

# GENERAL NOTES

## A. GENERAL NOTES:

- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY AND THOROUGHLY EXAMINE THE PROJECT SITE, FIELD VERIFY ALL CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS OF THE VARIOUS FEATURES OF THE EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE BEGINNING WORK.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND THOROUGHLY EXAMINE AND FAMILIARIZE THEMSELVES WITH ALL ELEMENTS AND CONDITIONS IN THE CONTRACT DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE WORK BEGINS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF ALL REQUIREMENTS AND REGULATIONS AND SHALL PERFORM ALL WORK ON THIS PROJECT IN COMPLIANCE WITH O.S.H.A., AND ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. ALL CONSTRUCTION FABRICATION AND INSTALLATIONS SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE U.B.C., U.P.C., N.E.C., AND ANY OTHER FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES OF THE GOVERNING AGENCY HAVING JURISDICTION OVER THE PROJECT.
- DUE TO THE REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATELY TO SCALE. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN AND IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE PLANS, SECTIONS, ELEVATIONS, OR DETAILS.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, FOR ANY ALTERNATE NONSTANDARD, OR UNTESTED METHOD(S) PROPOSED.
- IT IS CONSIDERED ESSENTIAL THAT THE CONTRACTOR INSPECT THE PREMISES DURING THE COURSE OF BIDDING PRIOR TO THE START OF CONSTRUCTION TO BE FAMILIAR WITH FIELD CONDITIONS. SUCH CONDITIONS SHOULD BE REFLECTED AND QUALIFIED IN THE FINAL BID. ANY CONDITION OR CIRCUMSTANCE WHICH DOES NOT CONFORM TO THE INTENT INDICATED IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE ACCEPTANCE OF THE BID FOR THIS WORK. NO ADDITIONAL PAYMENTS WILL BE MADE TO COMPENSATE FOR ANY ADDITIONAL WORK REQUIRED FOR A PROFESSIONAL COMPLETION OF THE WORK. DUE TO LACK OF FIELD VERIFICATION BY CONTRACTOR.
- SHOULD THERE BE ANY DISCREPANCY BETWEEN THE VARIOUS DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION. THE CONTRACTOR SHALL COORDINATE WITH OWNER'SHIP FOR INSTALLATION OF ANY SPECIAL EQUIPMENT NOT SHOWN IN THESE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH OWNER'SHIP AND/OR EQUIPMENT MANUFACTURER FOR PROPER SIZE AND LOCATION OF FOUNDATION OR SLAB DEPRESSIONS, DRAINS, AND WARPS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY UNDERGROUND OR CONCEALED CONDUIT, PLUMBING, OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED.
- NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE STANDARD NOTES ON THIS SHEET IN CASE OF CONFLICT.
- THE CONTRACTOR SHALL COMPLY WITH SAFETY RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE CONSTRUCTION PROCESS.
- RUBBISH AND DEBRIS RESULTING FROM THE WORK OF VARIOUS TRADES SHALL BE REGULARLY COLLECTED AND REMOVED FROM THE PROJECT SITE AND LEGALLY DISPOSED OF PRIOR TO DELIVERY OF MATERIALS TO THE CONSTRUCTION ZONE AND REMOVAL OF WASTE FROM THE SITE. THE CONTRACTOR SHALL CHECK WITH THE OWNER FOR AN ACCEPTABLE ACCESS ROUTE AND TIME. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR, HIS SUBCONTRACTORS, OR ANY OF THEIR EMPLOYEES USE ANY AREA OUTSIDE THE CONSTRUCTION ZONE WITHOUT PRIOR APPROVAL FROM THE OWNER.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING, REGARDLESS OF COST, TIME OR MATERIAL INCREASE.
- ANY AND ALL REVISIONS TO THE SCOPE SHALL BE BY WRITTEN CHANGE ORDER, APPROVED BY OWNER.
- PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING AND NEW MATERIALS AND CONSTRUCTION PREVIOUS TO AND DURING CONSTRUCTION AND AFTER INSTALLATION. ALSO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE, WHERE DAMAGE OCCURS, REPAIR OR REPLACE AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST.
- WELDING SHALL BE BY A CERTIFIED WELDER OR IN THE SHOP OF AN APPROVED FABRICATOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT AND ALL OTHER ITEMS AS NECESSARY WHETHER OR NOT DETAILS HAVE BEEN PROVIDED.
- GENERAL CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTION OF MATERIALS OR EQUIPMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER AND THE ARCHITECT.
- BEFORE ACCEPTANCE BY THE OWNER, THE COMPLETED CONSTRUCTION SHALL BE CLEANED, LABELS REMOVED, AND ALL OTHER TOUCHUP COMPLETED TO THE SATISFACTION OF THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CODES LISTED UNDER THIS GENERAL NOTES HEADING ON THIS SHEET. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE, AS REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. WHERE ANY CONFLICTS OCCUR BETWEEN FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE AND SAFE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE. UNTIL THE STRUCTURE ITSELF (INCLUDING ROOF DIAPHRAGM) IS COMPLETE ENOUGH TO SUPPORT ITSELF. THE DESIGN ADEQUACY, SAFETY, AND ERECTION OF BRACING, SHORING, SCAFFOLDING, AND TEMPORARY SUPPORTS AND RESTRAINTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT MATCHING AND/OR ABUTTING EXISTING CONSTRUCTION IN A NEAT AND PROFESSIONAL MANNER.
- THE FACILITY IS TO REMAIN OCCUPIED DURING THE CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WITH THE OWNER A SEQUENCE FOR THE WORK.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR SHUTDOWNS AT LEAST THREE DAYS PRIOR TO THE EVENT. WORK REQUIRING SHUTDOWNS WILL BE REQUIRED TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS.
- STORAGE OF ALL MATERIALS, EQUIPMENT AND SUPPLIES SHALL BE LIMITED TO SCHEDULED AREAS OF WORK IN PROGRESS, OR TO DESIGNATED LOCATIONS APPROVED AND ARRANGED WITH THE OWNER. THE CONTRACTOR SHALL THOROUGHLY CAULK, FLASH AND/OR SEAL AROUND ALL WALL AND/OR ROOF PENETRATIONS THAT ARE MADE AS A PART OF THE CONTRACT WORK TO CREATE A WATERTIGHT CONDITION.
- WHEN INSTALLING DRILLED IN ANCHORS OR POWER DRIVEN PINS INTO EXISTING REINFORCED CONCRETE OR REINFORCED CONCRETE MASONRY, CARE SHALL BE TAKEN TO AVOID CUTTING OR DAMAGING THE REINFORCING BARS.
- WHERE PAVING, WALKS AND/OR LANDSCAPED AREAS ARE DISTURBED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS.
- ALL STEEL COMPONENTS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- ALL FINISH COMPONENTS, NOT PRE FINISHED, SHALL BE PAINTED.
- EXIT DOORS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- ANY NEW PROPOSED SIGNS ARE TO BE ISSUED UNDER SEPERATE PERMIT.
- CONTRACTOR SHALL REMOVE ANY TEMPORARY TRAILERS AND DUMPSTERS RELATED TO PROJECT CONSTRUCTION PRIOR TO FINAL INSPECTION SIGN-OFF.
- CONTRACTOR SHALL RESURFURY AND RE-STRIP PARKING LOT AS NEEDED TO ENSURE THAT PORTION OF LOT SERVING TENANT SPACE IS IN GOOD REPAIR AND APPEARANCE PRIOR TO FINAL SIGN-OFF BY PLANNING DIVISION. PARKING STALL STRIPPING SHALL BE CLEARLY VISIBLE OR SHALL BE RE-STRIPPED BY CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL RED LINE ALL FIELD CHANGES ON A SET OF PRINTS TO REMAIN ON SITE THROUGHOUT THE CONSTRUCTION OF THE PROJECT. IT IS THE GC'S RESPONSIBILITY TO RECORD ALL FIELD CHANGES AND SUBMIT THE 'AS BUILT'S TO ARCHITECT OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCT. VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.

# GENERAL NOTES (continued)

## B. DEFINITIONS:

- "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
- "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
- "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS.
- "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

## C. DIMENSIONS:

- DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.
- MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.
- FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
- VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR - "AFF".
- CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC PANEL CEILING GRID OR FACE OF FINISH MATERIAL FOR OTHER CEILING TYPES. UON.
- DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
- ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:
  - STRUCTURAL DRAWINGS
  - LARGE SCALE DETAILS
  - SMALL SCALE DETAILS
  - ENLARGED VIEWS
  - FLOOR PLANS AND ELEVATIONS

## D. DRAWING SET ORGANIZATION:

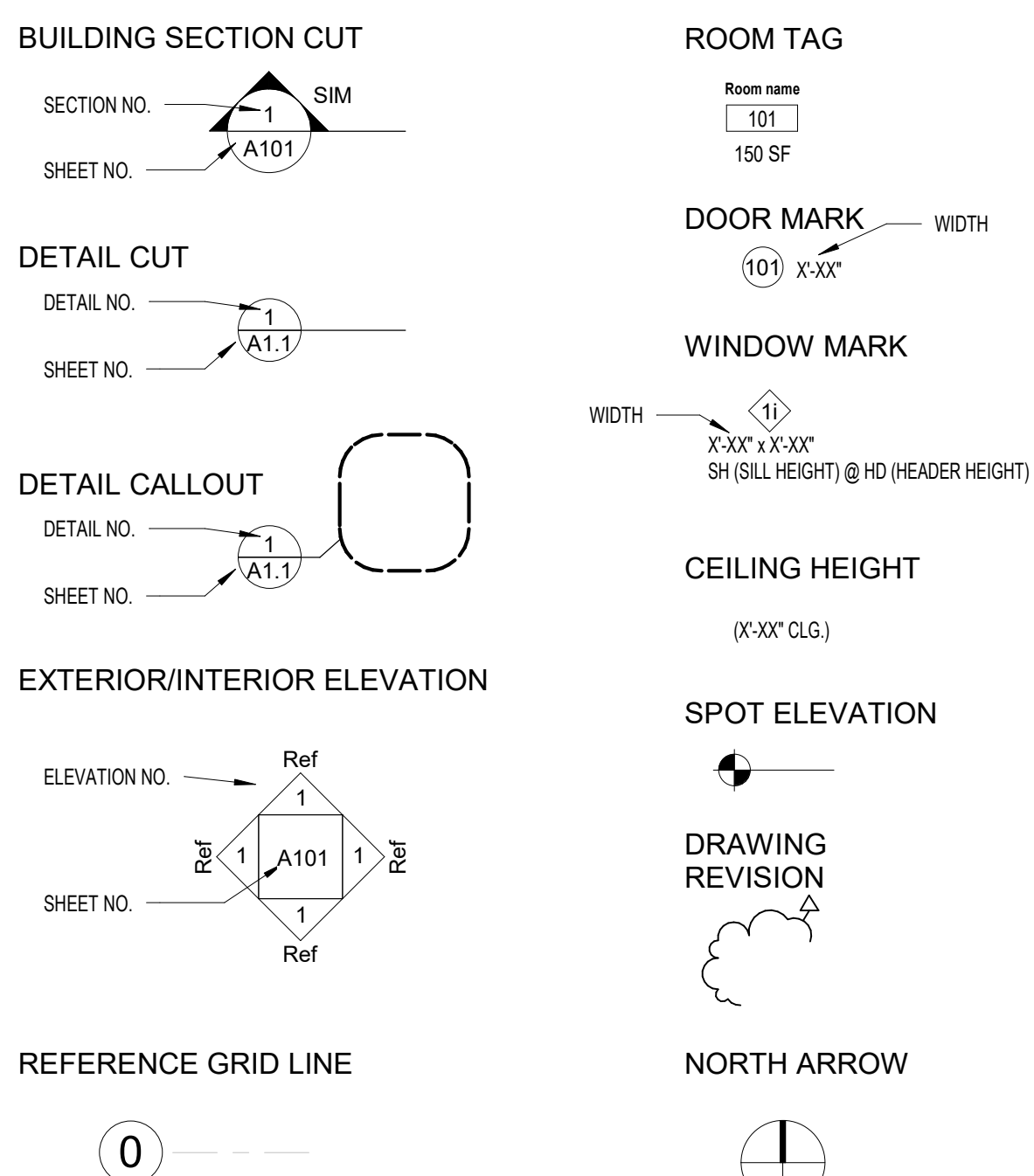
- EACH DRAWING SET SHEET IS IDENTIFIED BY THE SHEET NUMBER IN THE LOWER RIGHT HAND CORNER OF THE DRAWING TITLE BLOCK. THE SHEET TITLE PROVIDES A GENERAL DESCRIPTION OF THE CONTENTS OF THE SHEET.
- SHEET NUMBER
 

EXAMPLE: A201  
"A" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING  
"2" INDICATES THE DRAWING CATEGORY CONTAINED ON THE SHEET  
"01" INDICATES THE SHEET NUMBER
- SHEET NUMBERS MAY INCLUDE SUPPLEMENTAL CHARACTERS TO PROVIDE ADDITIONAL INFORMATION, SUCH AS DRAWING CONTENT, PROJECT SECTOR OR PHASE. REFER TO THE DRAWING INDEX FOR A COMPLETE LIST OF SHEETS INCLUDED IN THE DOCUMENT SET.
 

EXAMPLE: EL201A  
"EL" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING AND THE DRAWING CONTENT = ELECTRICAL LIGHTING  
"A" INDICATES SECTOR "A" OF PLAN SHEET "201". REFER TO THE PROJECT KEY PLAN OR COMPOSITE PLAN INDICATING THE RELATIONSHIP OF THE SECTORS.
- DRAWING SET INDEX INDICATES THE COMPLETE LIST OF SHEETS CONTAINED IN THE DRAWING SET. INDEXED BY DISCIPLINE, SHEET NUMBER AND SHEET TITLE, IN SEQUENTIAL ORDER. NOTE THAT ALL SEQUENTIAL SHEET NUMBERS MAY BE NOT USED IN THE DRAWING SET.
- DISCIPLINE IDENTIFICATION, IN ORDER BOUND IN THE DRAWING SET. REFER TO THE DRAWING SET INDEX FOR DISCIPLINE CONTAINED IN THIS DRAWING SET:
 

G GENERAL INFORMATION	Q EQUIPMENT
C CIVIL	F FIRE PROTECTION
L LANDSCAPE	P PLUMBING
S STRUCTURAL	M MECHANICAL
A ARCHITECTURAL	E ELECTRICAL
I INTERIORS	T TELECOMMUNICATIONS

# SYMBOL LEGEND



# CODE INFORMATION

INTERNATIONAL RESIDENTIAL CODE, 2018 ED.

# 'ODESSA' MODEL - ELEVATION D



## KEY SITE PLAN

NOT TO SCALE



## ARCHITECTURAL C&D

SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION
A 0.01	INDEX AND PROJECT DATA	09/19/23	
A 1.00	SITE PLAN	09/19/23	1
A 1.01	FIRST FLOOR PLAN	09/19/23	1
A 1.02	SECOND FLOOR PLAN	09/19/23	1
A 1.03	ROOF PLAN	09/19/23	1
A 1.11	EOS PLAN	09/19/23	1
A 1.21	FIRST FLOOR REFLECTED CEILING PLAN	09/19/23	1
A 1.22	SECOND FLOOR REFLECTED CEILING PLAN	09/19/23	1
A 1.31	FIRST FLOOR PLAN CONSTRUCTION DIMENSIONS	09/19/23	1
A 1.32	SECOND FLOOR PLAN CONSTRUCTION DIMENSIONS	09/19/23	1
A 2.00	EXTERIOR ELEVATIONS	09/19/23	1
A 2.01	EXTERIOR ELEVATIONS	09/19/23	1
A 2.02	EXTERIOR ELEVATIONS	09/19/23	1
A 2.03	EXTERIOR ELEVATIONS	09/19/23	1
A 3.00	BUILDING SECTIONS	09/19/23	1
A 3.01	BUILDING SECTIONS	09/19/23	1
A 4.00	TYPICAL WALL SECTIONS	09/19/23	1
A 5.01	INTERIOR ELEVATIONS	09/19/23	1
A 5.02	INTERIOR ELEVATIONS	09/19/23	1
A 5.10	DETAILS	09/19/23	
A 5.11	DETAILS	09/19/23	
A 6.00	WINDOW AND DOOR SCHEDULES	09/19/23	1

## PROJECT DATA

ADDRESS: 17819 SOUTH BLUE HERON BAY CIRCLE  
 SUBDIVISION: BLUE HERON BAY  
 LOT: 13  
 BLOCK: 1  
 SECTION: 2  
 COUNTY: MONTGOMERY  
 PLAN: ODESSA-D

## PROPOSED AREAS

CONDITIONED	ELEVATION C	ELEVATION D
FIRST FLOOR AREA	2,159 SQ. FT.	2,112 SQ. FT.
SECOND FLOOR AREA	1,545 SQ. FT.	1,533 SQ. FT.
<b>TOTAL CONDITIONED</b>	<b>3,704 SQ. FT.</b>	<b>3,671 SQ. FT.</b>
<b>NON-CONDITIONED</b>		
FIRST FLOOR AREA	932 SQ. FT.*	925 SQ. FT.*
SECOND FLOOR AREA	133 SQ. FT.	133 SQ. FT.
<b>TOTAL NON-CONDITIONED</b>	<b>1,040 SQ. FT.</b>	<b>1,058 SQ. FT.</b>

\* DESIGN OPTION 5 ADD 240 SF TO FIRST FLOOR CONDITIONED AREA AND REMOVE 240 SF FROM NON-CONDITIONED AREA

SLAB AREAS		
HOUSE SLAB	2,132 SQ. FT.	2,112 SQ. FT.
GARAGE SLAB	698 SQ. FT.*	726 SQ. FT.*
PORCHES SLAB	235 SQ. FT.	199 SQ. FT.
<b>TOTAL SLAB</b>	<b>3,064 SQ. FT.</b>	<b>3,037 SQ. FT.</b>

\* DESIGN OPTION 5 ADD 240 SF TO HOUSE SLAB AREA AND REMOVE 240 SF FROM GARAGE SLAB AREA

FLATWORK AREAS		
DRIVEWAY	973 SQ. FT.	987 SQ. FT.
<b>TOTAL FLATWORK</b>	<b>973 SQ. FT.</b>	<b>987 SQ. FT.</b>

## DRAWING SET INDEX

# based

ARCHITECT:

## based

Based Architects, LLC  
 info@wearbased.com  
 832-422-7337  
 www.wearbased.com

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023

**FRENCH QUARTER - ODESSA**  
 PERMIT DOCUMENTS  
 17819 SOUTH BLUE HERON BAY CIRCLE  
 MONTGOMERY, TX 77316

## SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023

SHEET TITLE

## INDEX AND PROJECT DATA

JOB NUMBER

2311

DATE

07/23/2023

SHEET NUMBER

# A 0.01

## DESIGN OPTIONS

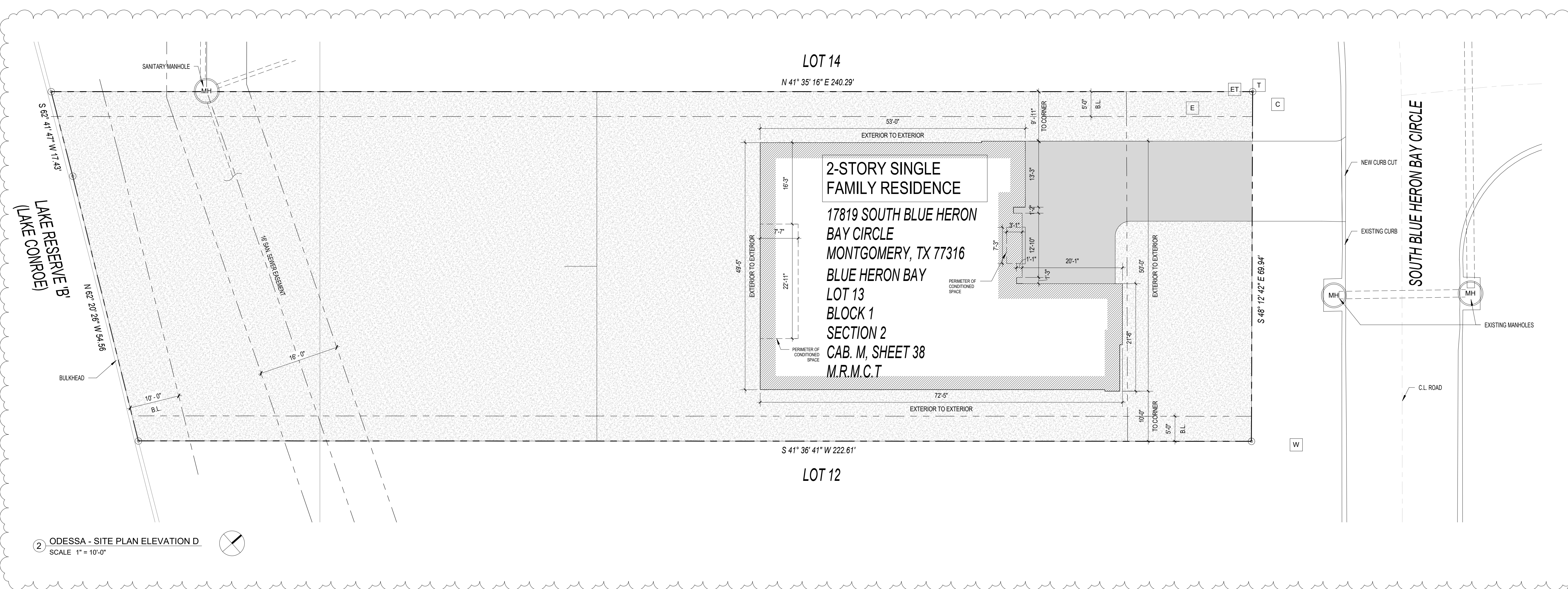


DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023



② ODESSA - SITE PLAN ELEVATION D  
SCALE 1" = 10'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- PERVIOUS AREA
- PROPOSED BUILDING
- PAVED AREA
- AREA NOT IN SCOPE

GENERAL NOTES

1. GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. GENERAL CONTRACTOR TO VERIFY ALL EXISTING SITE UTILITIES PRIOR TO CONSTRUCTION.
3. EXISTING DRIVEWAY TO REMAIN. NO NEW SITE WORK.
4. EXISTING LANDSCAPE TO REMAIN.
5. GENERAL CONTRACTOR TO PROTECT EXISTING LANDSCAPE AND HARDSCAPE FROM CONSTRUCTION WORK.

**LOT SIZE:** 16,173 SQ. FT.  
**IMPERVIOUS COVER:**  
**ELEVATION C** 4,037 SQ. FT.  
**ELEVATION D** 3,986 SQ. FT.

**IMPERVIOUS COVER PERCENTAGE:** 24.6%

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

No.	Description	Date
	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE  
**SITE PLAN**

JOB NUMBER SHEET NUMBER

2311

DATE  
07/23/2023

A 1.00



DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

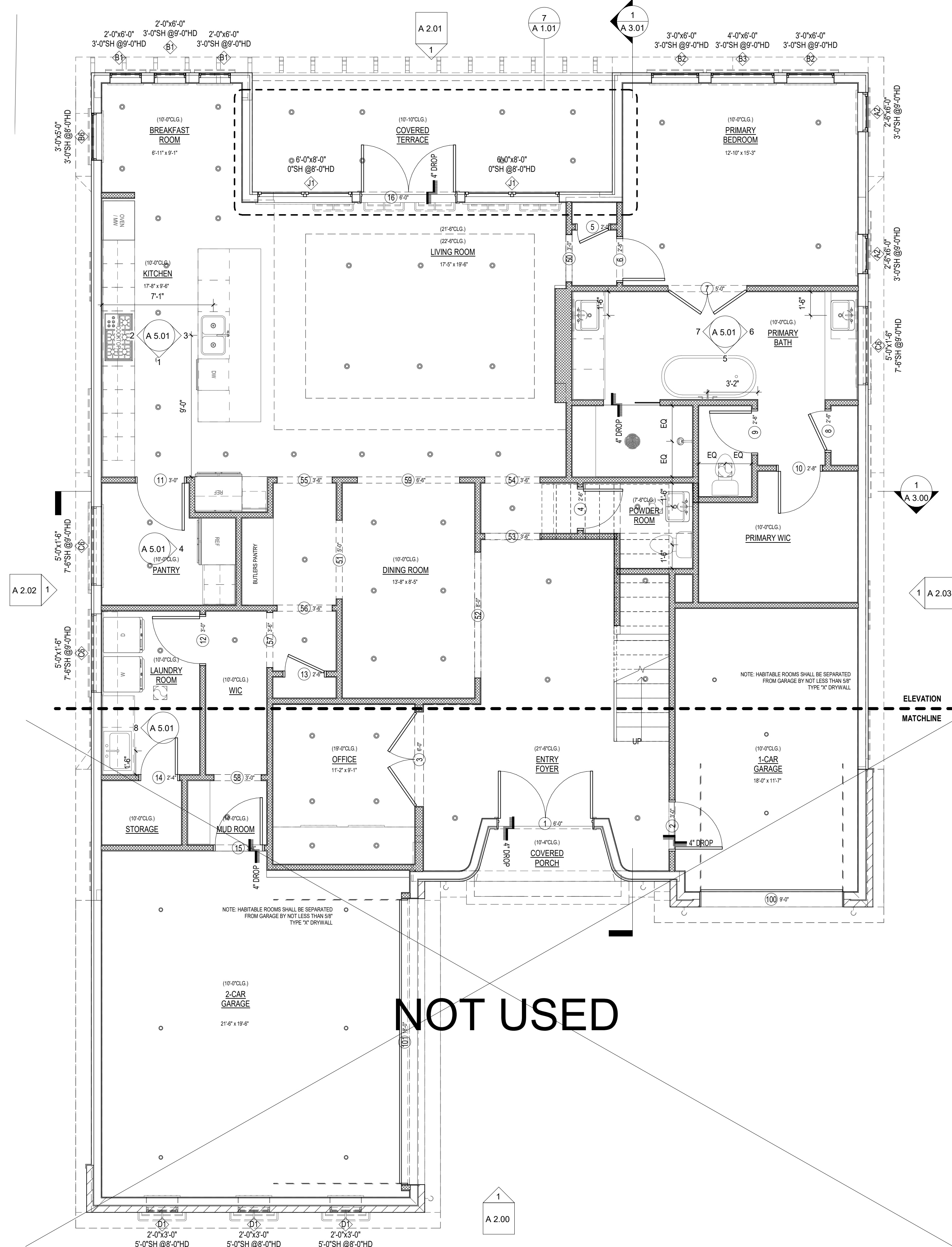
SHEET ISSUE / REVISION LOG		
No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE  
**FIRST FLOOR PLAN**

