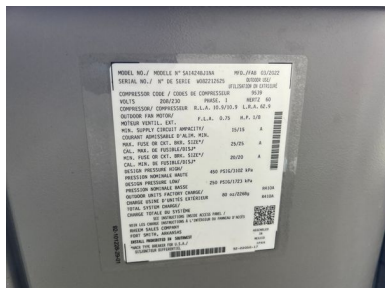
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



*Not Tested - Low Temperature:*

Due to the low outside temperature the cooling system could not be tested. Testing the cooling system below 60° can result in damage to the system. The cooling system was visually inspected only. Any latent deficiencies are not covered under the scope of this inspection.

Downstairs Unit , Upstairs Unit ,

*PCDL - Termination Not Visible:*

The termination point of the primary condensate drain line was not visible/accessible. Proper routing and termination could not be verified.

Downstairs Unit ,

**1: Refrigerant Line - Insulation Poor**

Maintenance/Note

Downstairs Unit ,

The missing/damaged insulation at the condensing unit low pressure refrigerant line (suction line) should be replaced or repaired.

Recommendation: Contact a qualified HVAC professional.

**2: Condensing Unit - Breaker Over-sized**

Recommendation

The breaker for the condensing unit appeared to be over-sized. This can potentially cause damage to the unit and may void the manufactures warranty.

Recommendation: Contact a qualified professional.

**3: PCDL - Insulate**

Maintenance/Note

Downstairs Unit ,

The first 10 feet of the primary condensate drain line should be insulated. Un-insulated lines can permit condensate to form on the line.

Recommendation: Contact a qualified HVAC professional.

**4: PDCL - Terminates To Plumbing Vent**

Recommendation

Upstairs Unit ,

The primary condensate drain line terminated to a plumbing vent (improper).

Recommendation: Contact a qualified HVAC professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



**5: Pan - Previous Water Contact**

Maintenance/Note

Evidence of previous water contact / rusting was observed in the auxiliary drain pan beneath the evaporator. No active leaks were observed at the time of inspection.

Recommendation: Recommend monitoring.

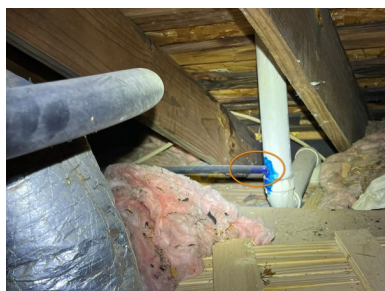
**6: Pan - Poor Drain Line Termination Location**

Recommendation

Upstairs Unit ,

Ideally, the auxiliary drain pan drain line should be routed to the exterior and terminate above a window to provide visibility that the primary condensate drain line is not properly draining.

Recommendation: Contact a qualified professional.



**C. Duct Systems, Chases, and Vents**

*Comments:*

*Ductwork - Access Limited:*

The interior of the ductwork is not inspected and is not covered under the scope of this inspection.

Multiple Locations

*Register - Blocked/Closed:*

Multiple registers were closed/blocked at the time of inspection. This can negatively affect system performance and may not allow for accurate testing. Any latent deficiencies are not covered under the scope of this inspection.

Multiple Locations

**1: Openings/Gaps**

Recommendation

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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There were openings/gaps observed at the air handling unit / ductwork: sealing is recommended to prevent air from escaping.

Recommendation: Contact a qualified professional.

**D. Other**  
*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution Systems, and Fixtures**

*Location of Water Meter:* Front yard

*Location of Main Water Supply Valve :* Front Exterior

*Type of Supply Piping Material:* Copper

*Static Water Pressure Reading:* 55 PSI

*Comments:*

*Prior Repairs:*

There appeared to have been previous repairs to the plumbing supply lines.

*Supply Valves - Not Tested:*

Water supply valves (including the main water supply valve) are not tested/operated due to the risk of potential damage. Any latent deficiencies are not covered under the scope of this inspection.