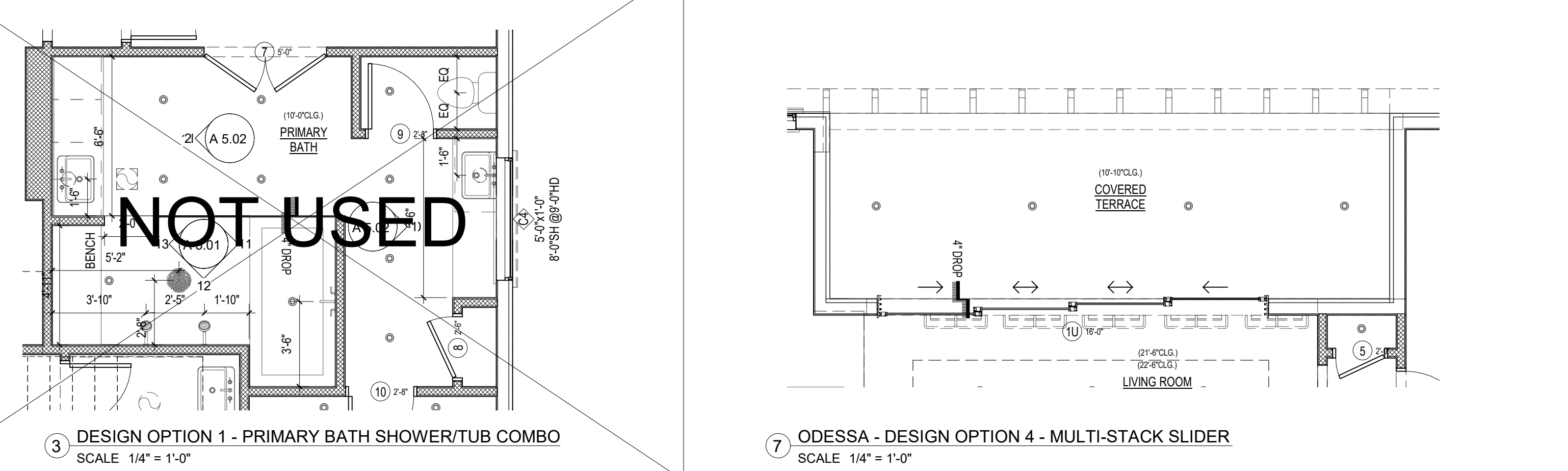
JOB NUMBER  
2311

SHEET NUMBER  
**A 1.01**

DATE  
07/23/2023

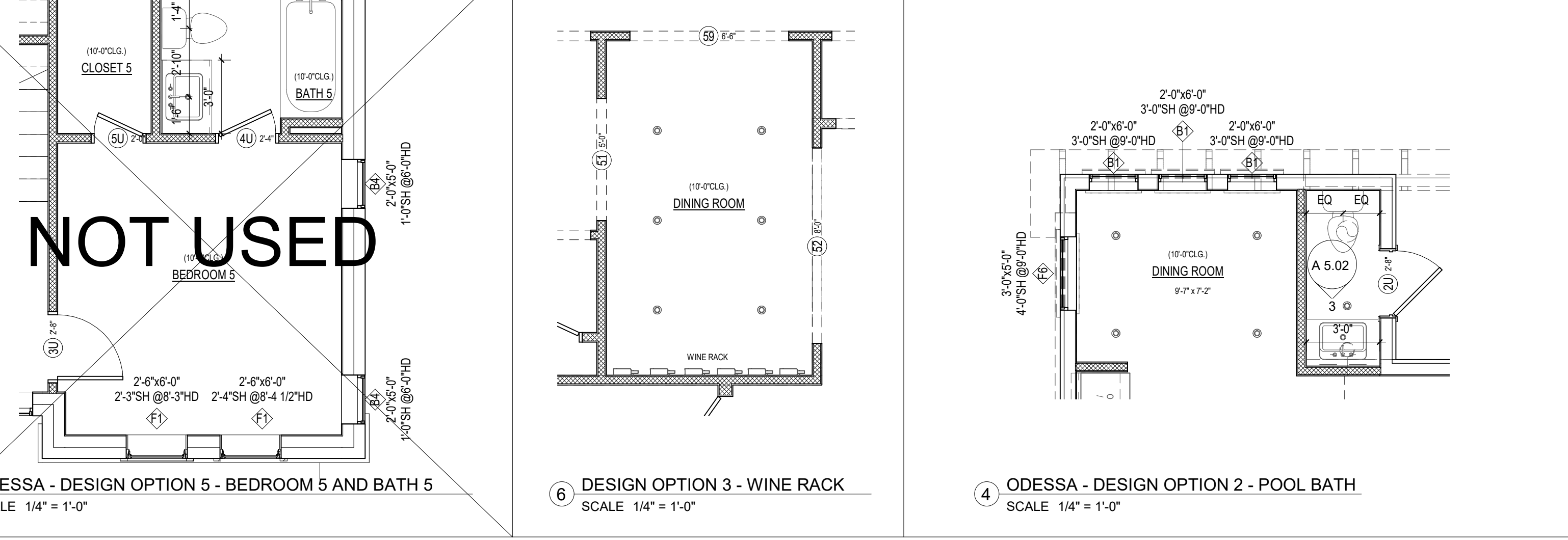


1 ODESSA - FIRST FLOOR PLAN - ELEVATION C  
SCALE 1/4" = 1'-0"



3 DESIGN OPTION 1 - PRIMARY BATH SHOWER/TUB COMBO  
SCALE 1/4" = 1'-0"

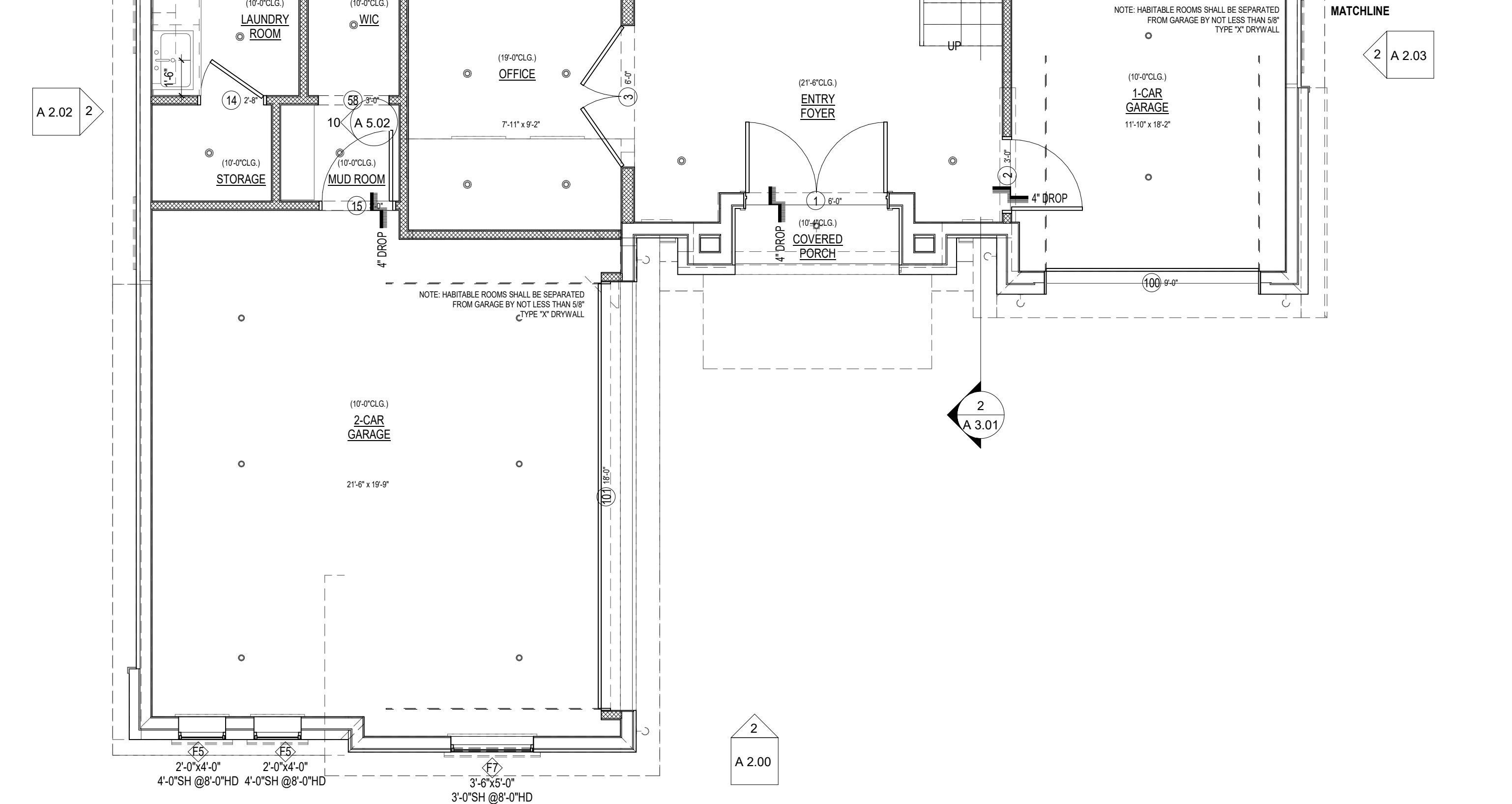
7 ODESSA - DESIGN OPTION 4 - MULTI-STACK SLIDER  
SCALE 1/4" = 1'-0"



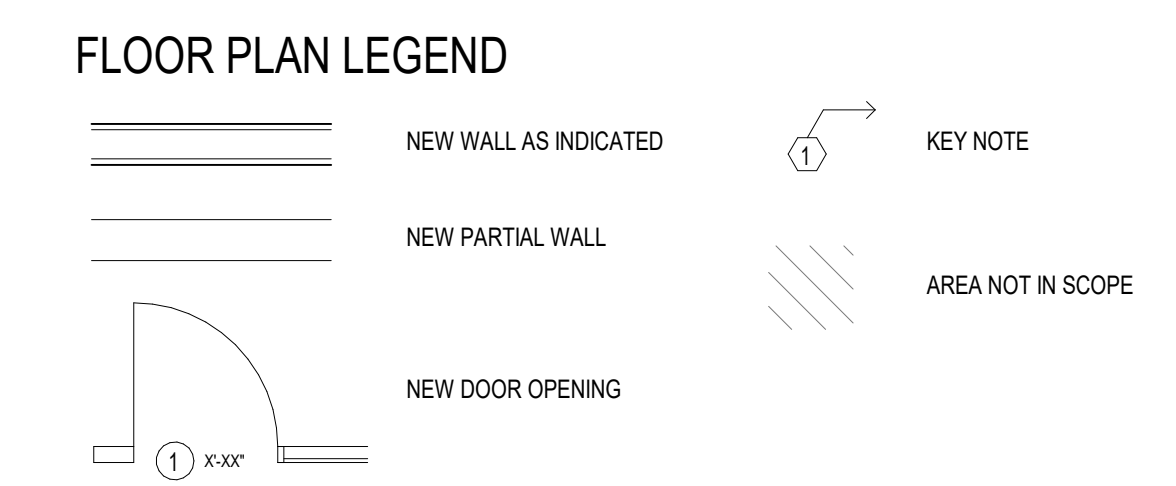
5 ODESSA - DESIGN OPTION 5 - BEDROOM 5 AND BATH 5  
SCALE 1/4" = 1'-0"

6 DESIGN OPTION 3 - WINE RACK  
SCALE 1/4" = 1'-0"

4 ODESSA - DESIGN OPTION 2 - POOL BATH  
SCALE 1/4" = 1'-0"

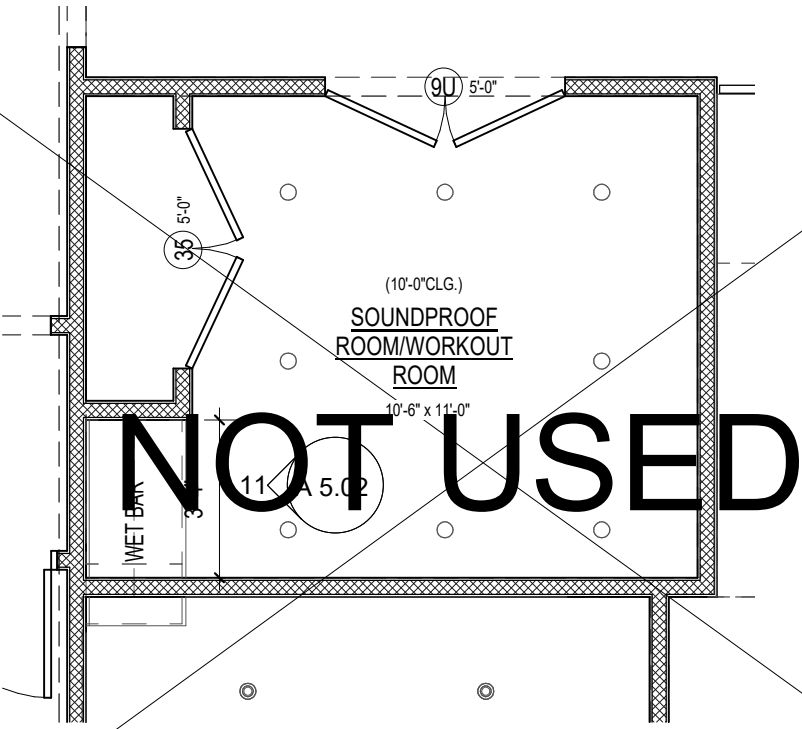


2 ODESSA - FIRST FLOOR PLAN - ELEVATION D  
SCALE 1/4" = 1'-0"

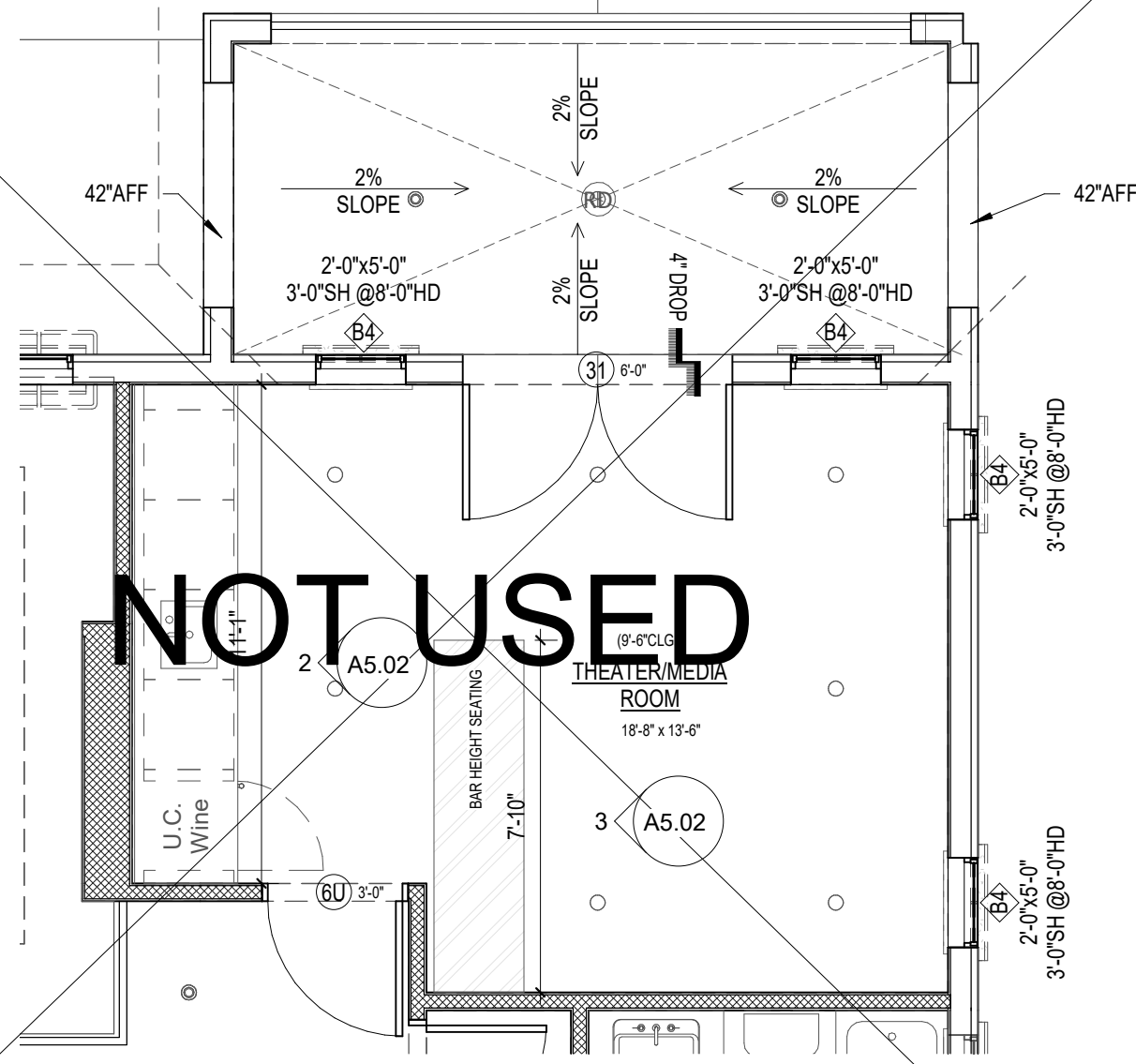


- GENERAL NOTES**
- ALL GYP BD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
  - WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE, PER DETAIL.
  - FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
  - ALL INTERIOR PARTITION, PENETRATIONS, OTHER OPENINGS IN THE BUILDING SHELL SHALL BE SEALED, GASKETED, OR WEATHER STRIPPED.
  - PROVIDE METAL STUD ANCHOR BRACKETS AS DETAIL AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, ETC.
  - ALL DIMENSIONS TO THE EXTERIOR WALL ARE TO THE INSIDE FACE.
  - ALL WOOD TO BE FIRE RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
  - ALL GYP BD PARTITIONS RECEIVING RUBBER BASE TO BE FINISHED SMOOTH TO THE SLAB.
  - ALL PARTITIONS ARE DIMENSIONED FROM FACE OF PARTITION TYPE AS INDICATED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES.
  - DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN +/- 1/8" WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
  - ALL CASEWORK, TO BE PREMIUM GRADE OR BETTER AS DEFINED BY THE ARCHITECTURAL WOOD INSTITUTE OR WIC.

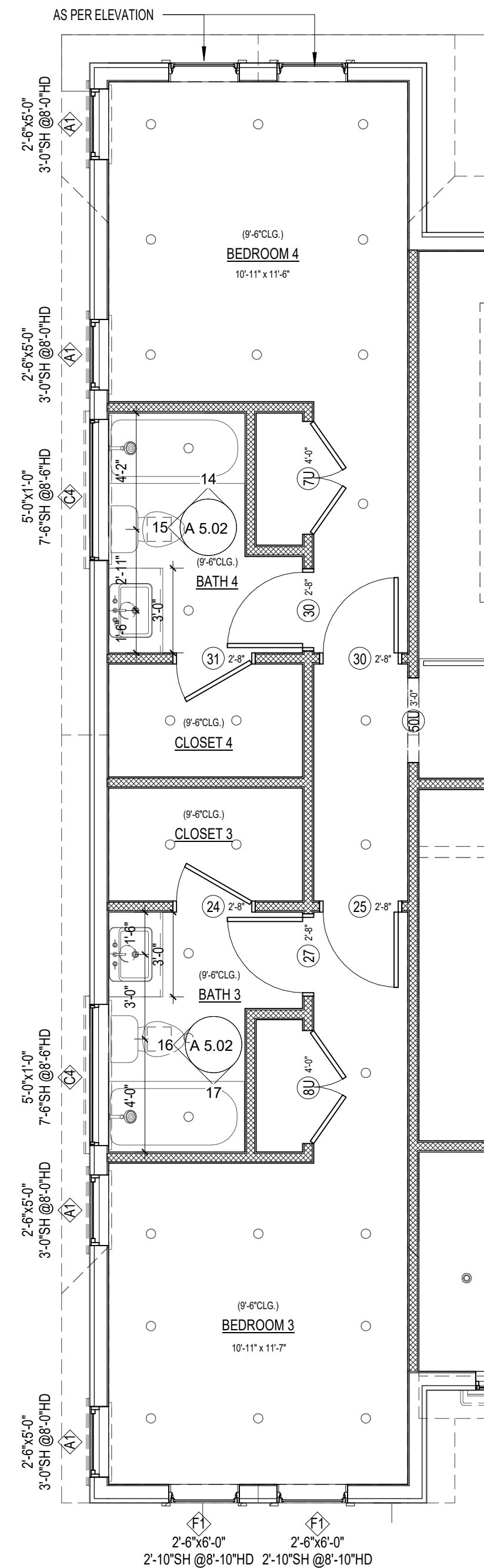
3 ODESSA - SECOND FLOOR - DESIGN OPTION 8 - SOUNDPROOF ROOM/WORKOUT ROOM  
 SCALE 1/4" = 1'-0"



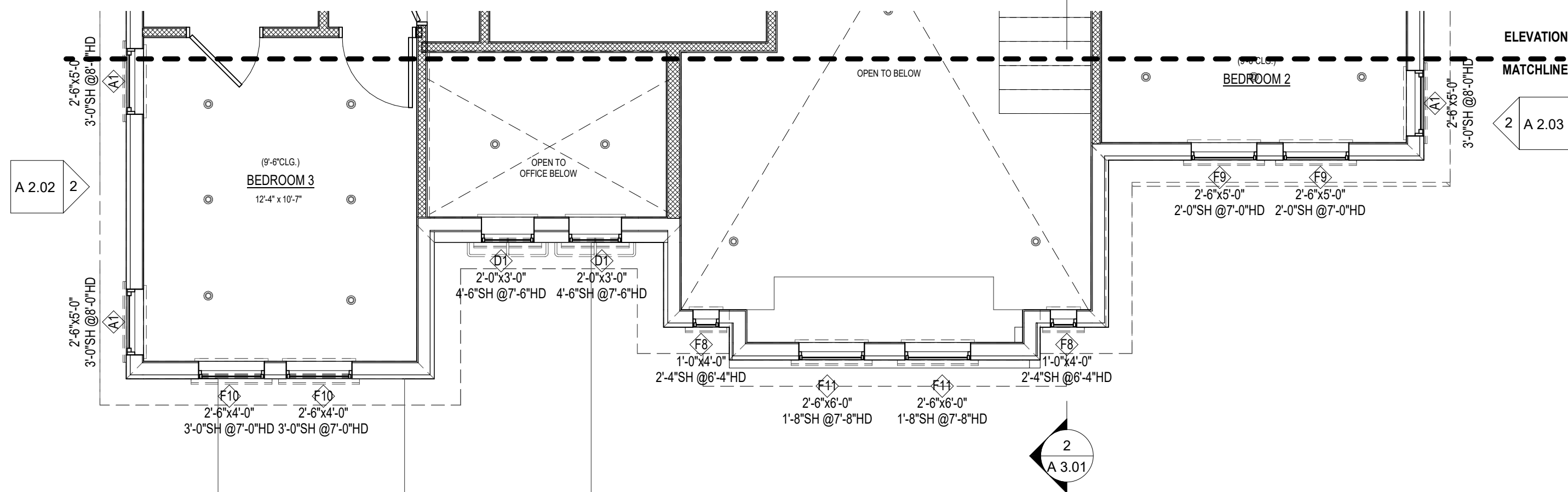
4 ODESSA - SECOND FLOOR - DESIGN OPTION 7 - THEATER/MEDIA ROOM  
 SCALE 1/4" = 1'-0"



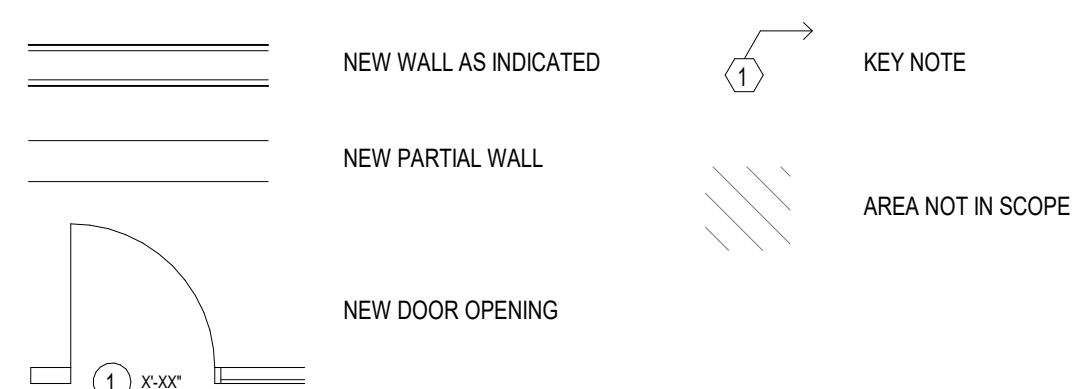
5 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 4  
 SCALE 1/4" = 1'-0"



2 ODESSA - SECOND FLOOR - ELEVATION D  
 SCALE 1/4" = 1'-0"



### FLOOR PLAN LEGEND

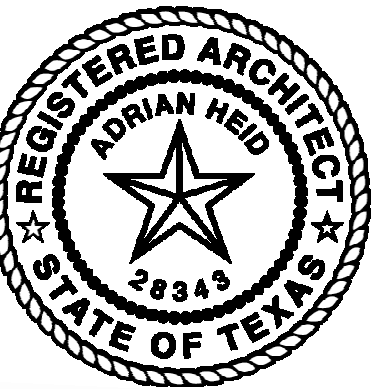


### GENERAL NOTES

- ALL GYP BD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE, PER DETAIL.
- FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
- ALL INTERIOR PARTITION, PENETRATIONS, OTHER OPENINGS IN THE BUILDING SHELL SHALL BE SEALED, GASKETED, OR WEATHER STRIPPED.
- PROVIDE METAL STUD ANCHOR BRACKETS AS DETAIL AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, ETC.
- ALL DIMENSIONS TO THE EXTERIOR WALL ARE TO THE INSIDE FACE.
- ALL WOOD TO BE FIRE RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
- ALL GYP BD PARTITIONS RECEIVING RUBBER BASE TO BE FINISHED SMOOTH TO THE SLAB.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF PARTITION TYPE AS INDICATED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES.
- DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN +/- 1/8" WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
- ALL CASEWORK, TO BE PREMIUM GRADE OR BETTER AS DEFINED BY THE ARCHITECTURAL WOOD INSTITUTE OR WIC.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



07/23/2023

**FRENCH QUARTER - ODESSA**  
 PERMIT DOCUMENTS  
 17819 SOUTH BLUE HERON BAY CIRCLE  
 MONTGOMERY, TX 77316

### SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

**SECOND FLOOR PLAN**

JOB NUMBER SHEET NUMBER

2311

DATE  
07/23/2023

**A 1.02**











DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK, THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



07/23/2023

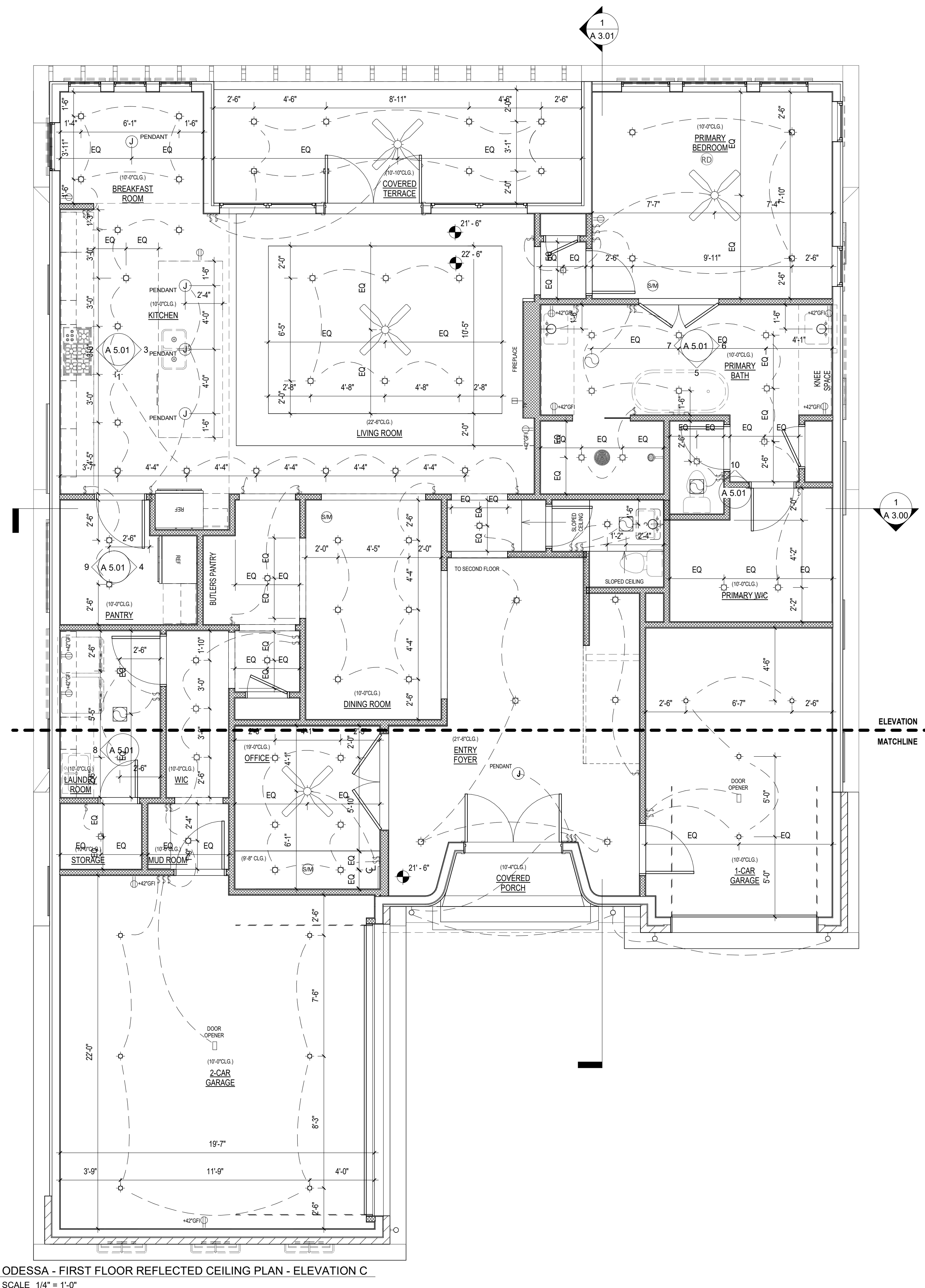
**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