### **1: Hose Bibb - Missing Backflow**

🔴 **Recommendation**

Multiple Locations

Back-flow "check" valves were not present at the exterior hose bibbs (water valves). These are 1" extensions that screw onto the end of the hose bibbs that allow water to flow out of the faucets but water cannot back-flow which will prevent cross-contamination (these are inexpensive and easy to install).

Recommendation: Contact a qualified professional.

---

### **2: Sink - Stop Not Functional**

🔴 **Recommendation**

Downstairs Bath ,

The drain stop was not functional.

Recommendation: Contact a qualified plumbing contractor.

---

### **3: Toilet - Seal**

🔵 **Maintenance/Note**

Multiple Locations

The base of the toilet should be caulked/sealed.

Recommendation: Contact a handyman or DIY project

---

### **4: Toilet - Loose**

🔴 **Recommendation**

Upstairs Bath , Downstairs Bath ,

The toilet was not secure to the floor which can result in damage to the wax seal and possible leakage.

Recommendation: Contact a qualified plumbing contractor.

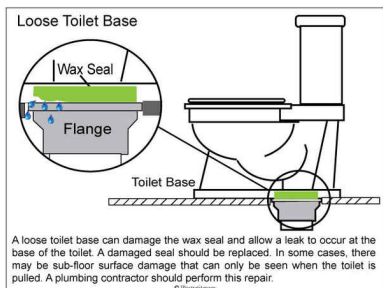
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



### 5: Toilet - Not Flushing Properly

🔴 Recommendation

Upstairs Bath ,

The toilet was not flushing properly. Improvements or replacement of the the tank components (this is easy and inexpensive job) can usually rectify this situation.

Recommendation: Contact a qualified plumbing contractor.

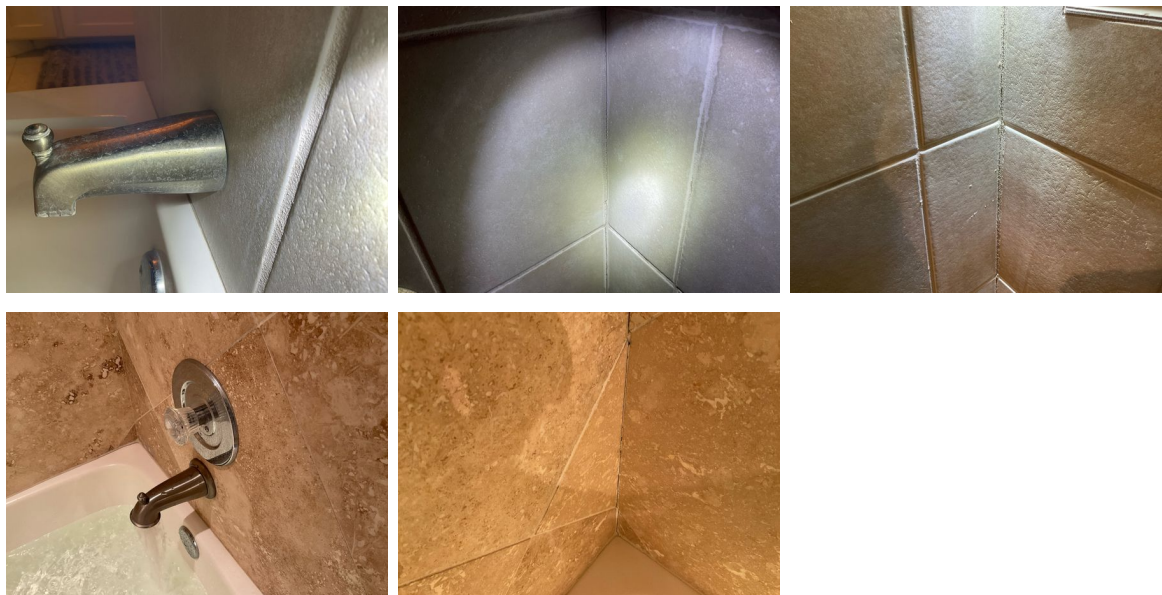
### 6: Shower - Seal

🔵 Maintenance/Note

Upstairs Bath , Downstairs Bath , Primary Bath ,

There were open gaps/joints at the bath shower that should be sealed to prevent water penetration into the wall.