**SHEET ISSUE / REVISION LOG**

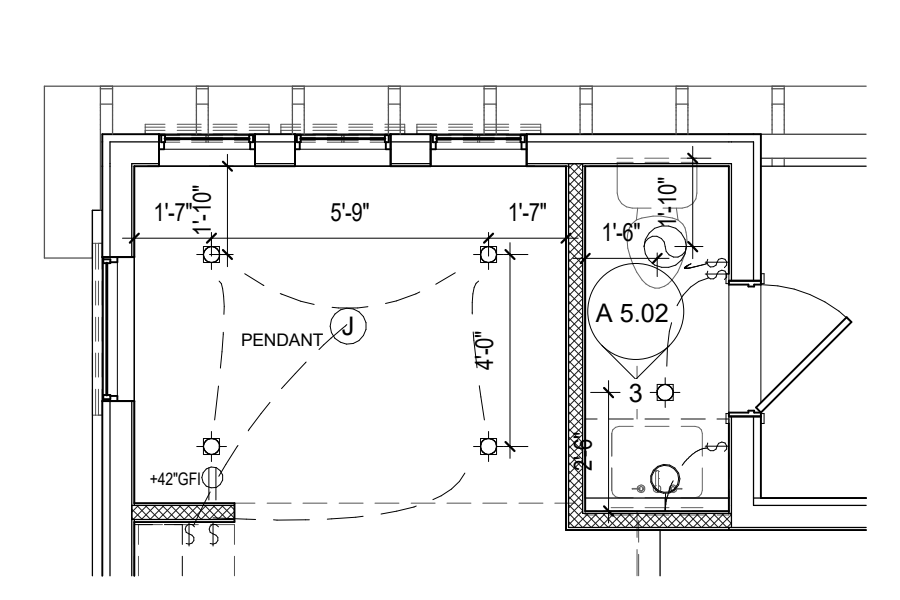
No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

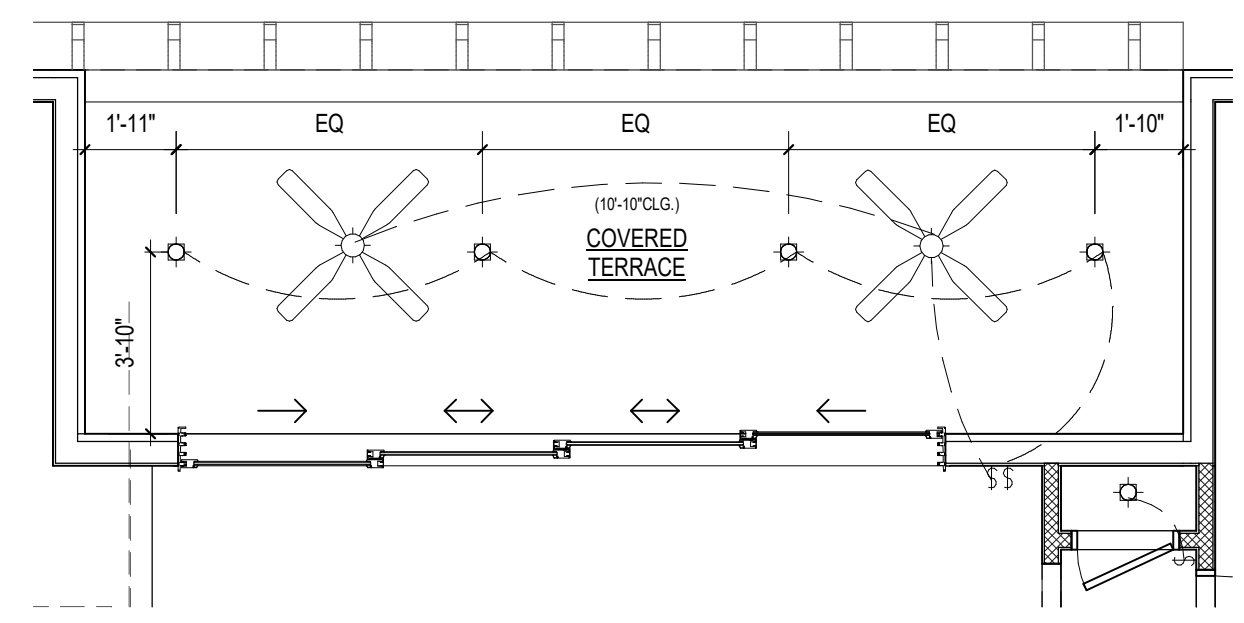
## FIRST FLOOR REFLECTED CEILING PLAN



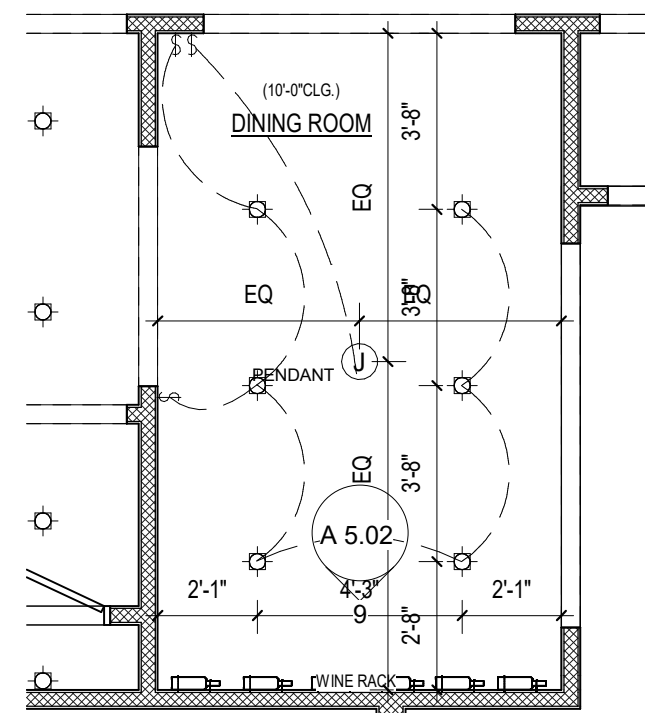
① ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - ELEVATION C  
SCALE 1/4" = 1'-0"



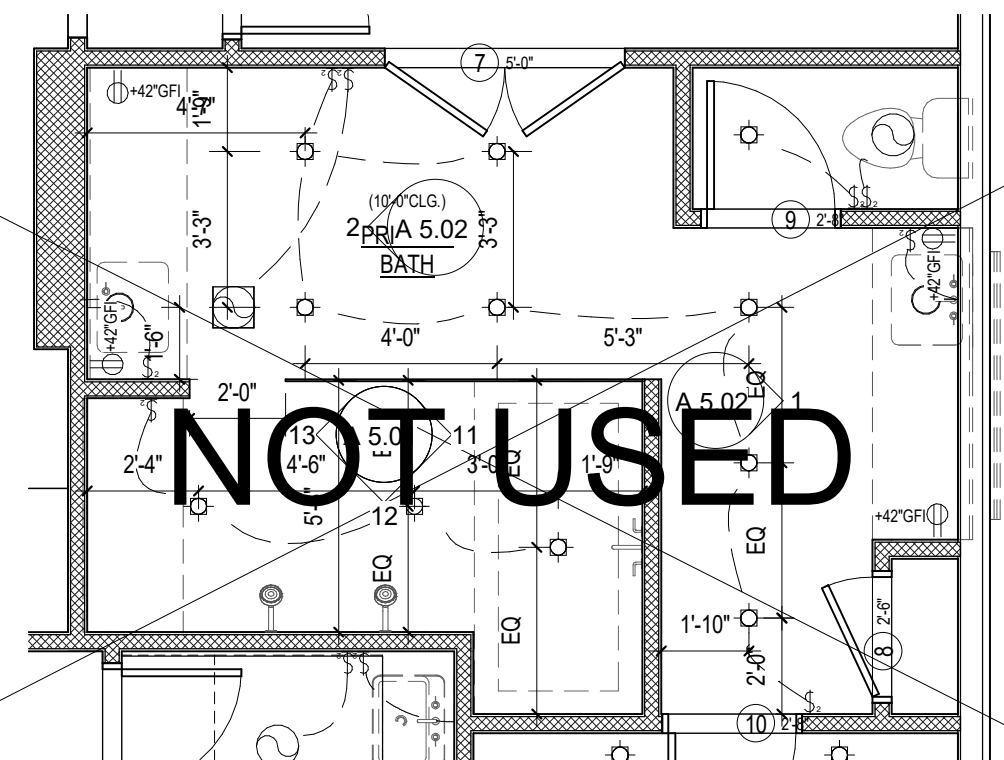
⑥ ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 2 - POOL BATH\_C&D  
SCALE 1/4" = 1'-0"



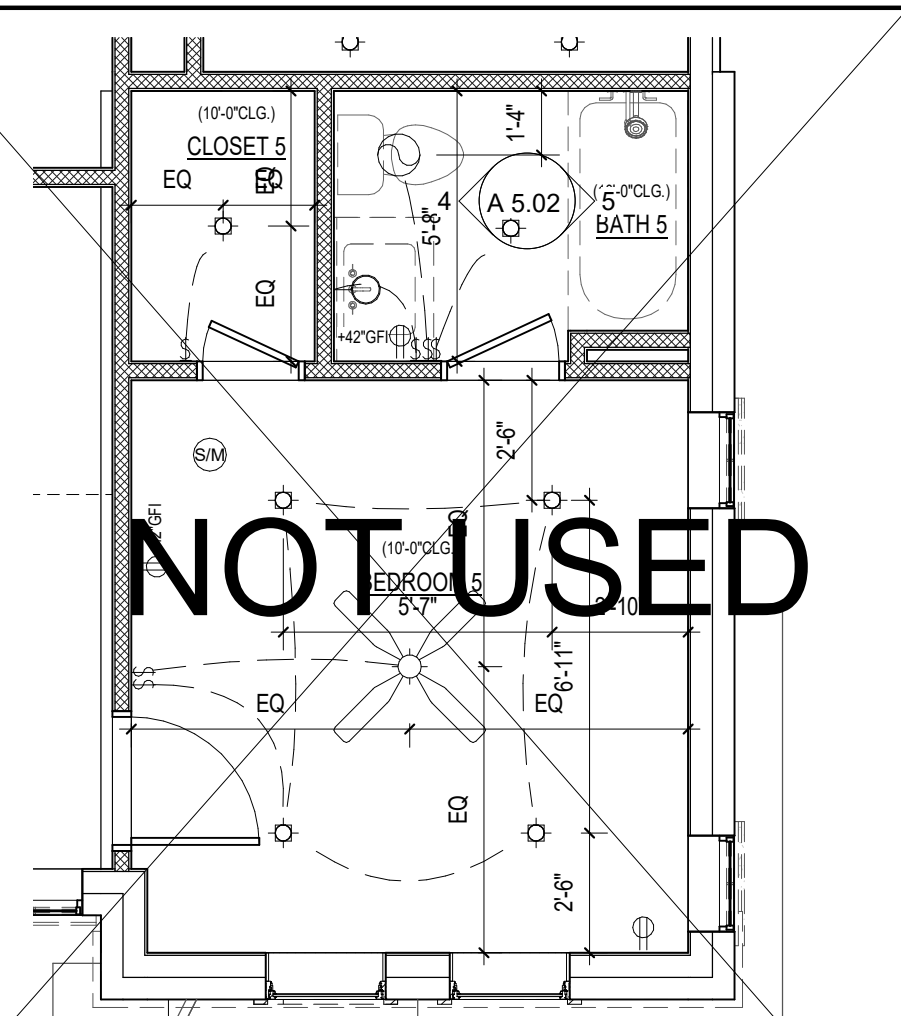
⑦ ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 4 - MULTI-STACK SLIDER\_C&D  
SCALE 1/4" = 1'-0"



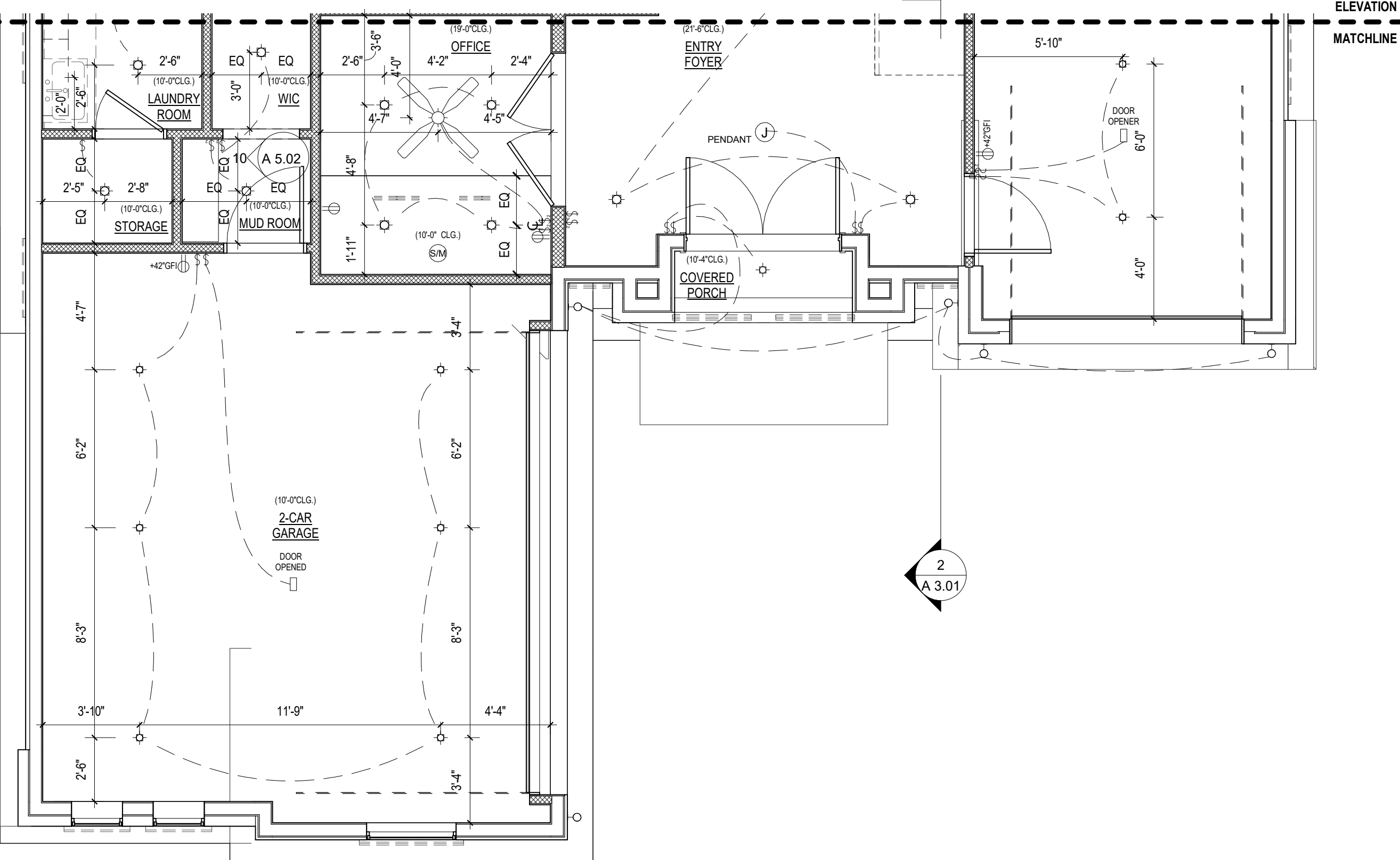
⑤ ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 3-WINE RACK\_C&D  
SCALE 1/4" = 1'-0"



③ ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 1- PRIMARY BATH SHOWER/TUB  
SCALE 1/4" = 1'-0"



④ ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 5\_C&D  
SCALE 1/4" = 1'-0"



② ODESSA - FIRST FLOOR REFLECTED CEILING PLAN - ELEVATION D  
SCALE 1/4" = 1'-0"

### REFLECTED CEILING GENERAL NOTES

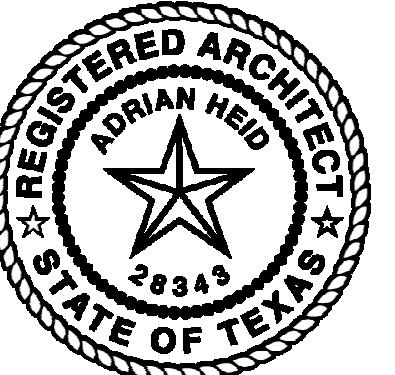
- GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
- CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR TO FINISH CEILING.
- CONTRACTOR TO COORDINATE ALL CEILING FIXTURES CLOSELY WITH OTHER TRADES AND CONSULT ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO FRAME ALL CEILINGS ADEQUATELY TO ANCHOR ALL NECESSARY FIXTURES.
- ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK TO BE PERFORMED BY LICENSED CONTRACTORS.

### RCP SYMBOL LEGEND




DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



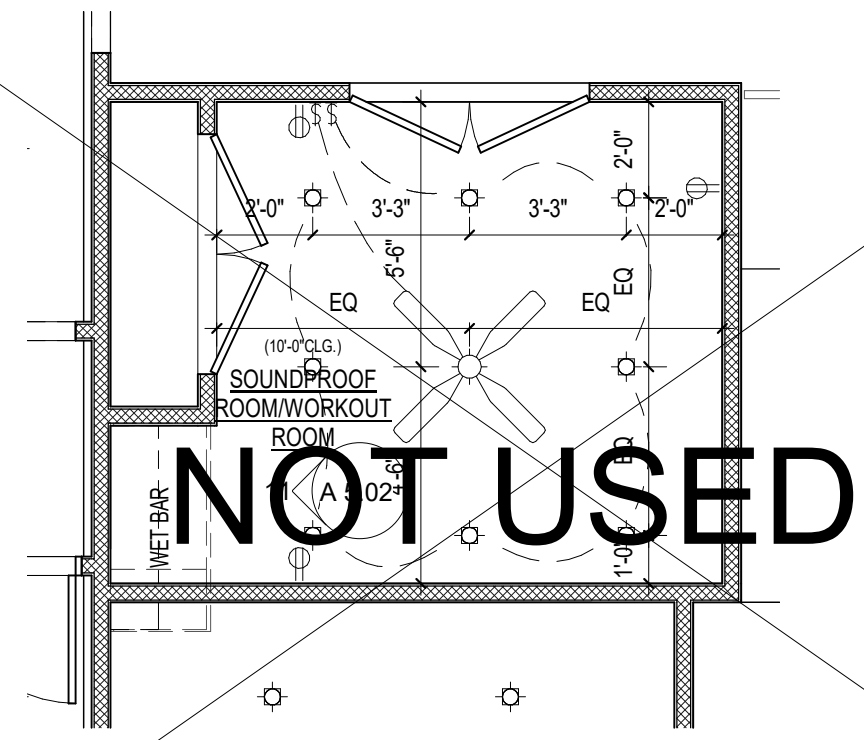
07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

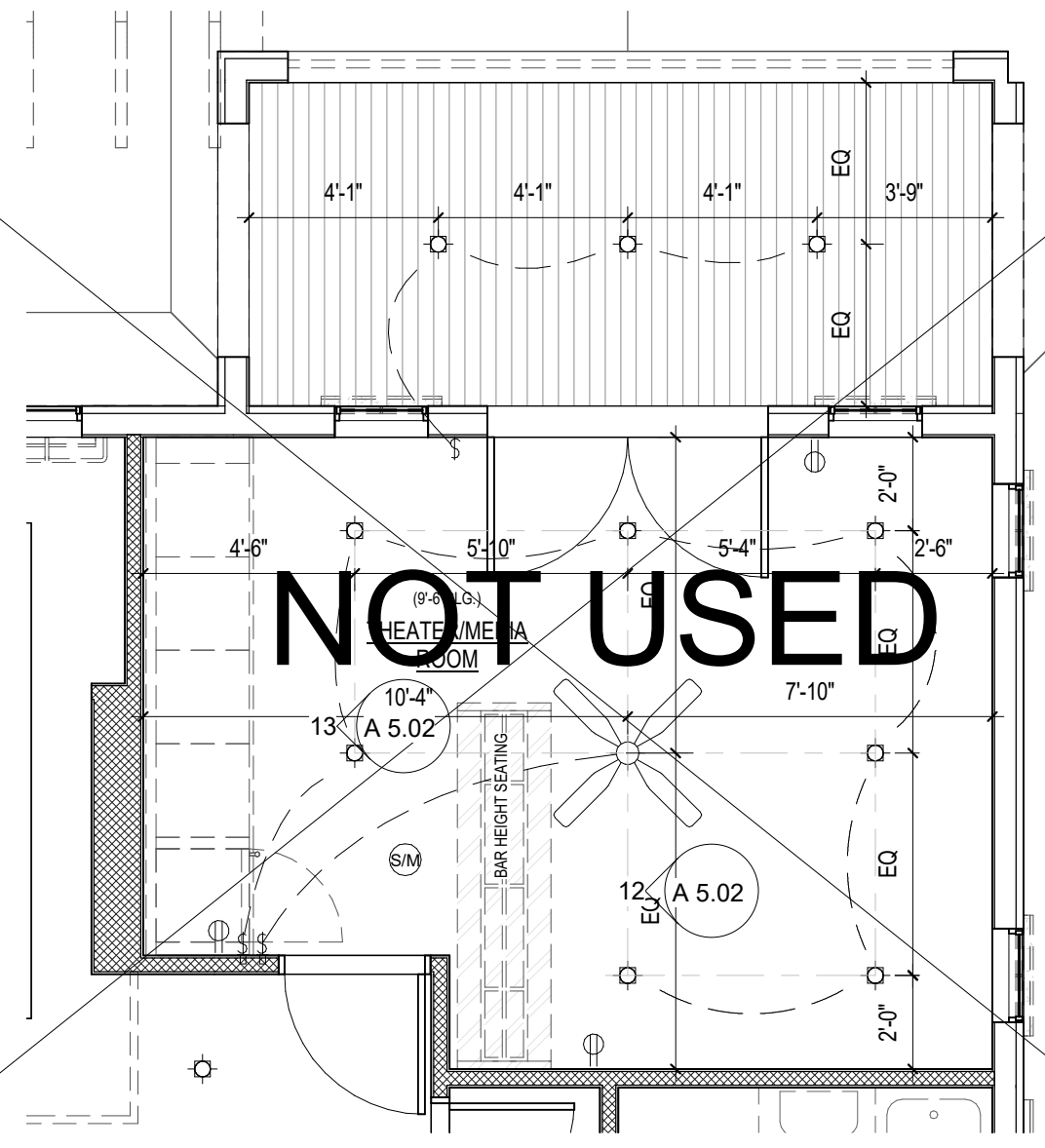
SHEET ISSUE / REVISION LOG		
No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE  
**SECOND FLOOR REFLECTED CEILING PLAN**

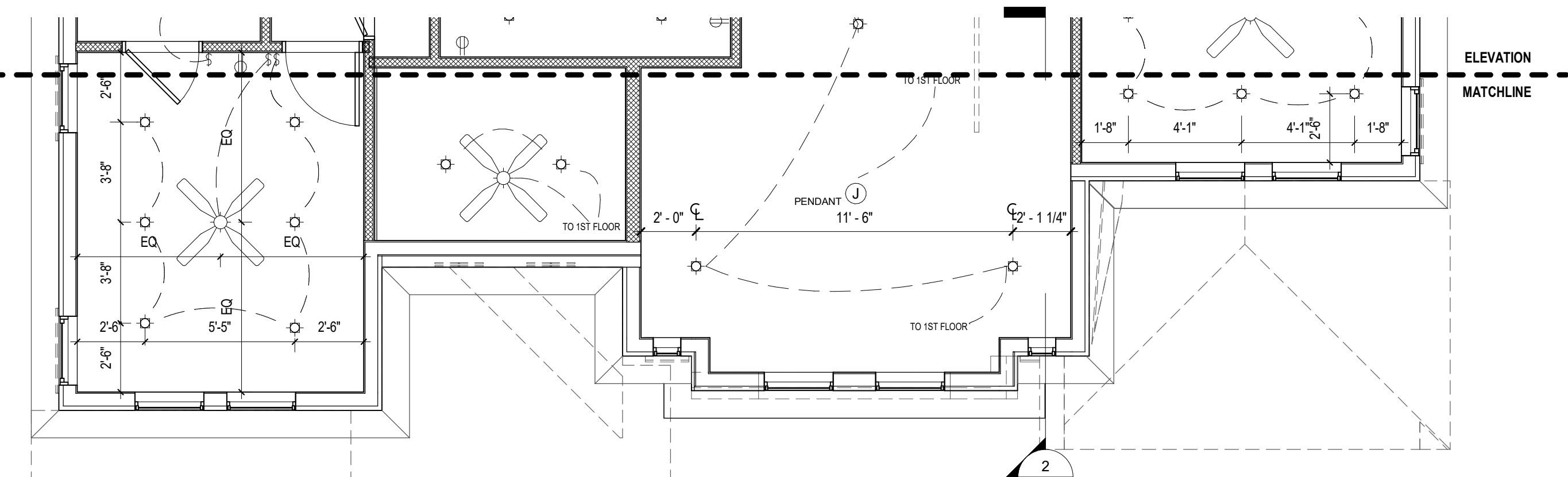
JOB NUMBER: 2311  
DATE: 07/23/2023  
SHEET NUMBER: A 1.22



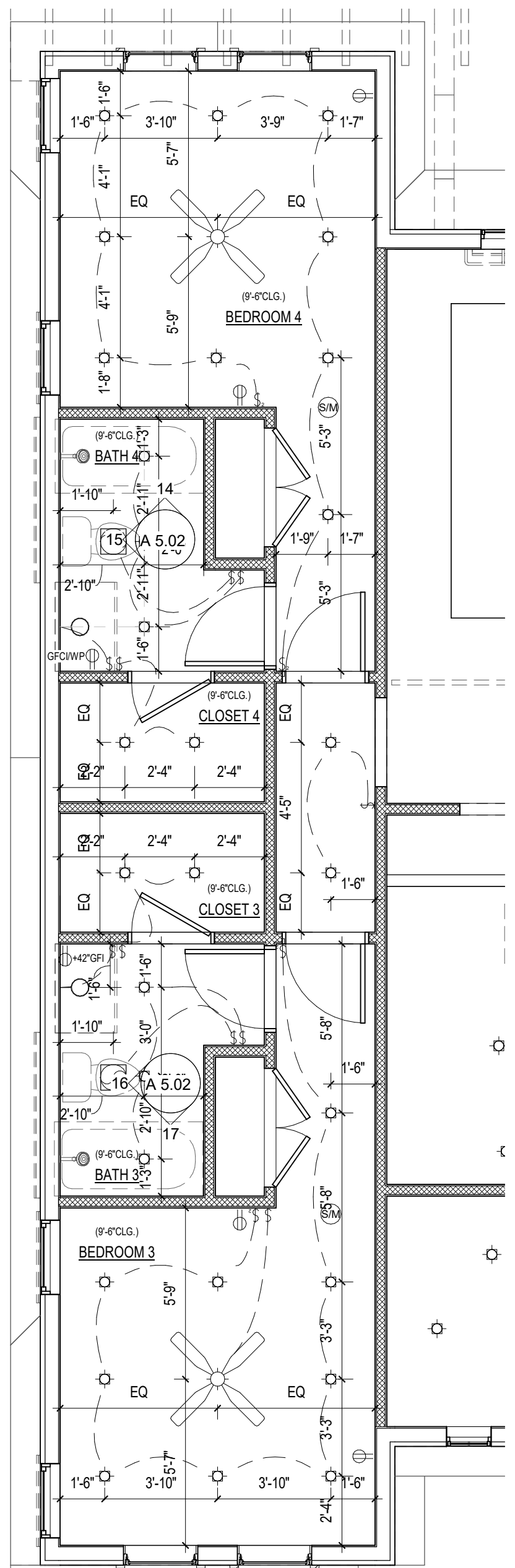
3 ODESSA - SECOND FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 8 - SOUNDPROOF ROOM/WORKOUT ROOM  
SCALE 1/4" = 1'-0"