Recommendation: Contact a handyman or DIY project



### 7: Supply Lines - Un-insulated

🔵 Maintenance/Note

Exterior ,

Un-insulated water supply lines should be insulated to help prevent damage from freezing.

Recommendation: Contact a handyman or DIY project

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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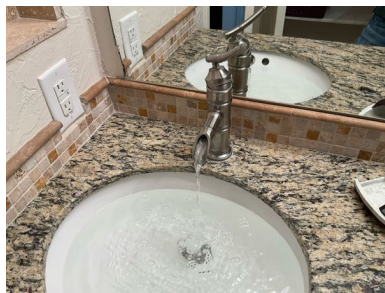
**8: Sink - Supply Lines Reversed**

🔴Recommendation

Primary Bath ,

The hot and cold water supply lines were reversed at the sink faucet.

Recommendation: Contact a qualified plumbing contractor.



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**9: Sink - Low Water Pressure**

🔴Recommendation

Downstairs Bath , Primary Bath ,

Low water pressure was observed at the sink.

Recommendation: Contact a qualified plumbing contractor.



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**10: Supply Lines - Missing Escutcheon Plates**

🔵Maintenance/Note

Multiple Locations

Several escutcheon plates were missing. Holes in walls permit passage of moisture and pests. Replacing is recommended.

Recommendation: Contact a qualified handyman.

---

**11: Supply Line - Corrosion/Oxidation**

🔵Maintenance/Note

Multiple Locations

Corrosion/oxidation was observed at the supply line.

Recommendation: Contact a qualified professional.

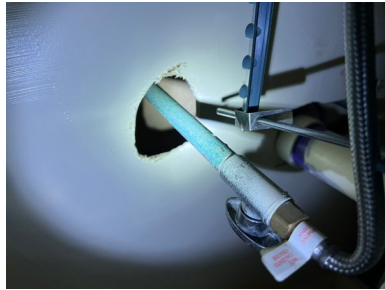
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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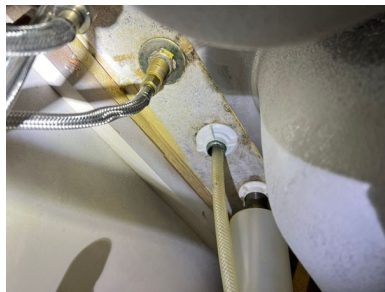
**12: Sink - Leaky Faucet**

🔴Recommendation

Kitchen ,

The sink faucet leaked.

Recommendation: Contact a qualified professional.



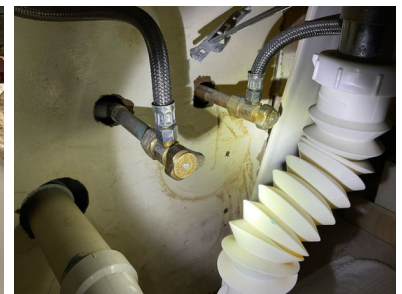
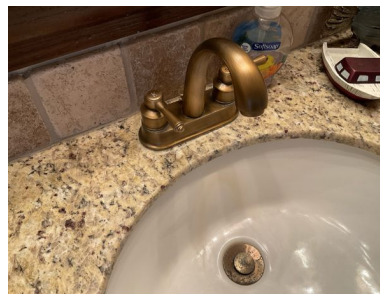
**13: Sink - Faucet Not Functioning Properly**

🔴Recommendation

Upstairs Bath ,

The sink faucet was not functioning properly.

Recommendation: Contact a qualified professional.



**14: Shower - Faucet Not Functioning Properly**

🔴Recommendation

Upstairs Bath ,

The shower faucet was not functioning properly.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



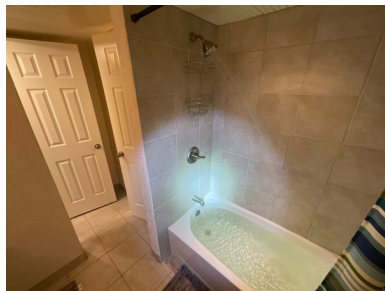
**15: Shower - Diverter not functioning properly**

 Maintenance/Note

Downstairs Bath ,

The shower diverter was not functioning properly.