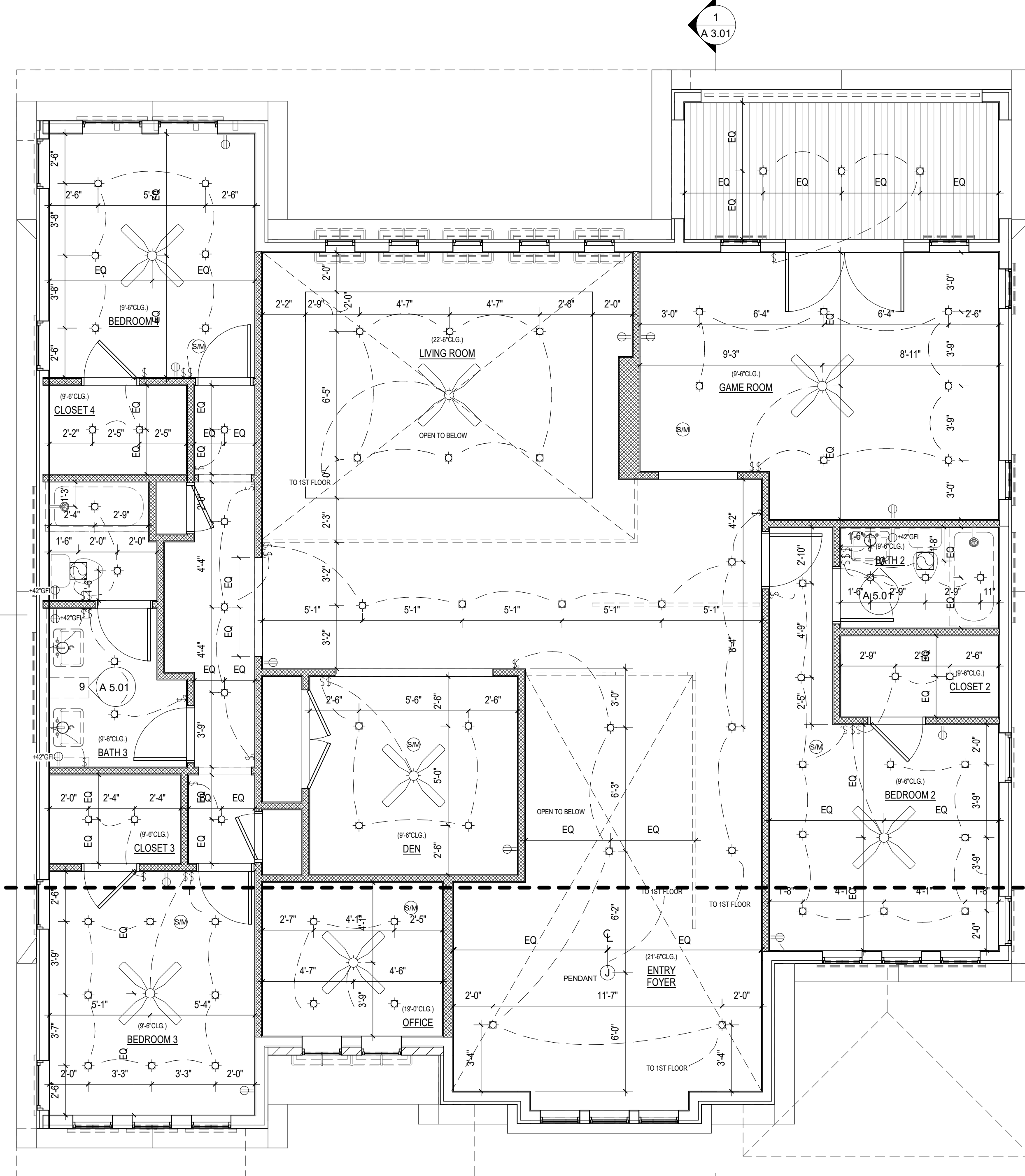
4 ODESSA - SECOND FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 7 - THEATER/MEDIA ROOM  
SCALE 1/4" = 1'-0"



2 ODESSA - SECOND FLOOR REFLECTED CEILING PLAN - ELEVATION D  
SCALE 1/4" = 1'-0"



5 ODESSA - SECOND FLOOR REFLECTED CEILING PLAN - DESIGN OPTION 6 - BATHROOM 4  
SCALE 1/4" = 1'-0"

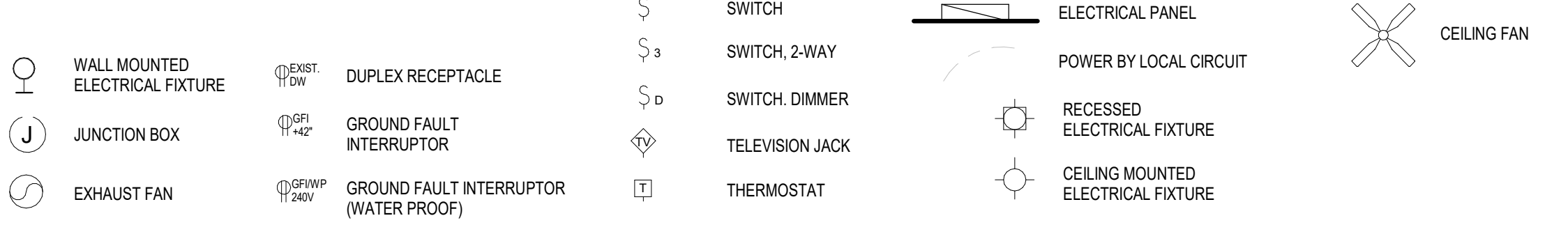


1 ODESSA - SECOND FLOOR REFLECTED CEILING PLAN - ELEVATION C  
SCALE 1/4" = 1'-0"

**REFLECTED CEILING GENERAL NOTES**

- GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
- CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR TO FINISH CEILING.
- CONTRACTOR TO COORDINATE ALL CEILING FIXTURES CLOSELY WITH OTHER TRADES AND CONSULT ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO FRAME ALL CEILINGS ADEQUATELY TO ANCHOR ALL NECESSARY FIXTURES.
- ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK TO BE PERFORMED BY LICENSED CONTRACTORS.

**RCP SYMBOL LEGEND**



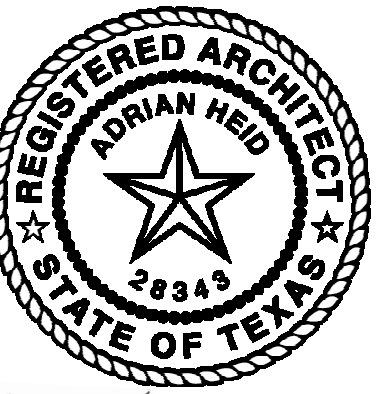
REFLECTED CEILING PLAN





DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUEHERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG		
No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

**SECOND FLOOR PLAN CONSTRUCTION DIMENSIONS**

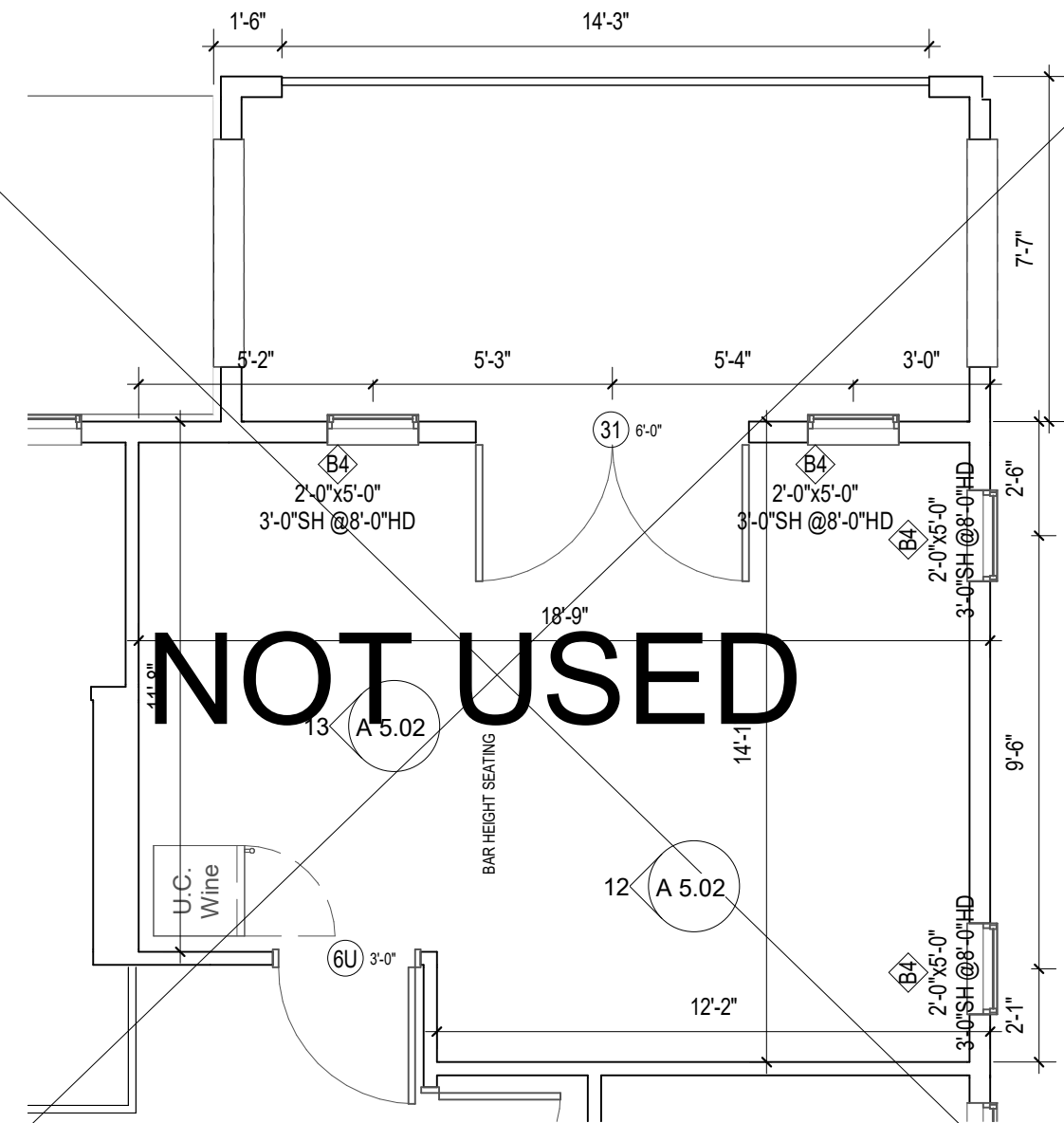
JOB NUMBER SHEET NUMBER

2311

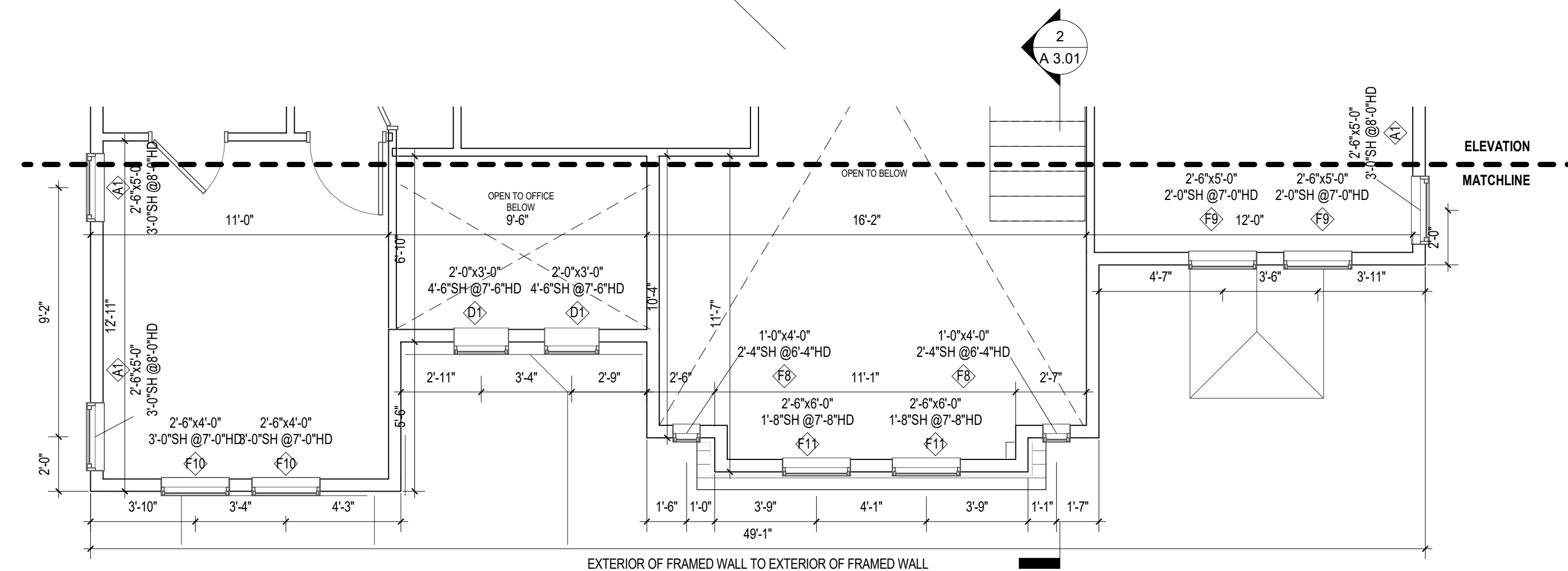
DATE  
07/23/2023

**A 1.32**

4 ODESSA - SECOND FLOOR - DESIGN OPTION 8 - SOUNDPROOF ROOM/WORKOUT ROOM - CONSTRUCTION DIMENSIONS  
SCALE 1/4" = 1'-0"

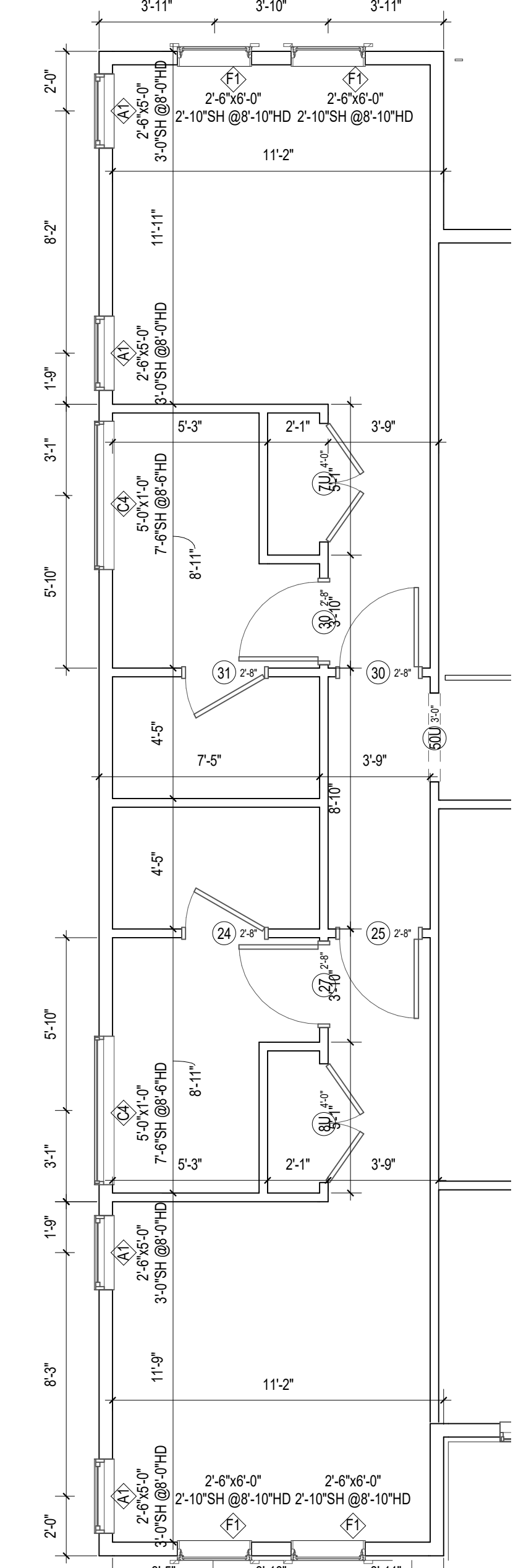


3 ODESSA - SECOND FLOOR - DESIGN OPTION 7 - THEATER/MEDIA ROOM - CONSTRUCTION DIMENSIONS  
SCALE 1/4" = 1'-0"

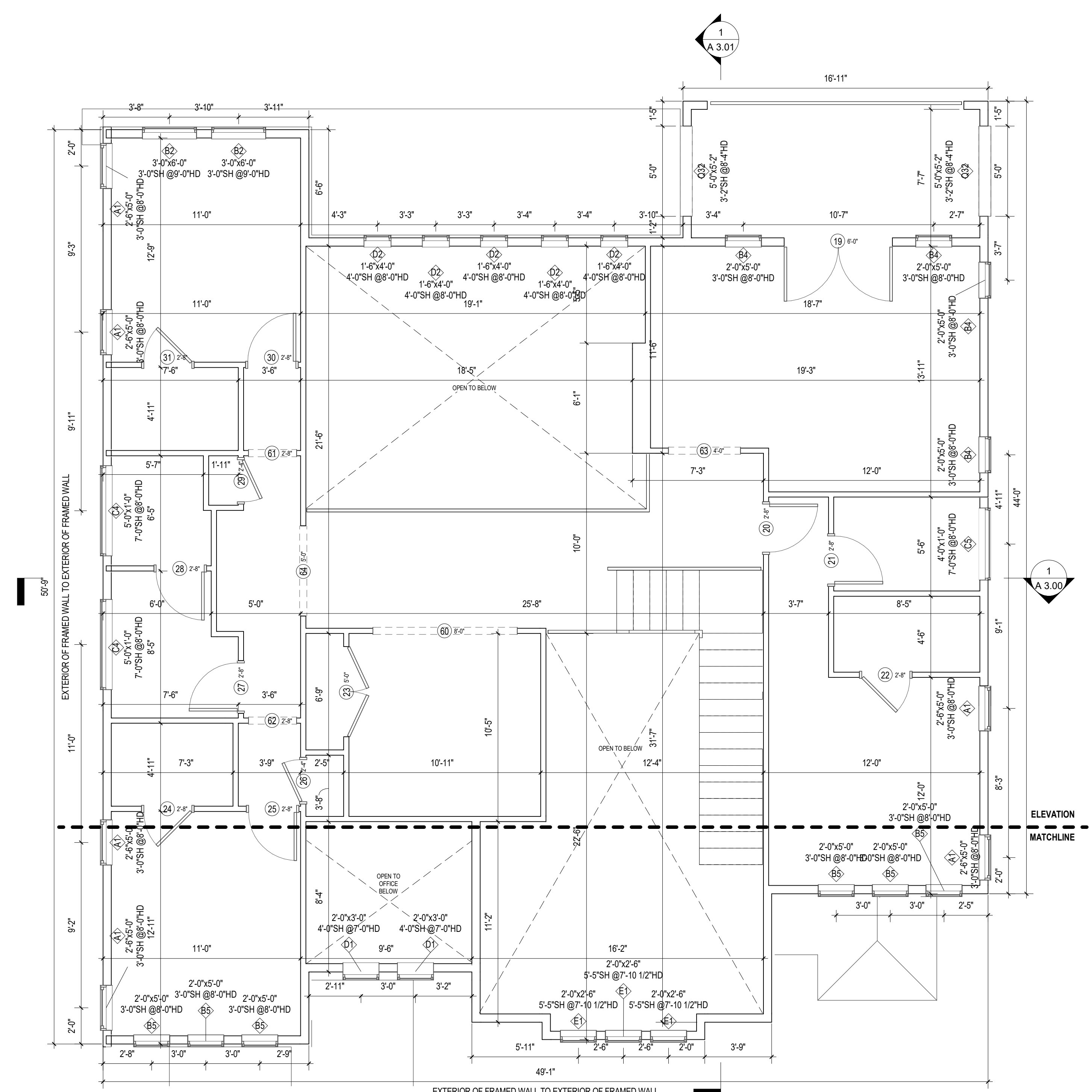


1 ODESSA - SECOND FLOOR - ELEVATION D - CONSTRUCTION DIMENSIONS  
SCALE 1/4" = 1'-0"

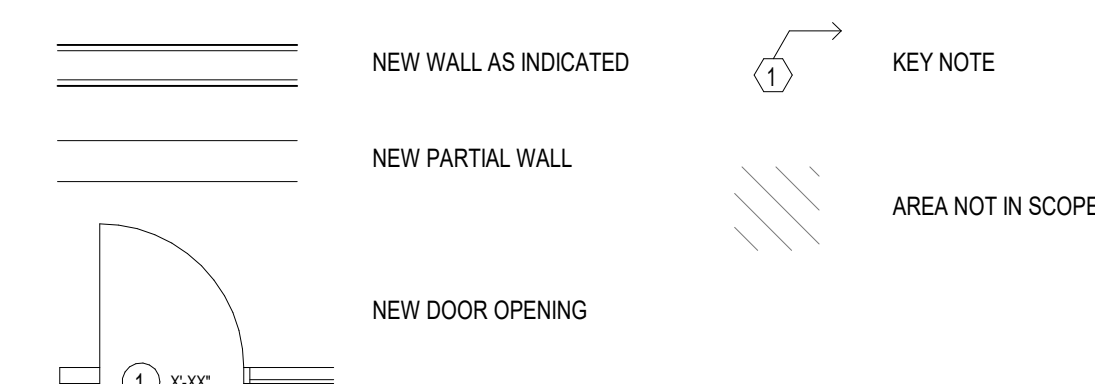
5 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 4 - CONSTRUCTION DIMENSIONS  
SCALE 1/4" = 1'-0"



2 ODESSA - SECOND FLOOR - ELEVATION C - CONSTRUCTION DIMENSIONS  
SCALE 1/4" = 1'-0"



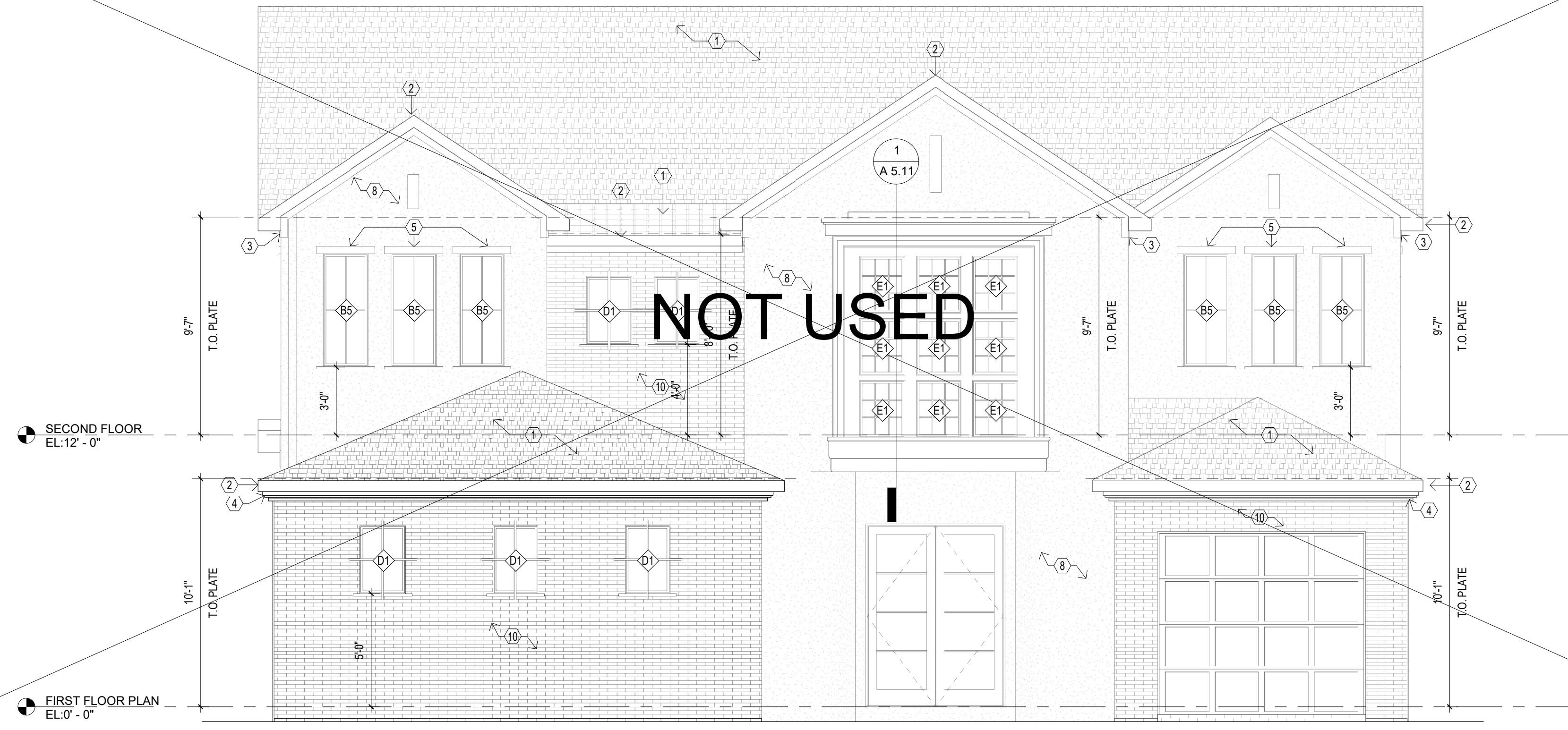
**FLOOR PLAN LEGEND**



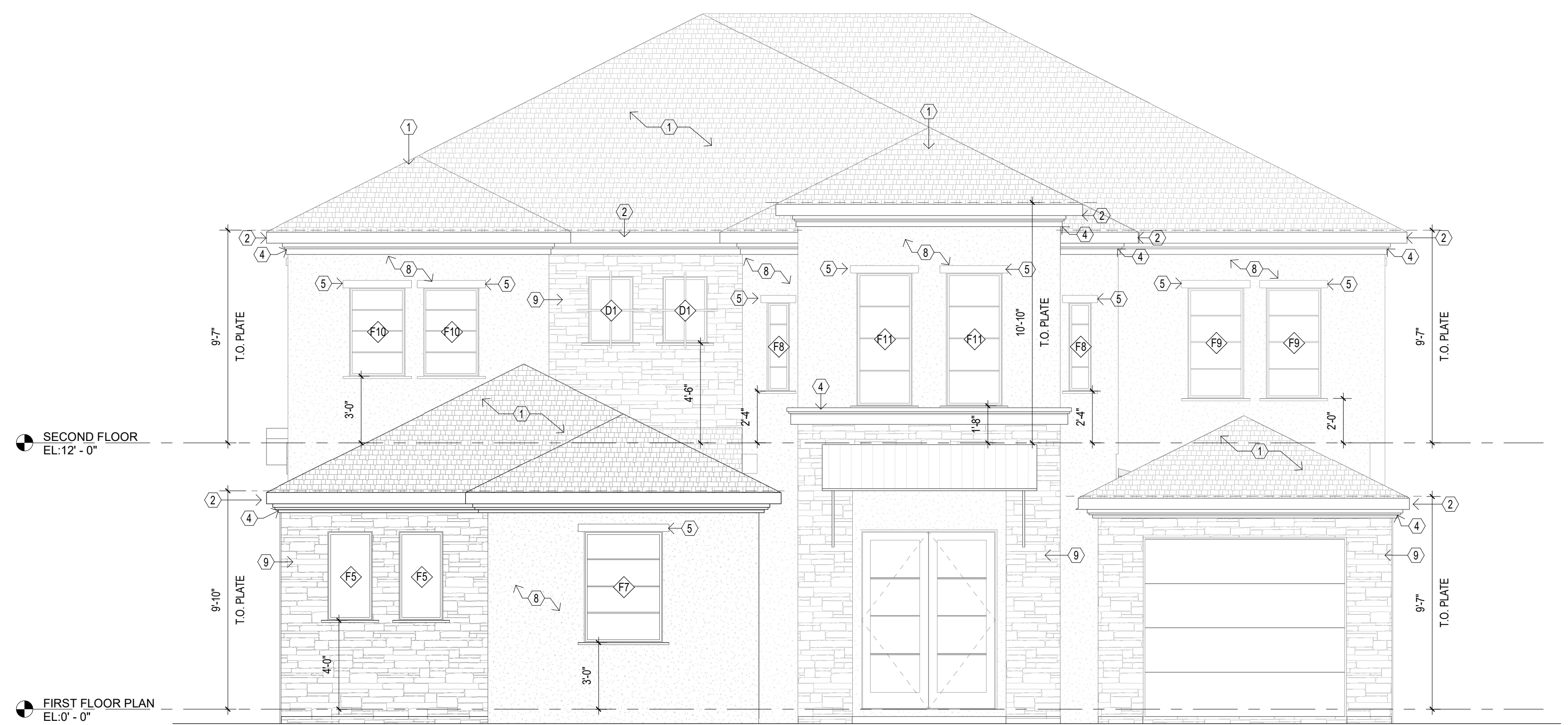
**GENERAL NOTES**

- ALL GYP BD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE, PER DETAIL.
- FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
- ALL INTERIOR PARTITION, PENETRATIONS, OTHER OPENINGS IN THE BUILDING SHELL SHALL BE SEALED, GASKETED, OR WEATHER STRIPPED.
- PROVIDE METAL STUD ANCHOR BRACKETS AS DETAIL AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, ETC.
- ALL DIMENSIONS TO THE EXTERIOR WALL ARE TO THE INSIDE FACE.
- ALL WOOD TO BE FIRE RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
- ALL GYP BD PARTITIONS RECEIVING RUBBER BASE TO BE FINISHED SMOOTH TO THE SLAB.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF PARTITION TYPE AS INDICATED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES.
- DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN +/- 1/8" WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
- ALL CASEWORK, TO BE PREMIUM GRADE OR BETTER AS DEFINED BY THE ARCHITECTURAL WOOD INSTITUTE OR WIC.



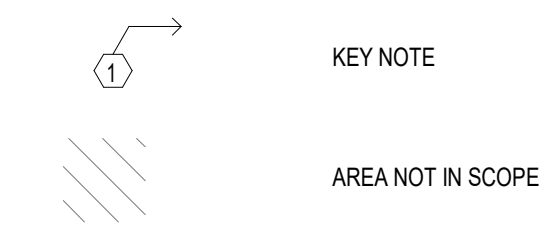


① ODESSA - FRONT ELEVATION C  
SCALE 1/4" = 1'-0"



② ODESSA - FRONT ELEVATION D  
SCALE 1/4" = 1'-0"

LEGEND



KEYNOTES - ELEVATIONS

- 1 COMPOSITE SHINGLES
- 2 6" FASCIA (SMOOTH) TYP.
- 3 4" FREEZE (SMOOTH)
- 4 MOLDING (SMOOTH)
- 5 STUCCO BANDING TYP.
- 6 RAFTER TYPE 1
- 7 RAFTER TYPE 2
- 8 SMOOTH STUCCO
- 9 STONE
- 10 BRICK
- 11 3" TRANSITION BOARD

TRIM GENERAL NOTES

- 1. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
- 2. WINDOWS AND DOORS INSTALLED OVER ANY TYPE OF SIDING TO RECEIVE A 3" SMOOTH TRIM ALL AROUND.
- 3. OPERABLE WINDOWS TO RECEIVE A SLOPED SILL. ALL WEEP HOLES IN THE WINDOW ASSEMBLY TO BE CLEAR FROM THE SILL.

ARCHITECT:  
based

Based Architects, LLC  
info@wearebased.com  
832-422-7337  
www.wearebased.com

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023

FRENCH QUARTER - ODESSA  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

EXTERIOR ELEVATIONS

JOB NUMBER

2311

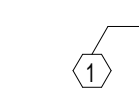

DATE

07/23/2023

SHEET NUMBER

A 2.00

### LEGEND

-  KEY NOTE
-  AREA NOT IN SCOPE

### KEYNOTES - ELEVATIONS

- 1 COMPOSITE SHINGLES
- 2 6" FASCIA (SMOOTH) TYP.
- 3 4" FREEZE (SMOOTH)
- 4 MOLDING (SMOOTH)
- 5 STUCCO BANDING TYP.
- 6 RAFTER TYPE 1
- 7 RAFTER TYPE 2
- 8 SMOOTH STUCCO
- 9 STONE
- 10 BRICK
- 11 3" TRANSITION BOARD

### TRIM GENERAL NOTES

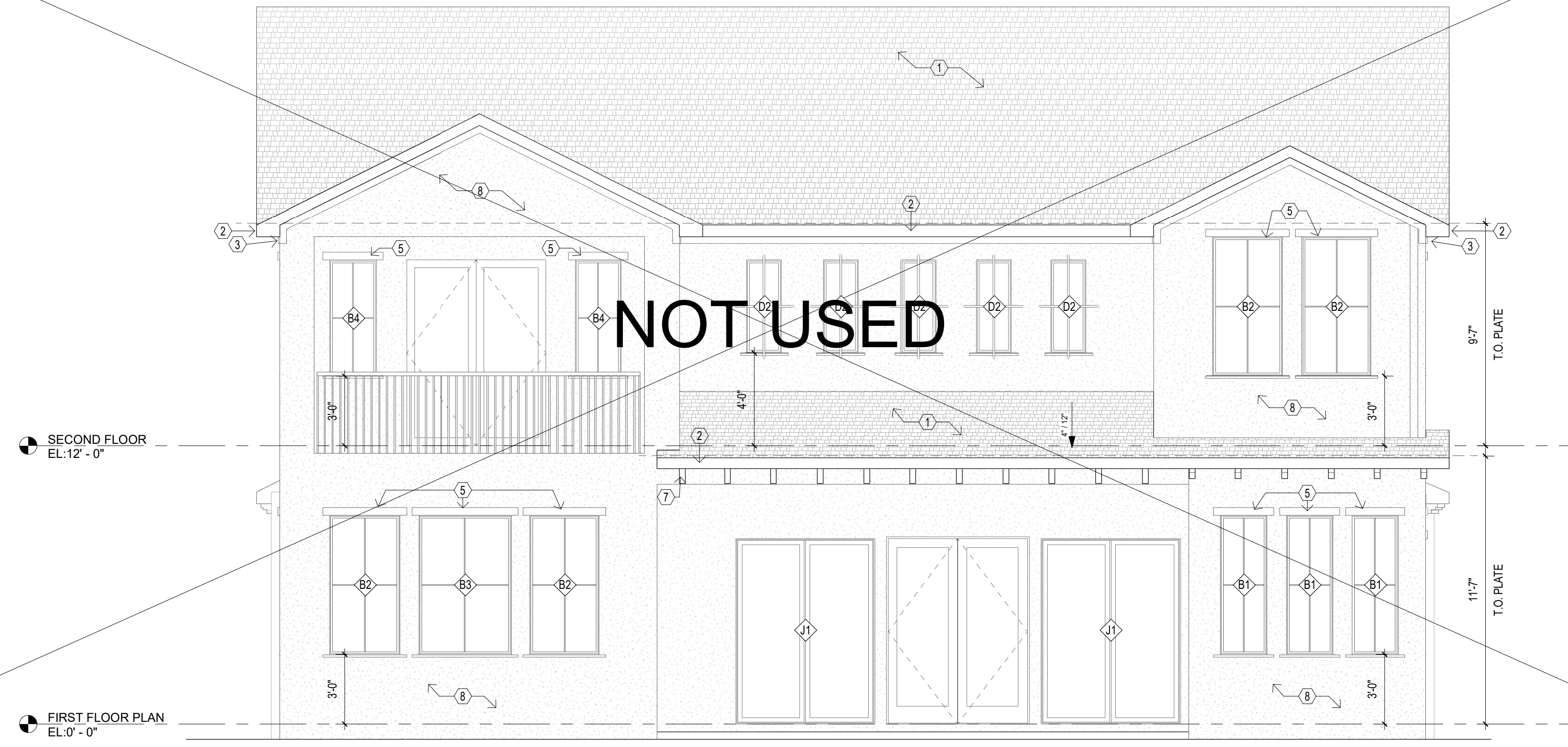
1. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
2. WINDOWS AND DOORS INSTALLED OVER ANY TYPE OF SIDING TO RECEIVE A 3" SMOOTH TRIM ALL AROUND.
3. OPERABLE WINDOWS TO RECEIVE A SLOPED SILL. ALL WEEP HOLES IN THE WINDOW ASSEMBLY TO BE CLEAR FROM THE SILL.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



*Adrian Heid* 07/23/2023



1 ODESSA - REAR ELEVATION C  
 SCALE 1/4" = 1'-0"



2 ODESSA - REAR ELEVATION D  
 SCALE 1/4" = 1'-0"

**FRENCH QUARTER - ODESSA**  
 PERMIT DOCUMENTS  
 17819 SOUTH BLUE HERON BAY CIRCLE  
 MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

No.	Description	Date
	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

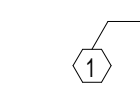

SHEET TITLE  
**EXTERIOR ELEVATIONS**

JOB NUMBER 2311 SHEET NUMBER  
**A 2.01**

DATE  
 07/23/2023



### LEGEND

-  KEY NOTE
-  AREA NOT IN SCOPE

### KEYNOTES - ELEVATIONS

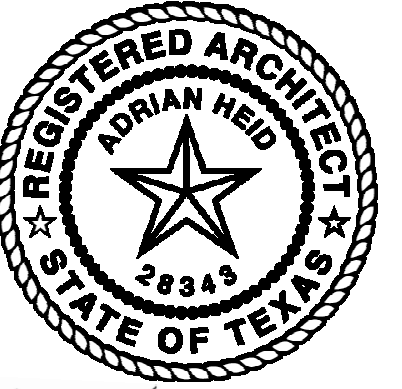
- 1 COMPOSITE SHINGLES
- 2 6" FASCIA (SMOOTH) TYP.
- 3 4" FRIEZE (SMOOTH)
- 4 MOLDING (SMOOTH)
- 5 STUCCO BANDING TYP.
- 6 RAFTER TYPE 1
- 7 RAFTER TYPE 2
- 8 SMOOTH STUCCO
- 9 STONE
- 10 BRICK
- 11 3" TRANSITION BOARD

### TRIM GENERAL NOTES

1. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
2. WINDOWS AND DOORS INSTALLED OVER ANY TYPE OF SIDING TO RECEIVE A 3" SMOOTH TRIM ALL AROUND.
3. OPERABLE WINDOWS TO RECEIVE A SLOPED SILL. ALL WEEP HOLES IN THE WINDOW ASSEMBLY TO BE CLEAR FROM THE SILL.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



*Adrian Heid* 07/23/2023

**FRENCH QUARTER - ODESSA**  
 PERMIT DOCUMENTS  
 17819 SOUTH BLUE HERON BAY CIRCLE  
 MONTGOMERY, TX 77316

#### SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

**EXTERIOR ELEVATIONS**

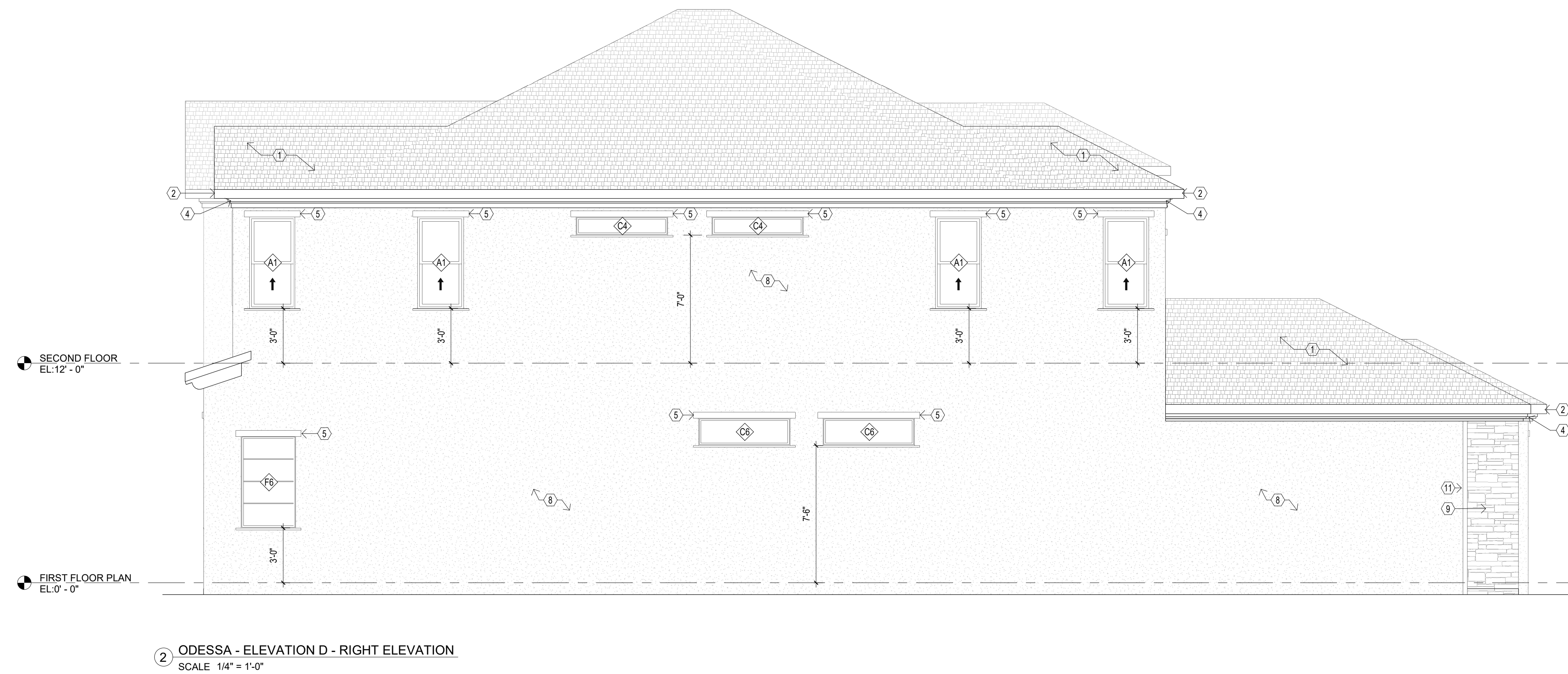
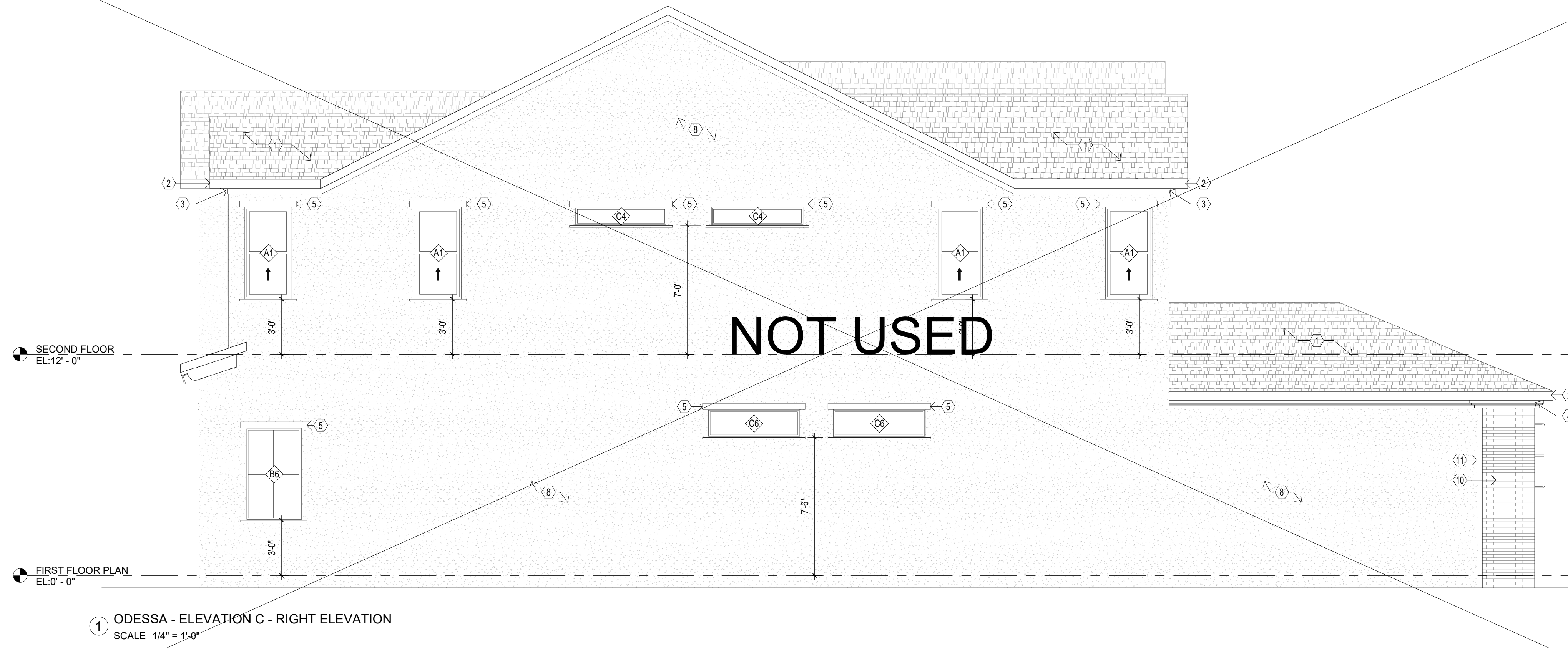
JOB NUMBER

2311

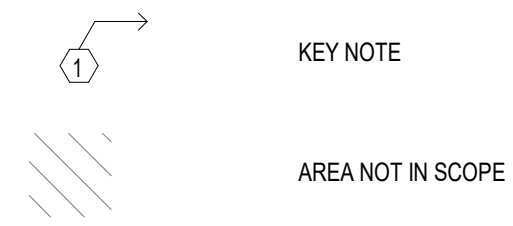
DATE  
07/23/2023

SHEET NUMBER

A 2.02



LEGEND



KEY NOTE

AREA NOT IN SCOPE

KEYNOTES - ELEVATIONS

- 1 COMPOSITE SHINGLES
- 2 6" FASCIA (SMOOTH) TYP.
- 3 4" FREEZE (SMOOTH)
- 4 MOLDING (SMOOTH)
- 5 STUCCO BANDING TYP.
- 6 RAFTER TYPE 1
- 7 RAFTER TYPE 2
- 8 SMOOTH STUCCO
- 9 STONE
- 10 BRICK
- 11 3" TRANSITION BOARD

TRIM GENERAL NOTES

- 1. GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LIGHTING BASED ON FIELD CONDITIONS. CONSULT ARCHITECT OF ANY DISCREPANCIES.
- 2. WINDOWS AND DOORS INSTALLED OVER ANY TYPE OF SIDING TO RECEIVE A 3" SMOOTH TRIM ALL AROUND.
- 3. OPERABLE WINDOWS TO RECEIVE A SLOPED SILL. ALL WEEP HOLES IN THE WINDOW ASSEMBLY TO BE CLEAR FROM THE SILL.