Recommendation: Contact a qualified professional.



**16: Supply Valve - Damaged**

 Recommendation

Right Exterior , Laundry Room ,

A damaged supply valve was observed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified professional.



- 
- 
- 
- B. Drains, Wastes, and Vents**  
*Type of Drain Piping Material: PVC*  
*Comments:*

**1: Sink - Drain Line Leaking**

🔴 Recommendation

Kitchen ,

The sink drain line leaked.

Recommendation: Contact a qualified plumbing contractor.



**2: Tub - Drain Line Leaking**

🔴 Recommendation

Primary Bath ,

The drain line at the tub leaked.

Recommendation: Contact a qualified plumbing contractor.

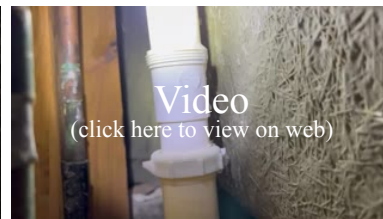
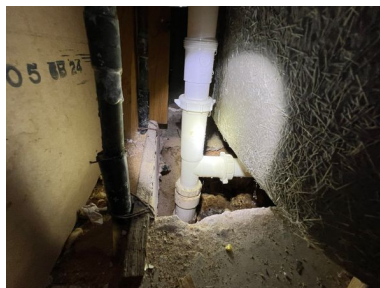
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



### 3: Tub - Slow Drain

🔴 Recommendation

Downstairs Bath ,

The tub was slow to drain.

Recommendation: Contact a qualified plumbing contractor.

### 4: Flexible Drains

🔧 Maintenance/Note

Multiple Locations

Flexible drain lines have been used in repairs to the plumbing drain lines. These are generally indicate amateur work and are prone to drain line restrictions, especially at kitchen sinks (trap grease): replacing with smooth interior pipe is recommended.

Recommendation: Contact a qualified plumbing contractor.



### 5: Exposed PVC

🔧 Maintenance/Note

Exterior ,

Painting/sealing any exposed PVC at the exterior is recommended to prevent UV deterioration.

Recommendation: Contact a handyman or DIY project

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**C. Water Heating Equipment**

*Energy Sources:* Electric

*Capacity:* 50 Gallons

*Comments:*



*TPR - Not Tested:*

The temperature and pressure relief (TPR) valves are not tested/operated due to the potential for leakage and damage to the home.

**1: Older Unit**

[Maintenance/Note](#)

The water heater was older and may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

Recommendation: Recommend monitoring.

**2: TPR - Improper Slope**

[Recommendation](#)

The temperature and pressure relief (TPR) valve drain line on the water heater runs upwards and can not gravity drain. The correct emergency operation requires a line that will drain by gravity.

Recommendation: Contact a qualified plumbing contractor.



**3: Drain Pan - Missing**

[Recommendation](#)

The water heater was not installed in a drain pan. In the event of a leak this may damage the surrounding structure.

Recommendation: Contact a qualified plumbing contractor.

**4: Wiring - Disconnect Missing**

[Recommendation](#)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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There was no service (electric) disconnect present/visible within line of sight of the water heater.

Recommendation: Contact a qualified electrical contractor.

**5: 'Sulphur' Smell**

🔴 Recommendation

A sulphur or 'rotten egg' smell was observed at the plumbing fixtures when the hot water was tested. This is common in homes where the water in the water heater has been sitting for an extended period of time. Flushing the tank usually will solve this problem, however if the problem persists contacting a licensed plumber to determine the best method of remedy is recommended.

Recommendation: Contact a qualified plumbing contractor.