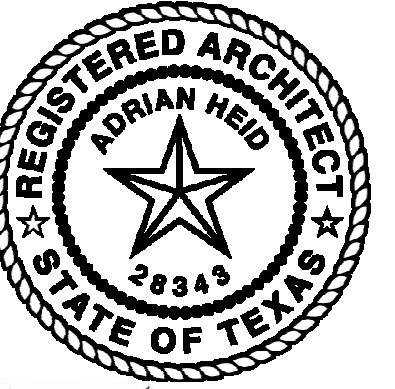
**based**

ARCHITECT:  
**based**

Based Architects, LLC  
info@wearebased.com  
832-422-7337  
www.wearebased.com

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



*Adrian Heid* 07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

**EXTERIOR ELEVATIONS**

JOB NUMBER

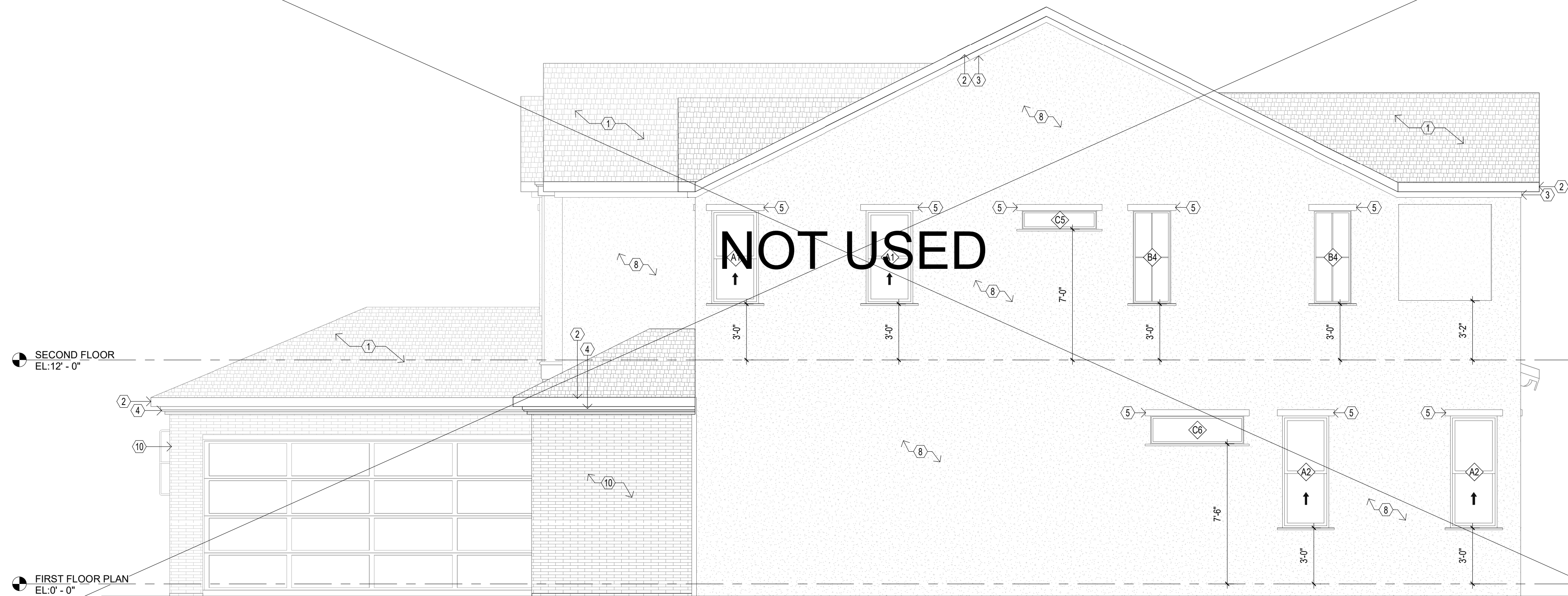
2311

DATE

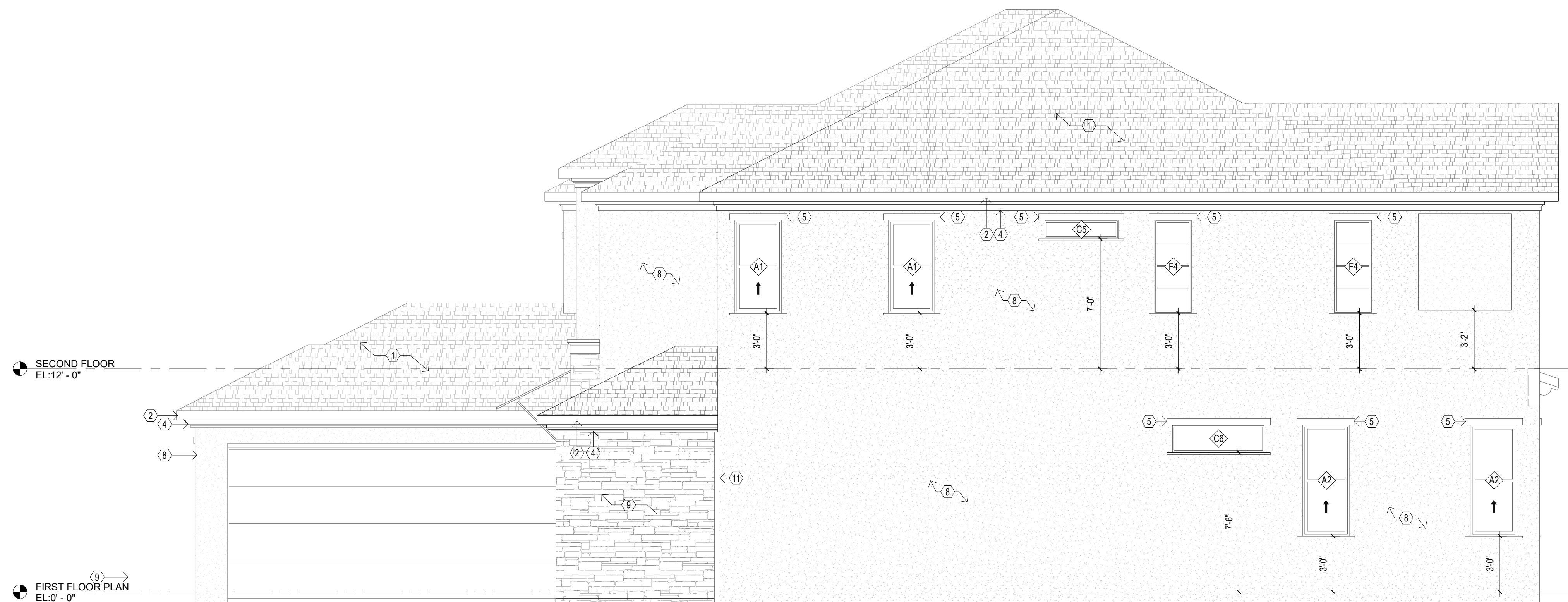
07/23/2023

SHEET NUMBER

A 2.03



1 ODESSA - ELEVATION C - LEFT ELEVATION  
SCALE 1/4" = 1'-0"



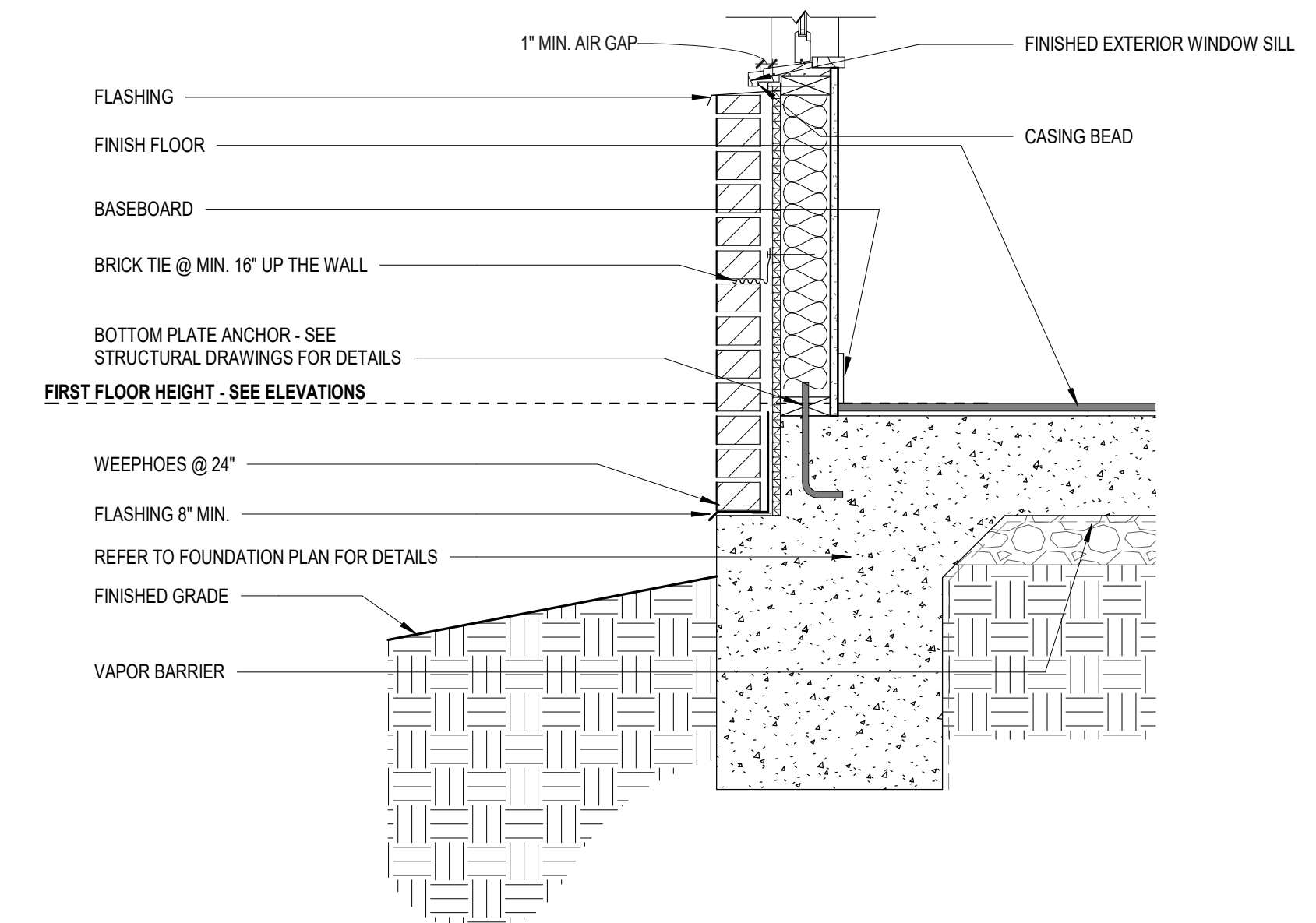
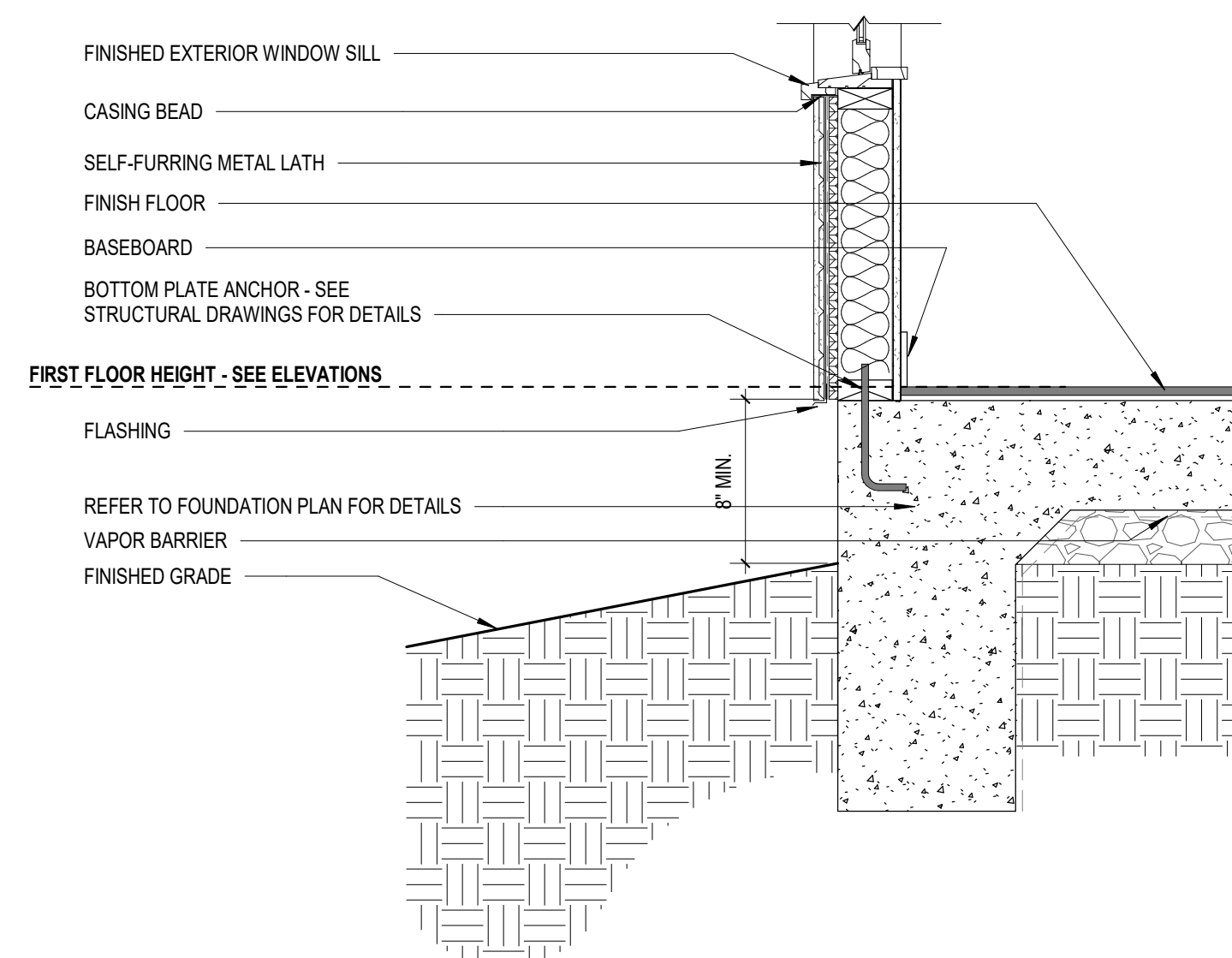
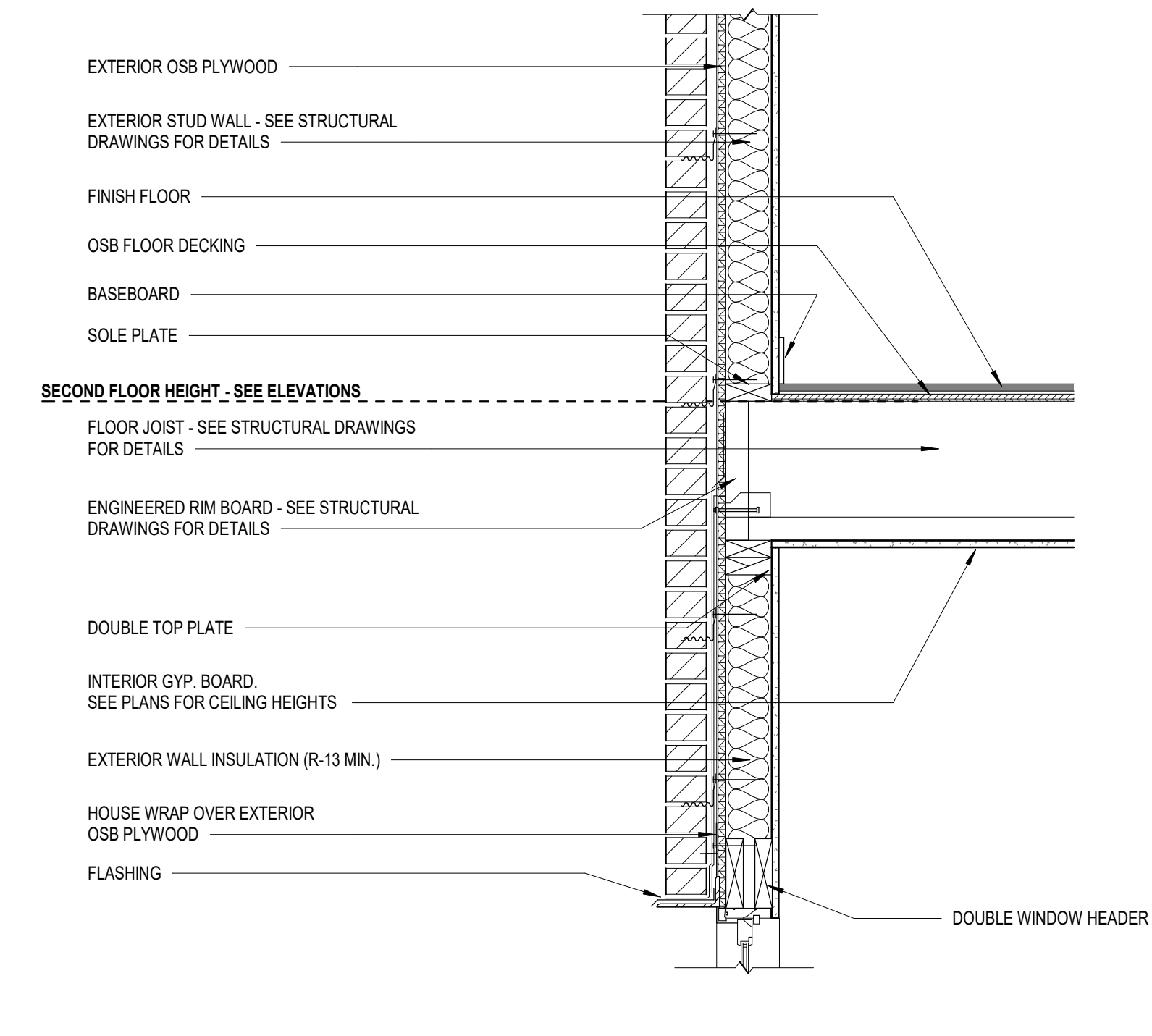
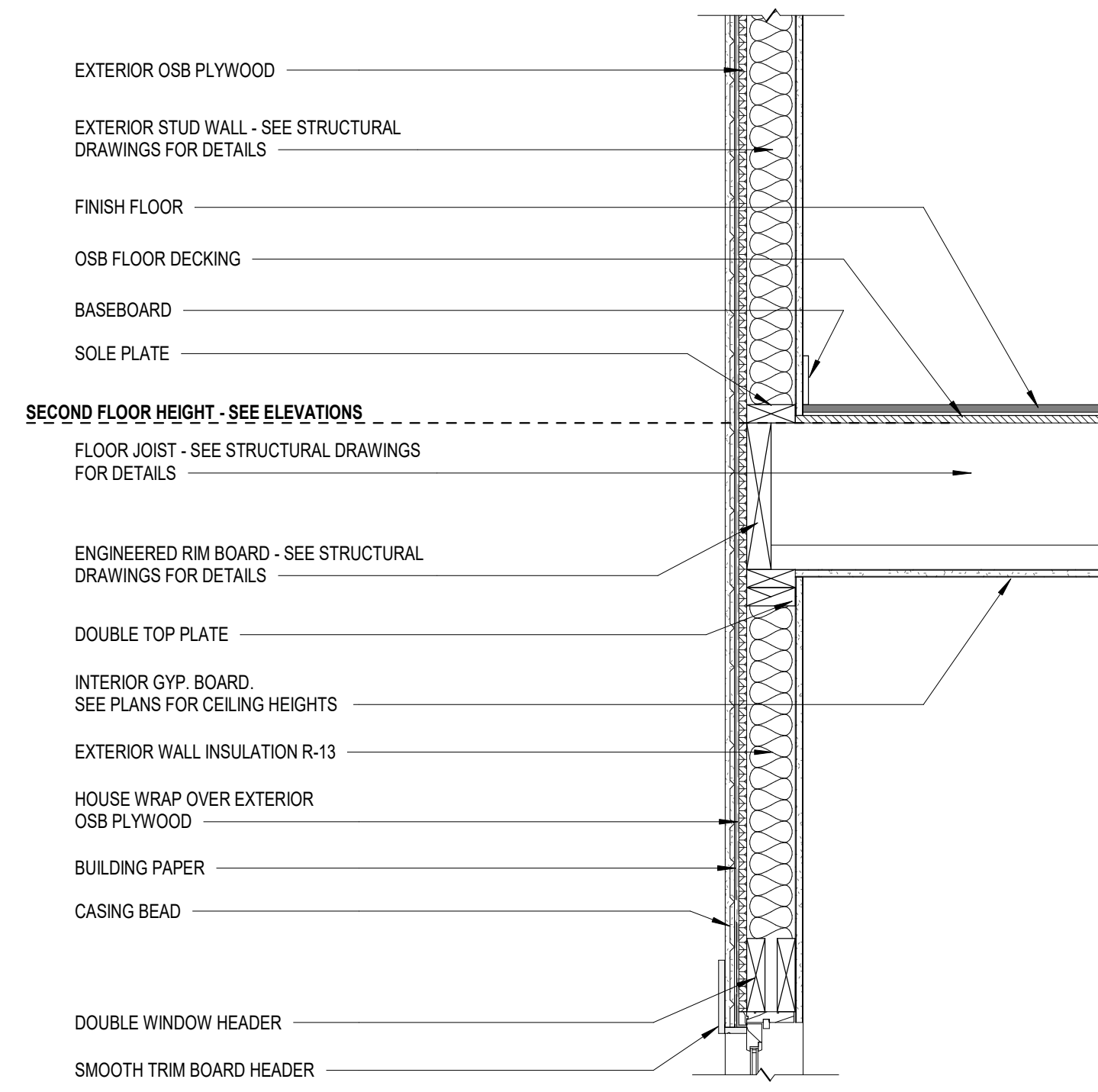
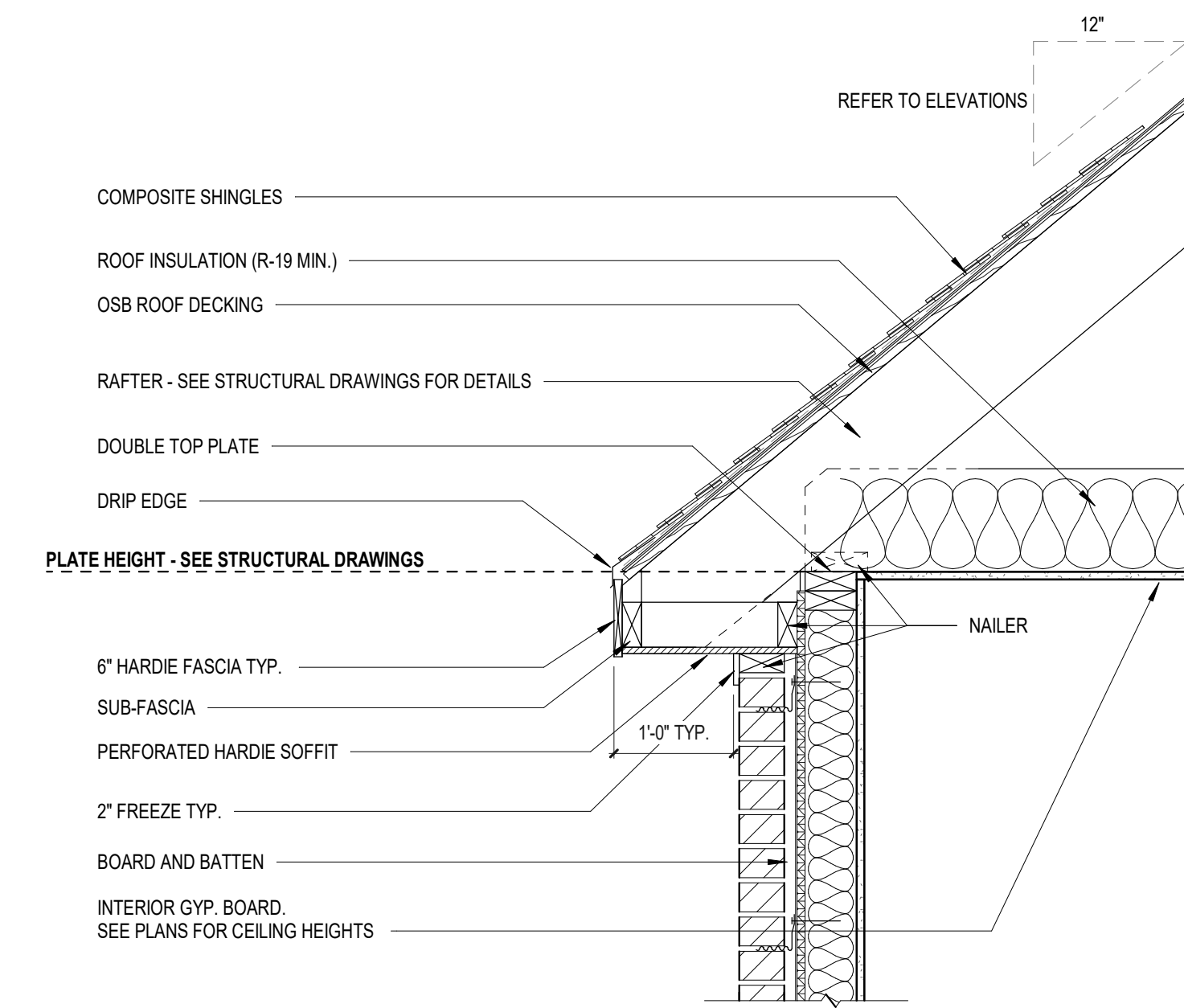
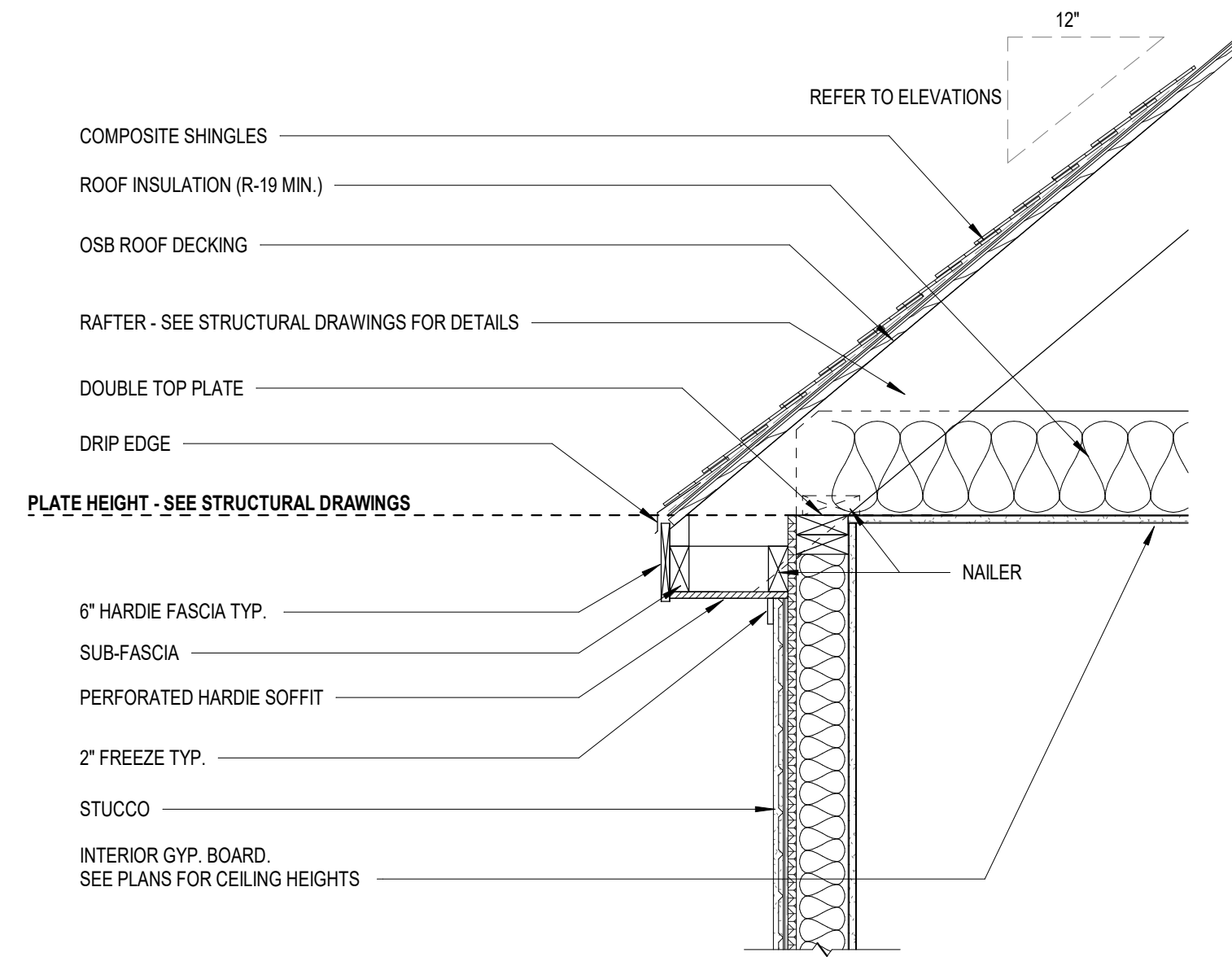
2 ODESSA - ELEVATION D - LEFT ELEVATION  
SCALE 1/4" = 1'-0"











3 TYPICAL EXTERIOR WALL W/ STUCCO  
SCALE: 1" = 1'-0"

4 TYPICAL EXTERIOR WALL W/ BRICK OR STONE FINISH  
SCALE: 1" = 1'-0"

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



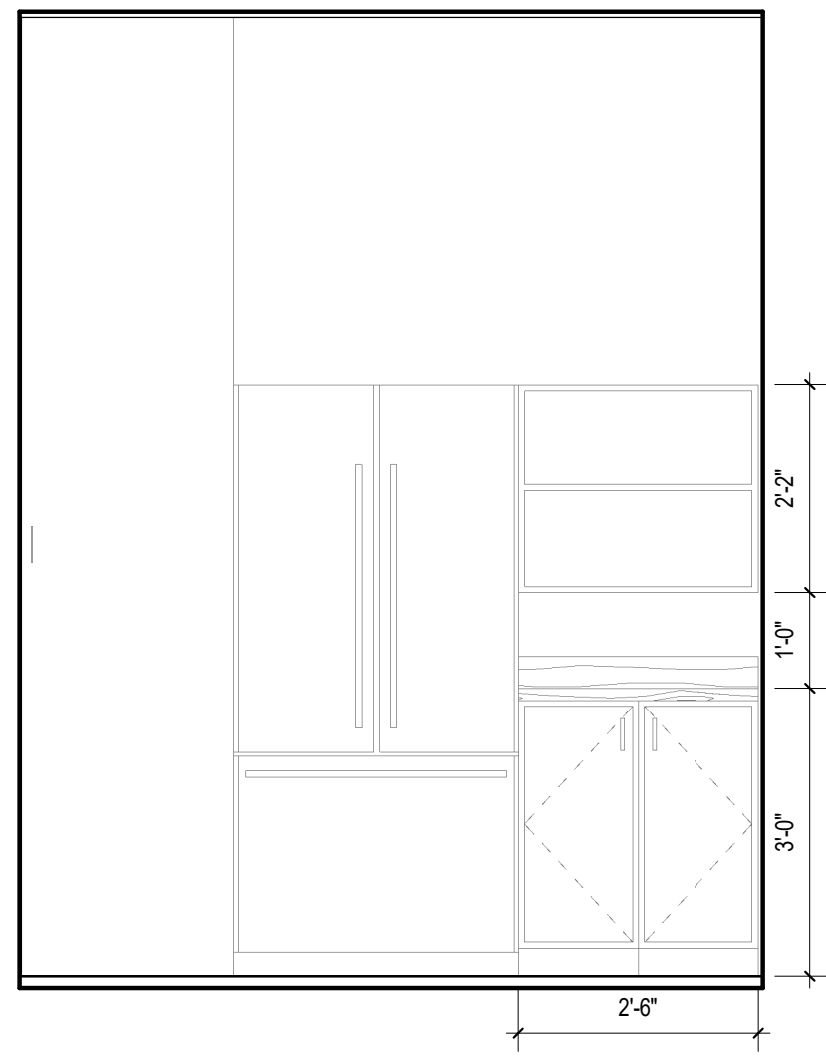
07/23/2023

FRENCH QUARTER - ODESSA  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

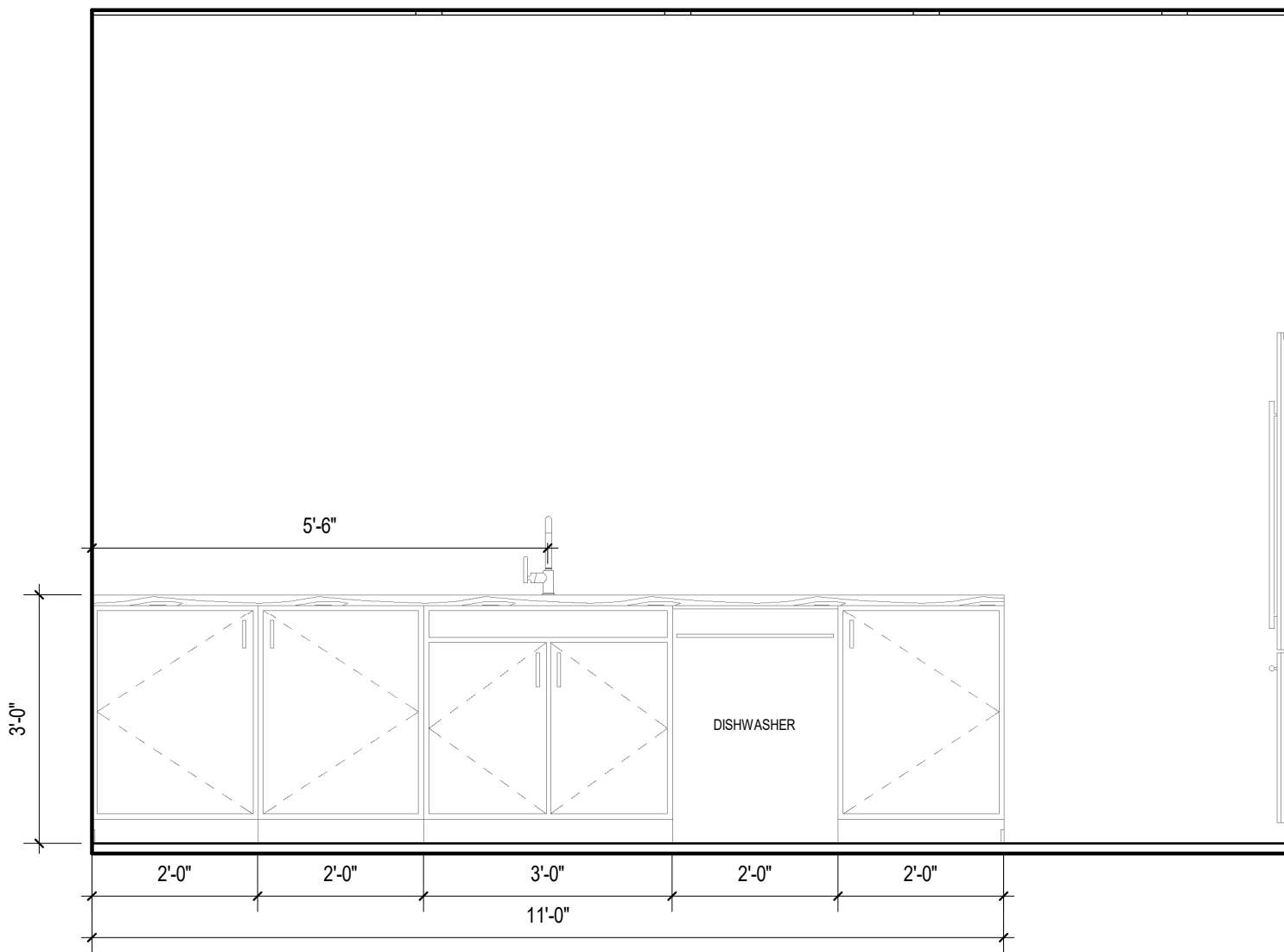
SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023

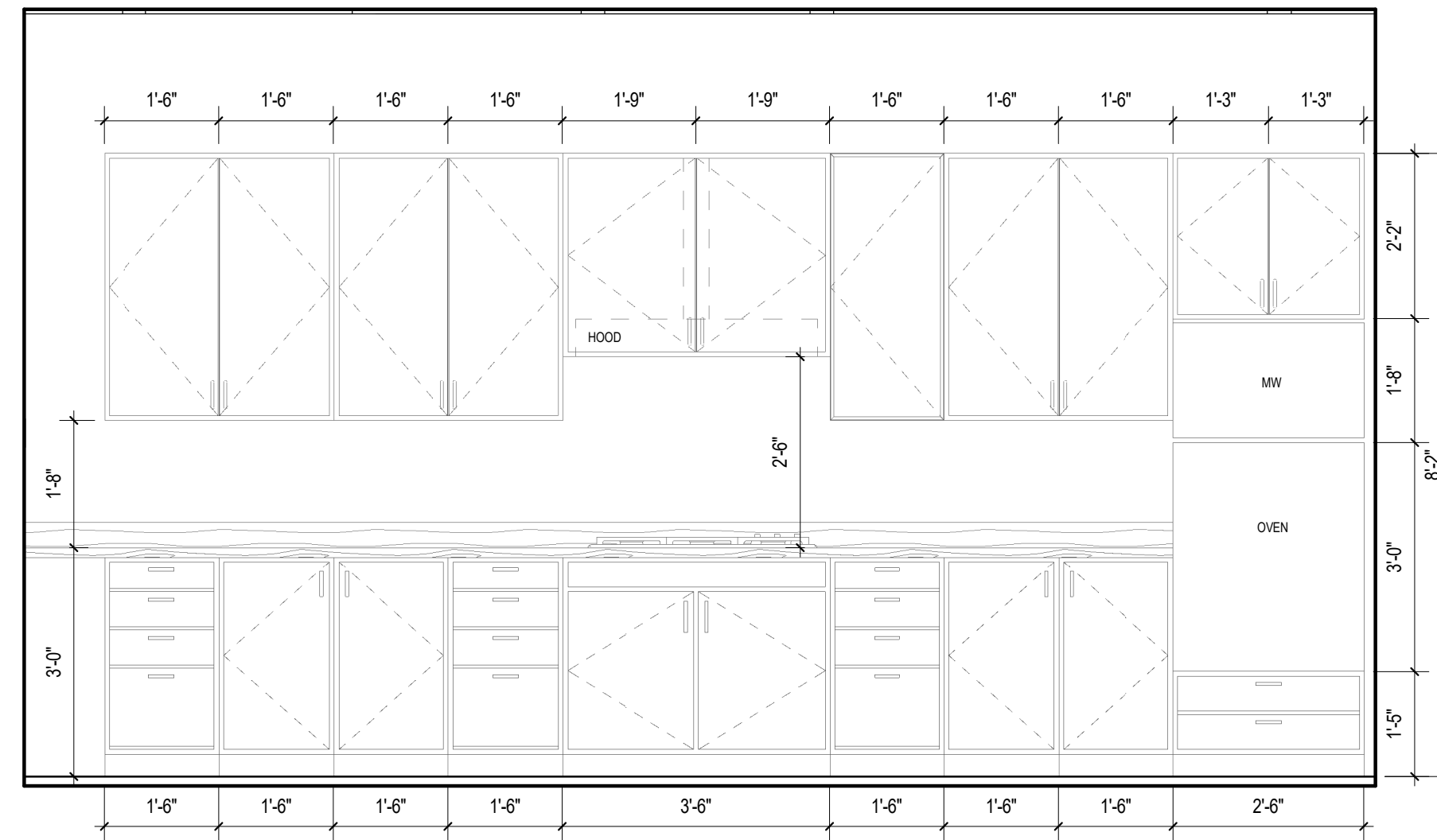
SHEET TITLE  
**TYPICAL WALL SECTIONS**



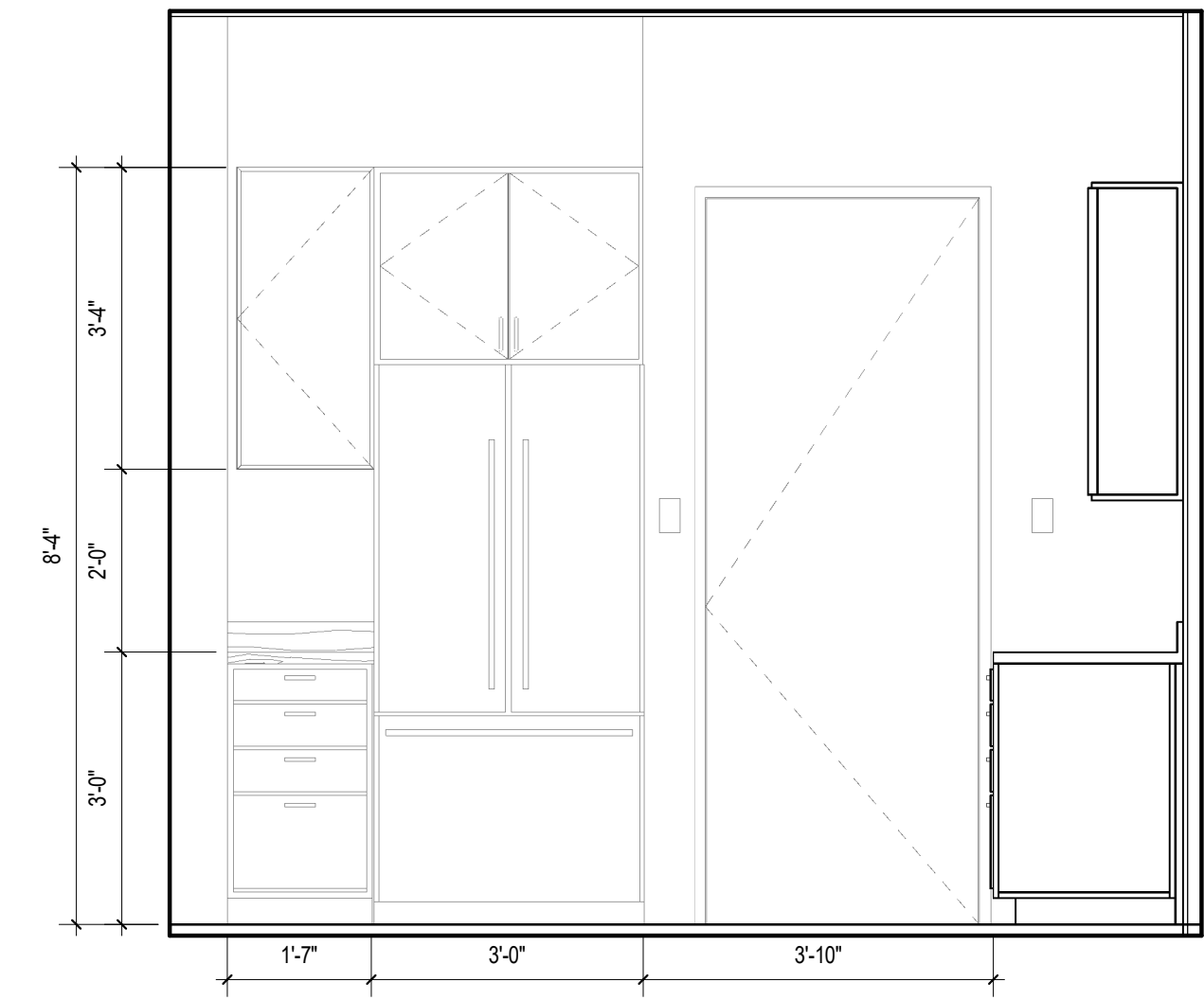
4 ODESSA - PANTRY ELEVATION  
SCALE 1/2" = 1'-0"