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**F. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter:* N/A

*Type of Gas Distribution Piping Material:* N/A

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## V. APPLIANCES

- A. Dishwashers**

*Comments:*



**1: Airgap - Missing**

🔴 Recommendation

The dishwasher lacked an air gap device or a proper high loop. Air gaps / high loops are now standard equipment to assure a separation between supply and waste water. It is advised that one be installed.

Recommendation: Contact a qualified plumbing contractor.

- B. Food Waste Disposers**

*Comments:*

**1: Seized**

🔴 Recommendation

The disposal was seized. The unit attempts to respond when the power is switched on but does not begin to operate.

Recommendation: Contact a qualified appliance repair professional.



- C. Range Hood and Exhaust Systems**

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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*Functioning Properly:*

The range hood was functioning properly at the time of inspection.

*Vent - Not Visible:*

The range exhaust vent was not visible/accessible. Proper routing and termination could not be verified.

**D. Ranges, Cooktops, and Ovens**

*Comments:*



*Oven - Functioning Properly:*

The oven was turned on and tested for accurate temperature and was found to be within acceptable ranges at the time of inspection.



*Range/Cooktop - Functioning Properly :*

The range/cooktop was turned on and tested and was functioning properly at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

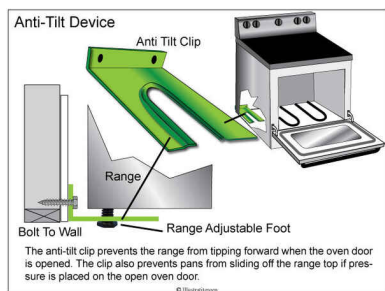


**1: Oven - Anti-tip Device Missing**

**Recommendation**

The freestanding oven/range did not have an anti-tip device installed. The absence of an anti-tip device allows the oven to tip over when a weight is placed on an open door and is a potential safety hazard for children.

Recommendation: Contact a qualified appliance repair professional.



**E. Microwave Ovens**

*Comments:*



*Functioning Properly:*

The microwave was tested with the use of a microwave oven tester and was functioning properly at the time of inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

**1: Improper Termination**

🔴 **Recommendation**

Multiple Locations

The exhaust vent(s) did not appear to terminate properly to the exterior. Exhaust vents should terminate to the exterior to prevent moisture buildup in the structure.

Recommendation: Contact a qualified appliance repair professional.

**2: Cover - Loose**

🔵 **Maintenance/Note**

Downstairs Bath ,

The interior cover was improperly secured.

Recommendation: Contact a handyman or DIY project



**G. Garage Door Operators**

*Comments:*

**H. Dryer Exhaust Systems**

*Comments:*

*Cleaning Recommended :*

The dryer exhaust vent should be cleaned before use and regularly thereafter to ensure no blockages develop.

*Vent - Not Visible/Accessible:*

The dryer exhaust vent was not visible/accessible (blocked by washer/dryer and drywall). Proper routing and termination could not be verified behind the drywall.

**1: Improper Termination**

🔴 **Recommendation**

The clothes dryer was not properly vented to the exterior. Repairs should be undertaken.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



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**2: Vent - Clogged**

🔴 Recommendation

The dryer exhaust vent appeared to be clogged. This should be cleared/cleaned.

Recommendation: Contact a qualified professional.

---

**3: Screen**

🔴 Recommendation

A screen was installed/present at the dryer exhaust vent exterior termination. Screens can trap lint clogging the vent pipe.

Recommendation: Contact a qualified professional.

---

**4: Damper - Missing**

🔴 Recommendation

The dryer exhaust vent was not equipped with a back-draft damper (this may allow pests to enter the vent, where they may create obstructions with nesting materials, creating a potential fire hazard): installing a proper back-draft damper is recommended.

Recommendation: Contact a qualified professional.

---

**J. Doorbell**

*Functioning Properly:*

The door bell was functioning Properly.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## VI. OPTIONAL SYSTEMS

**A. Landscape Irrigation (Sprinkler) Systems**

*Comments:*

*Not Tested - System Winterized:*

The sprinkler system was winterized at the time of inspection. The sprinkler system could not be tested/inspected and is not covered under the scope of this inspection.