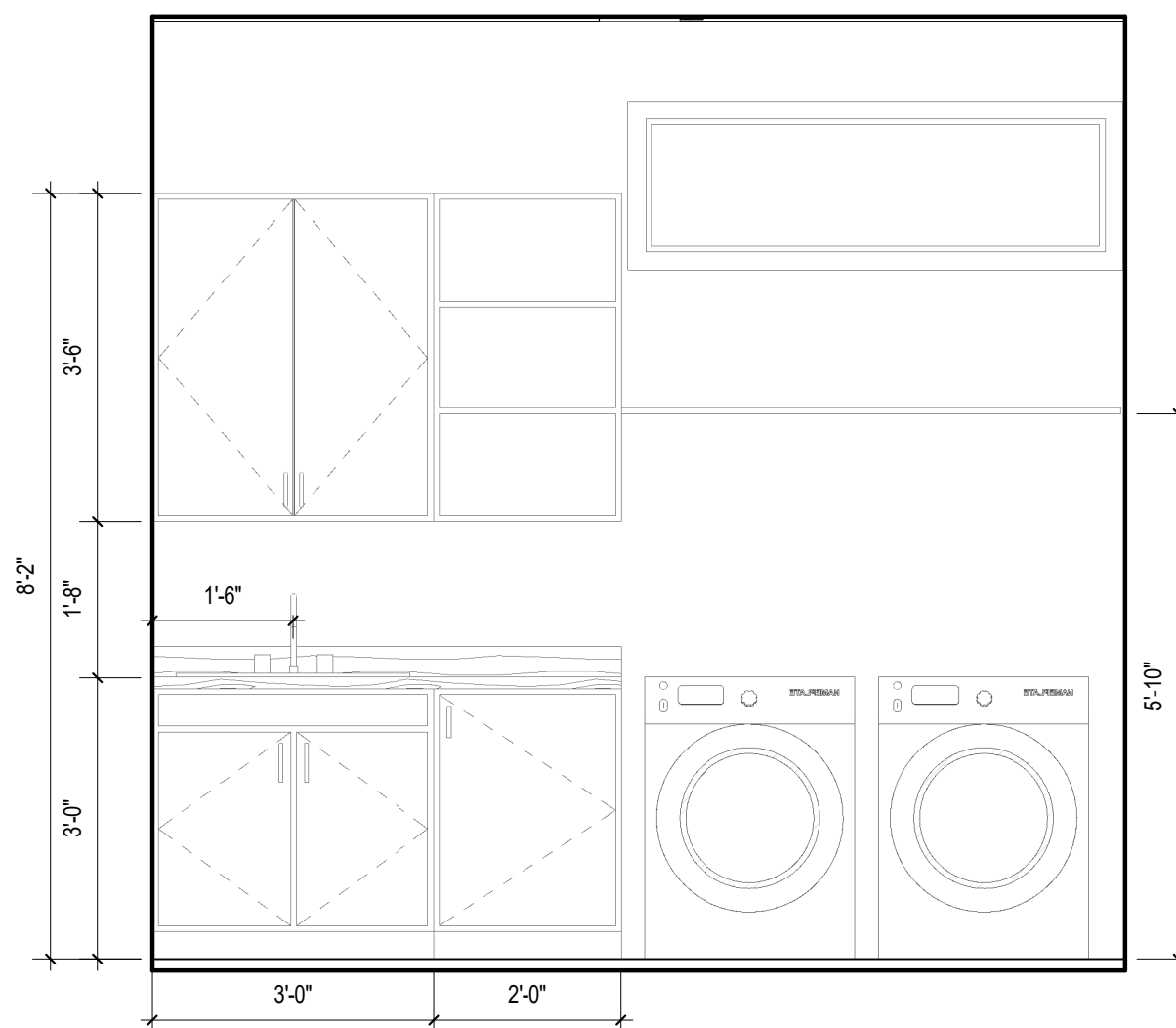
3 ODESSA - KITCHEN ISLAND ELEVATION  
SCALE 1/2" = 1'-0"



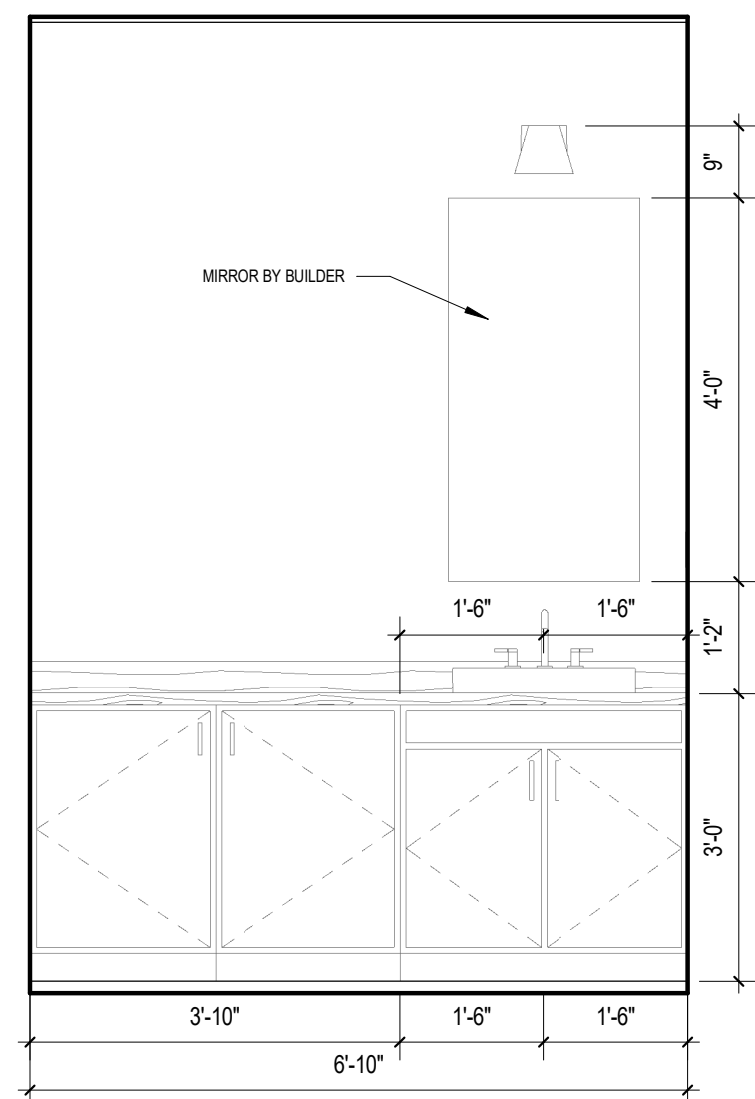
2 ODESSA - KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



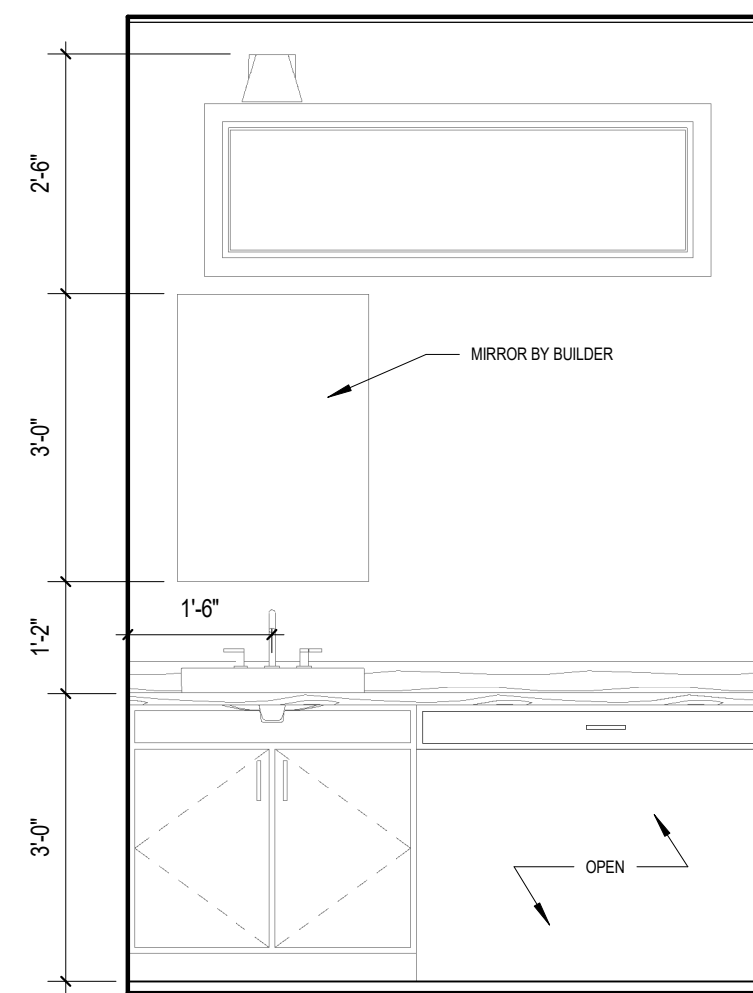
1 ODESSA - KITCHEN - FRIDGE ELEVATION  
SCALE 1/2" = 1'-0"



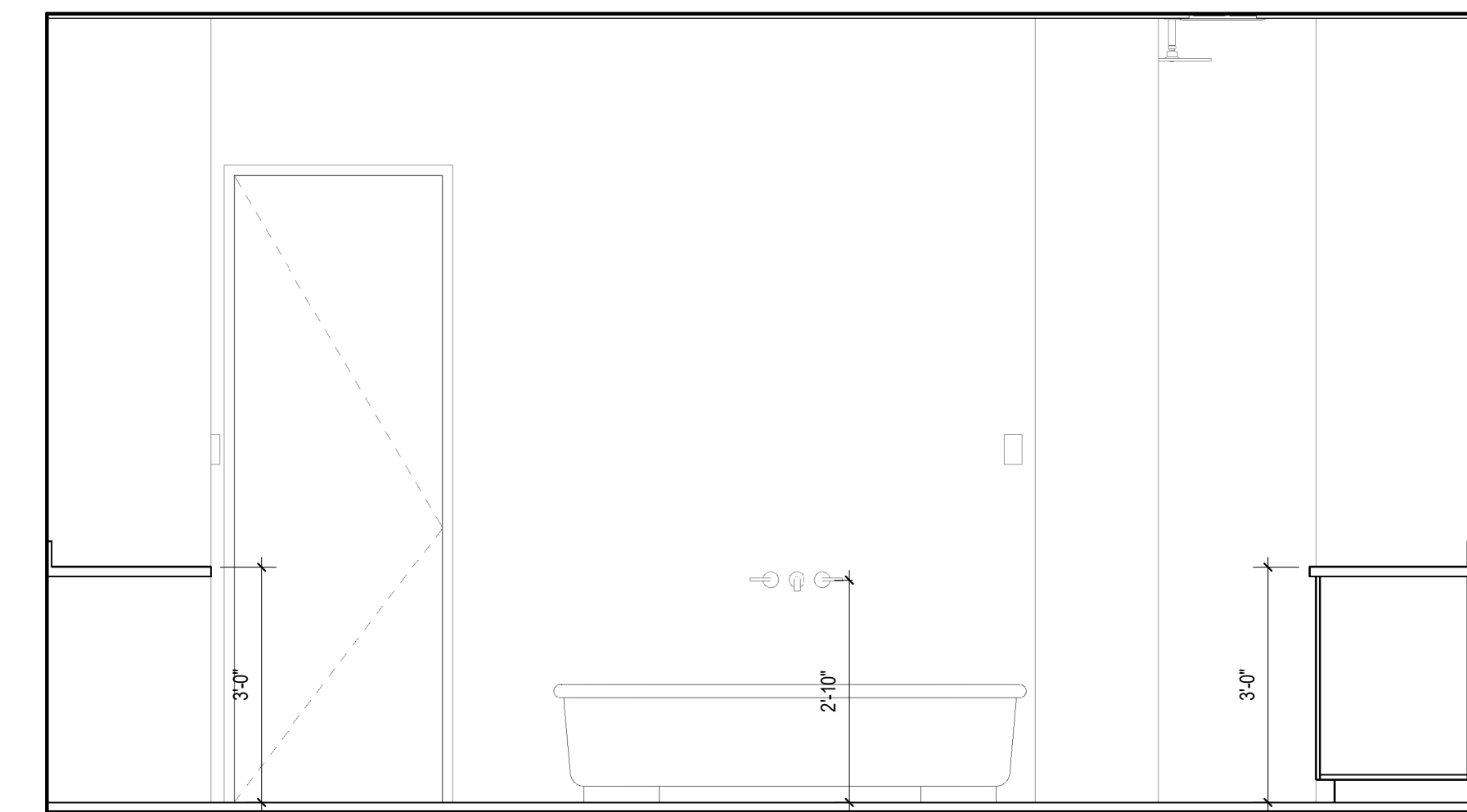
8 ODESSA - LAUNDRY ROOM ELEVATION  
SCALE 1/2" = 1'-0"



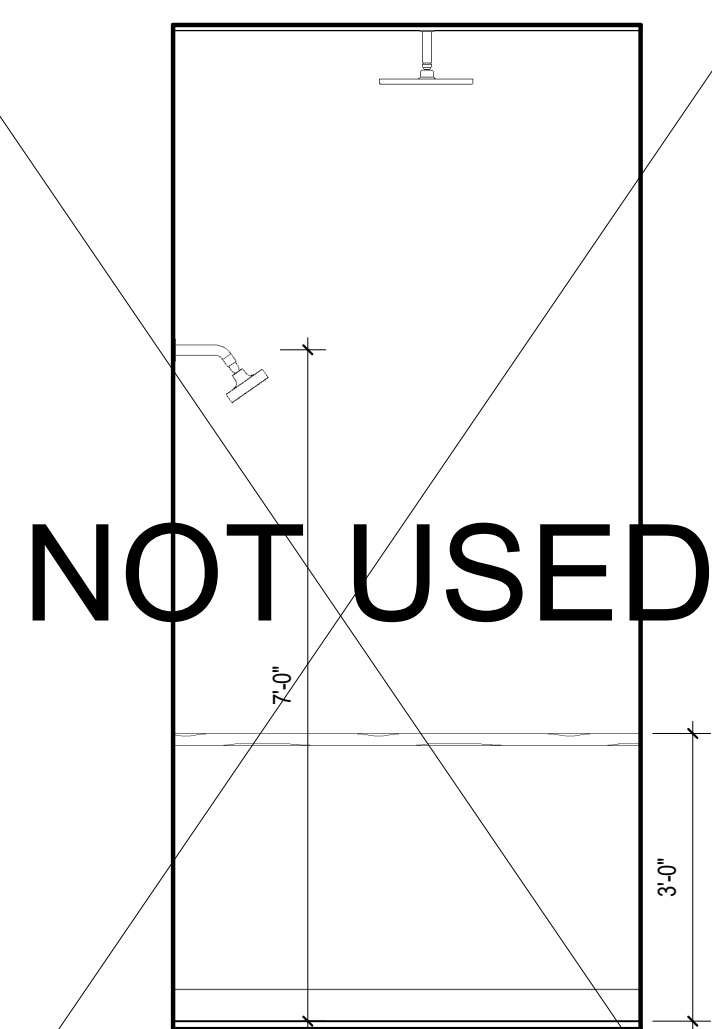
7 ODESSA - PRIMARY BATH ELEVATION  
SCALE 1/2" = 1'-0"



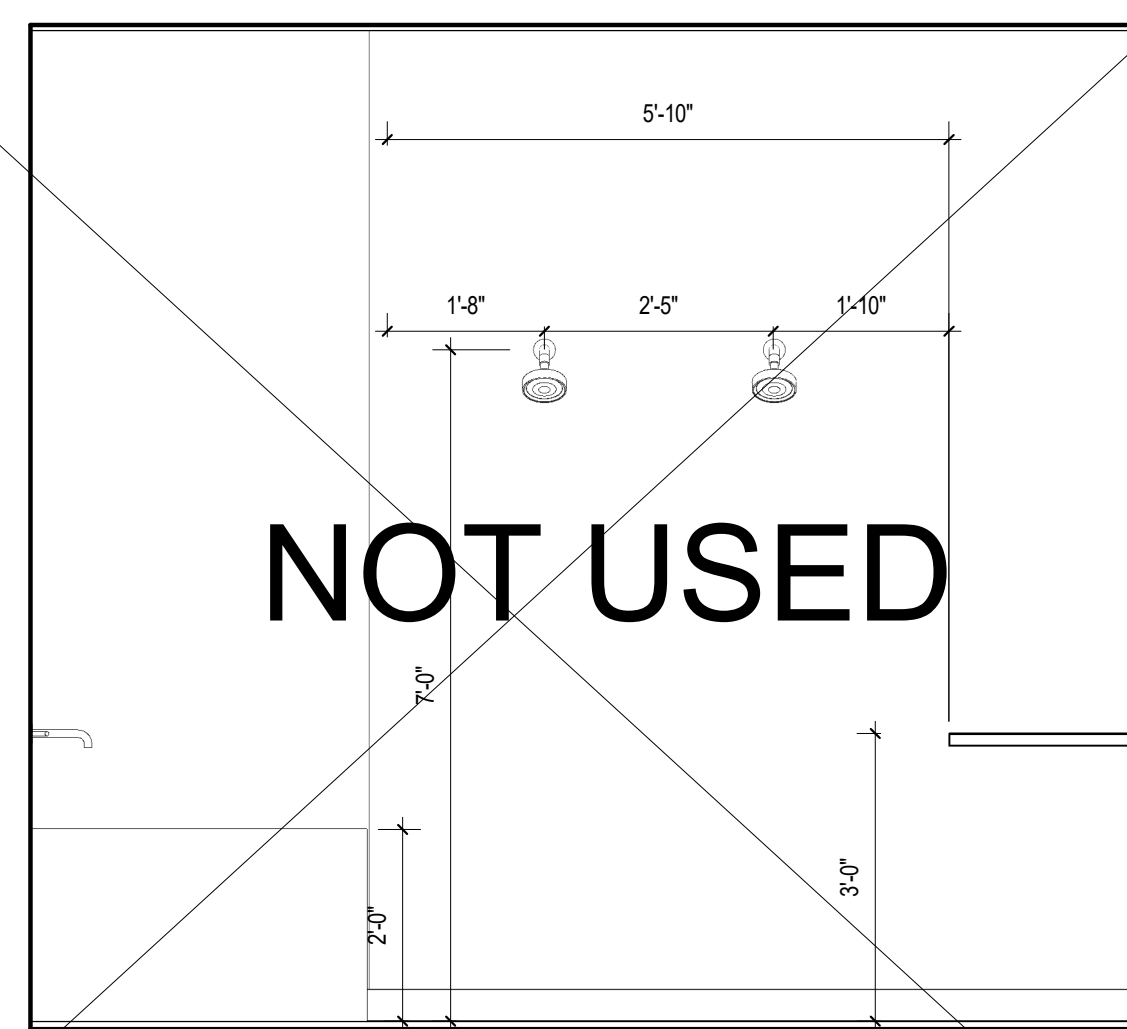
6 ODESSA - PRIMARY BATH ELEVATION 3  
SCALE 1/2" = 1'-0"



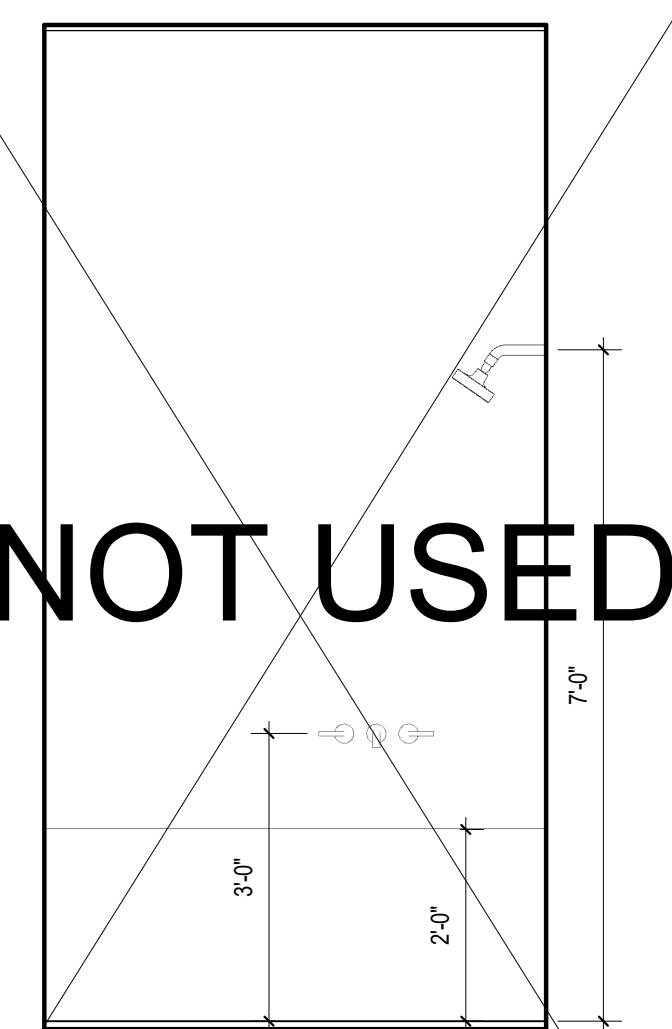
5 ODESSA - PRIMARY BATH ELEVATION 2  
SCALE 1/2" = 1'-0"



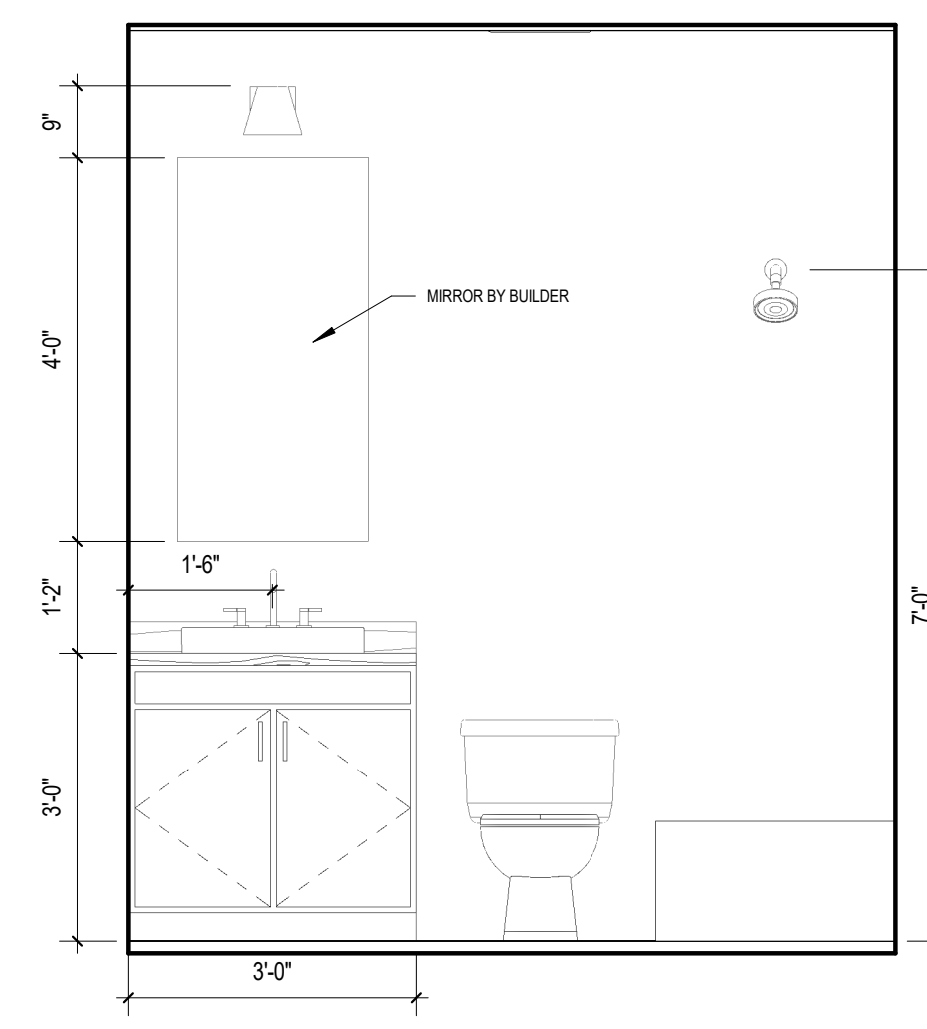
ODESSA - DESIGN OPTION 1 -  
PRIMARY BATH SHOWER/TUB  
ELEVATION 3 C&D  
13 SCALE 1/2" = 1'-0"



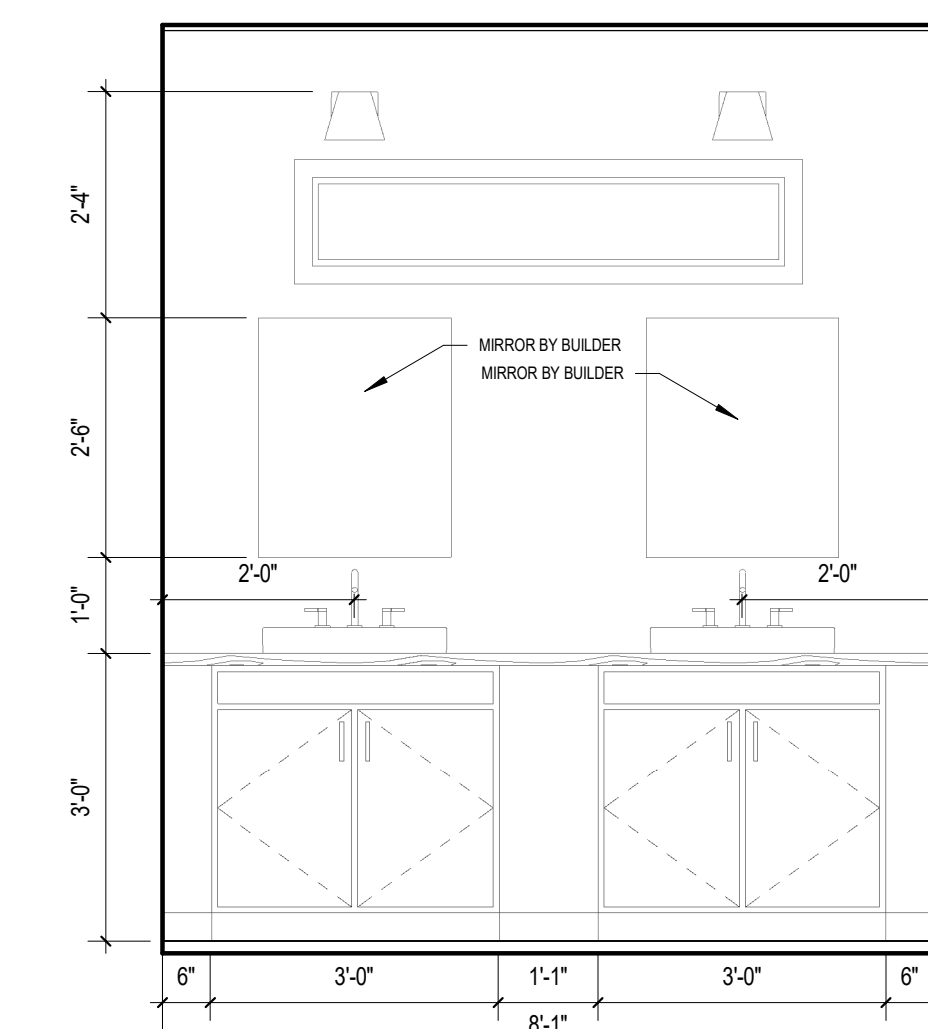
ODESSA - DESIGN OPTION 1 - PRIMARY BATH SHOWER/TUB ELEVATION  
2 C&D  
12 SCALE 1/2" = 1'-0"



ODESSA - DESIGN OPTION 1 -  
PRIMARY BATH SHOWER/TUB  
ELEVATION  
11 SCALE 1/2" = 1'-0"



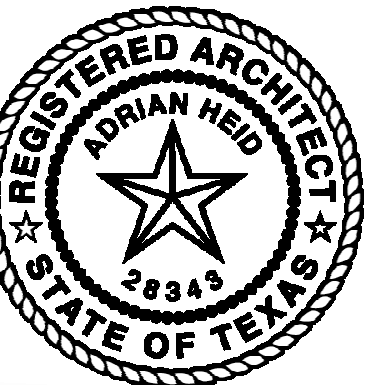
ODESSA - SECOND FLOOR - BATH 2 COUNTER ELEVATION  
10 SCALE 1/2" = 1'-0"



ODESSA - SECOND FLOOR - BATH 3 COUNTER ELEVATION  
9 SCALE 1/2" = 1'-0"

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023

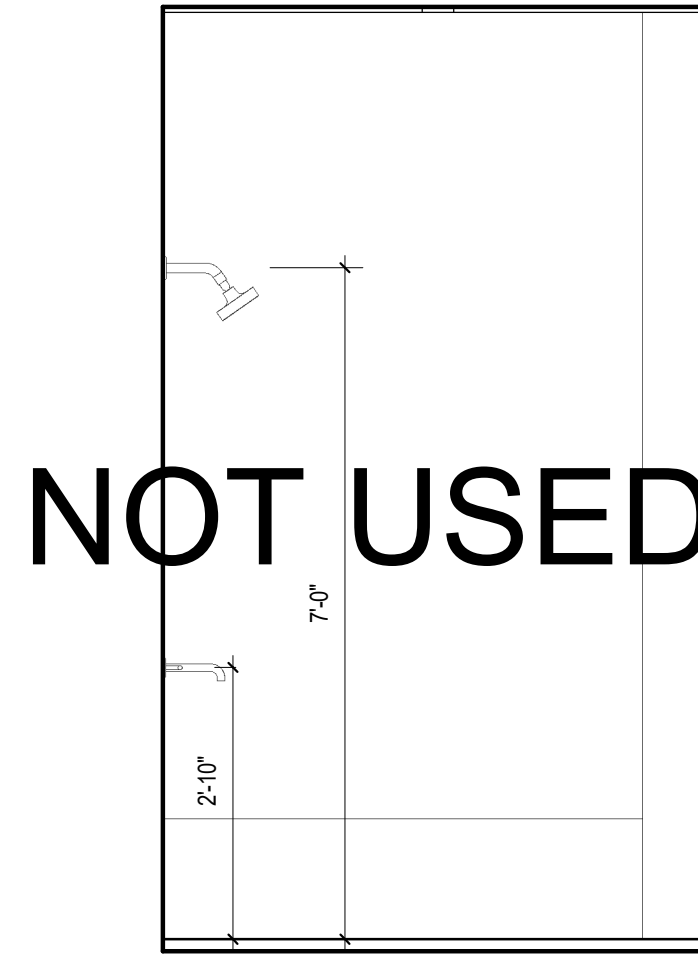
FRENCH QUARTER - ODESSA  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

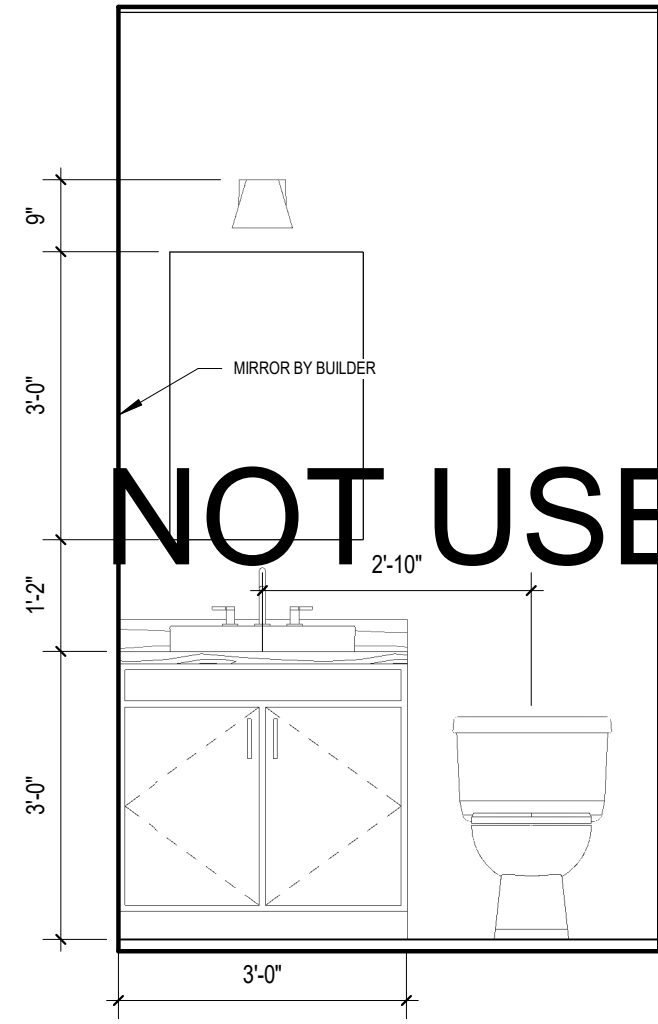
No.	Description	Date
PERMIT SET ISSUE		07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE  
**INTERIOR ELEVATIONS**

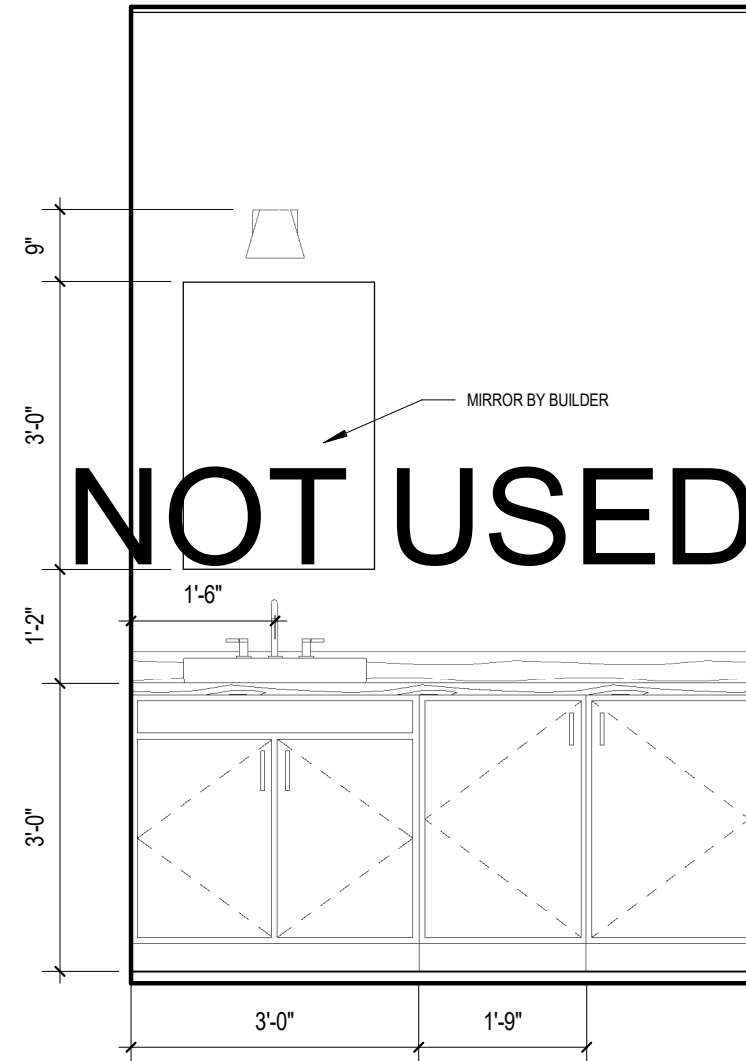




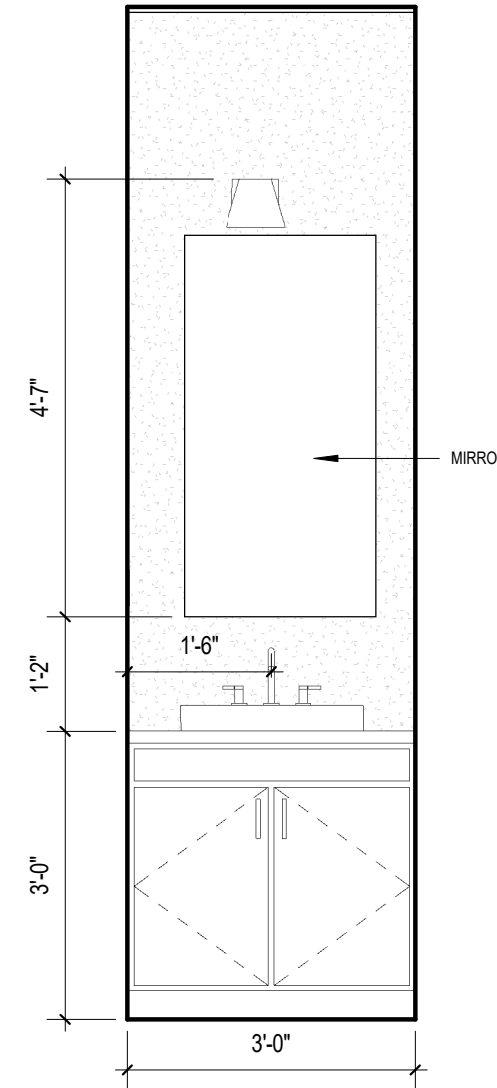
5 ODESSA - DESIGN OPTION 5 -  
BEDROOM 5 AND BATH 5 ELEVATION  
2  
SCALE 1/2" = 1'-0"



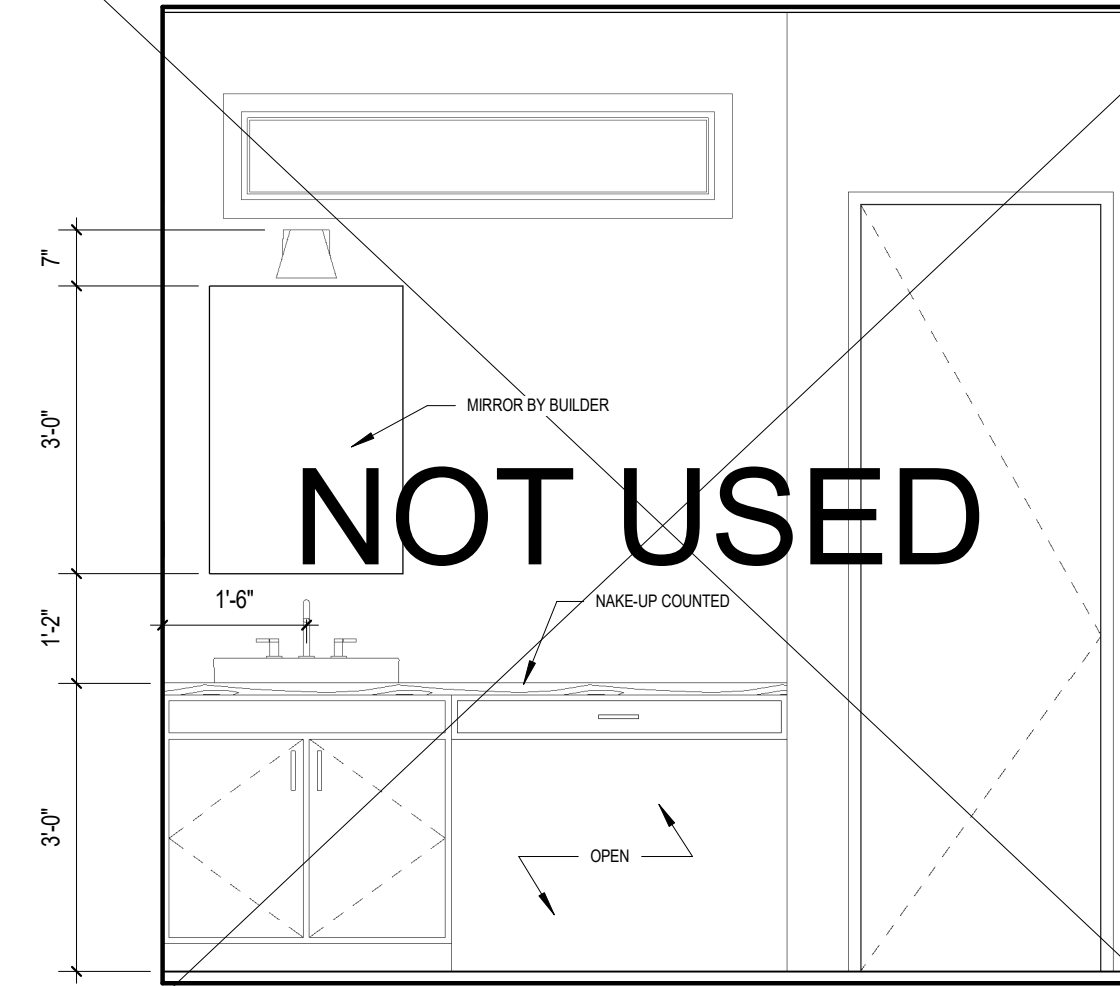
4 ODESSA - DESIGN OPTION 5 -  
BEDROOM 5 AND BATH 5 ELEVATION  
SCALE 1/2" = 1'-0"



2 ODESSA - DESIGN OPTION 1 -  
PRIMARY BATH SHOWER/TUB  
ELEVATION 5  
SCALE 1/2" = 1'-0"



3 ODESSA - DESIGN OPTION 2 - POOL  
BATH ELEVATION  
SCALE 1/2" = 1'-0"



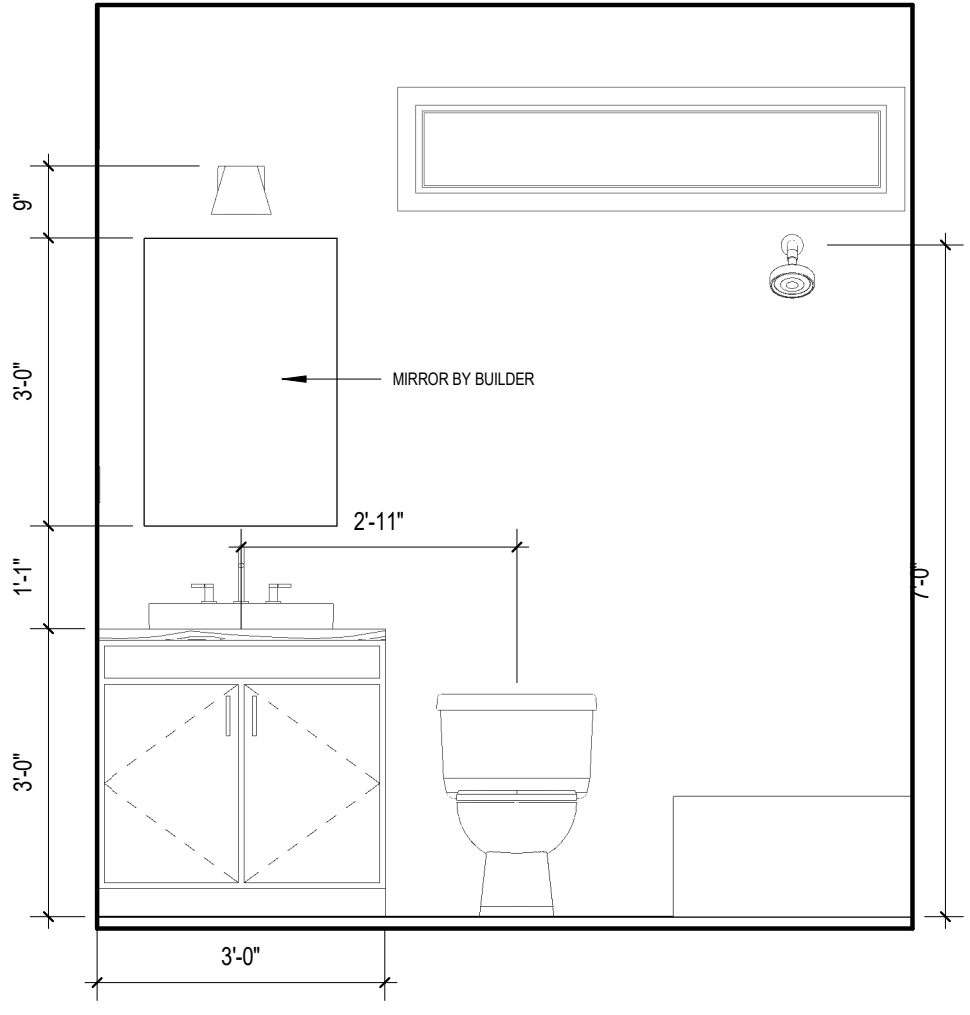
1 ODESSA - DESIGN OPTION 1 - PRIMARY BATH SHOWER/TUB ELEVATION 4  
SCALE 1/2" = 1'-0"

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

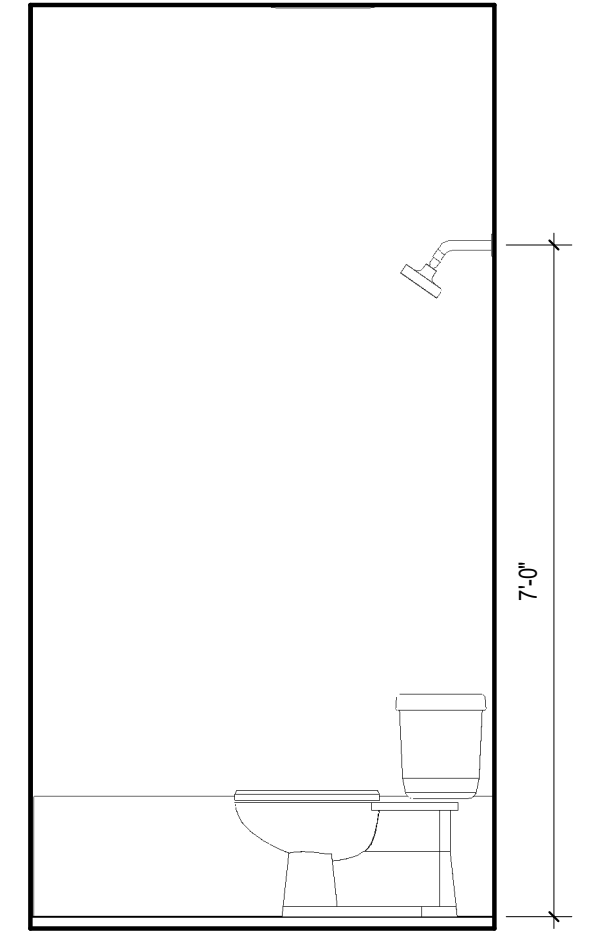
PROFESSIONAL SEAL(S):



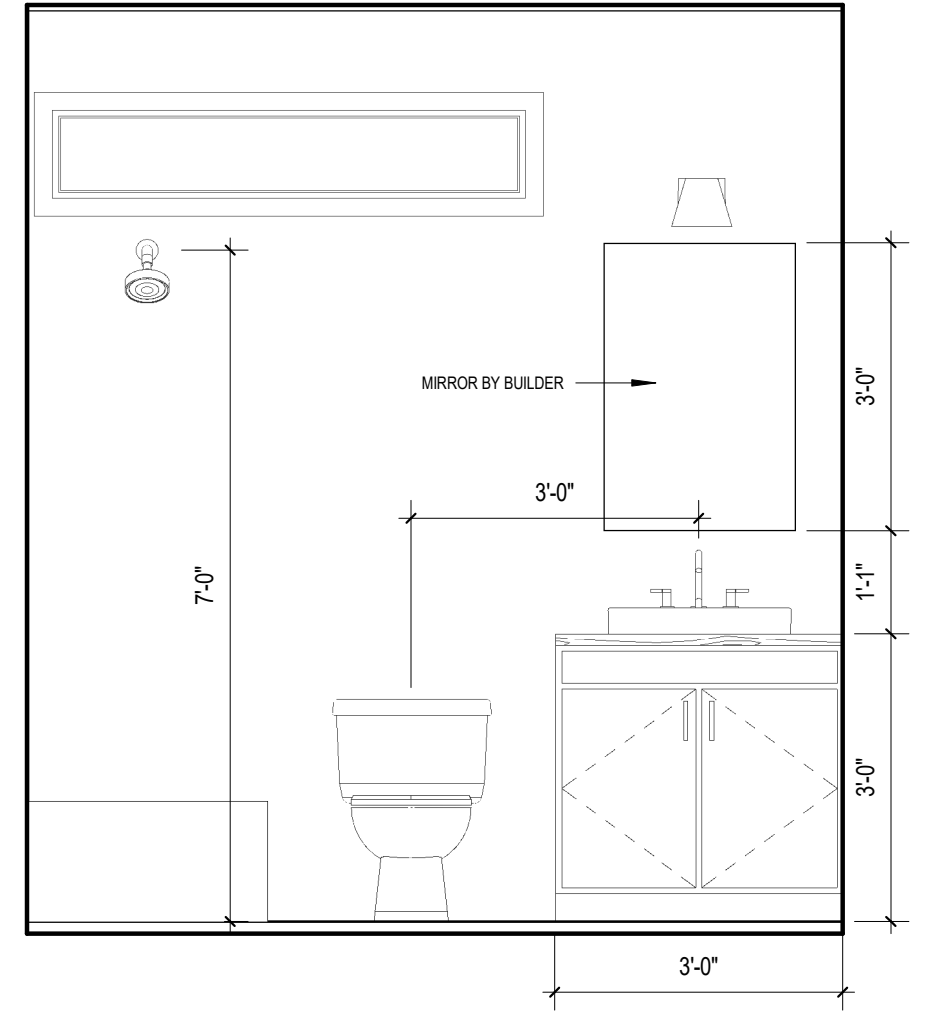
07/23/2023



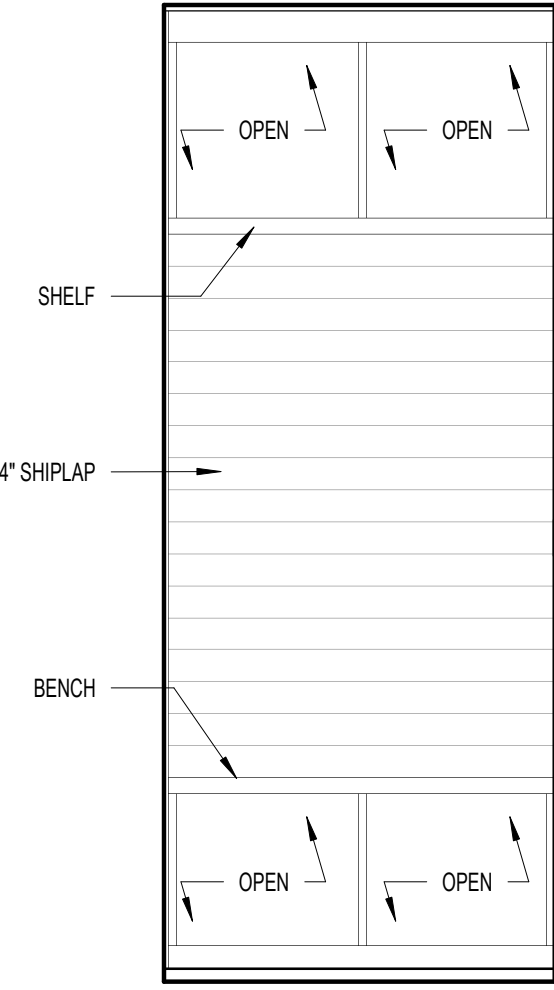
15 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 4 ELEVATION 3  
SCALE 1/2" = 1'-0"



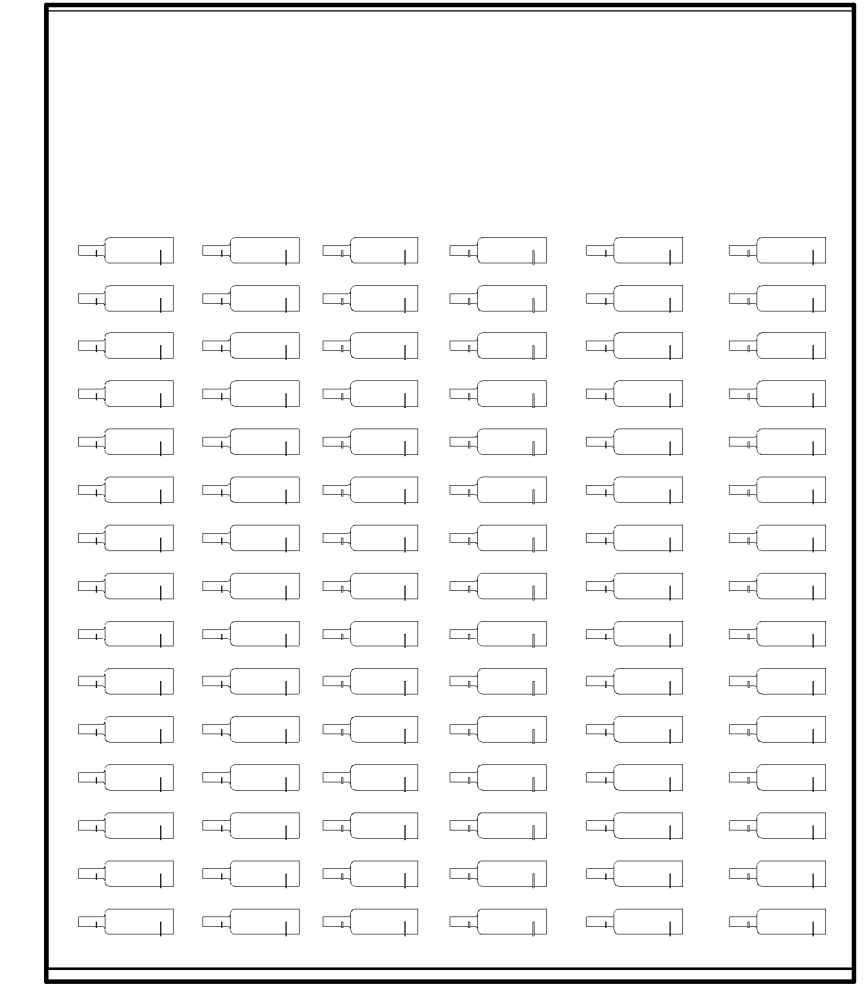
17 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 3 ELEVATION 2  
SCALE 1/2" = 1'-0"



16 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 3 ELEVATION  
SCALE 1/2" = 1'-0"



10 ODESSA - MUD ROOM ELEVATION  
SCALE 1/2" = 1'-0"



9 ODESSA - DESIGN OPTION 3 - WINE RACK ELEVATION  
SCALE 1/2" = 1'-0"

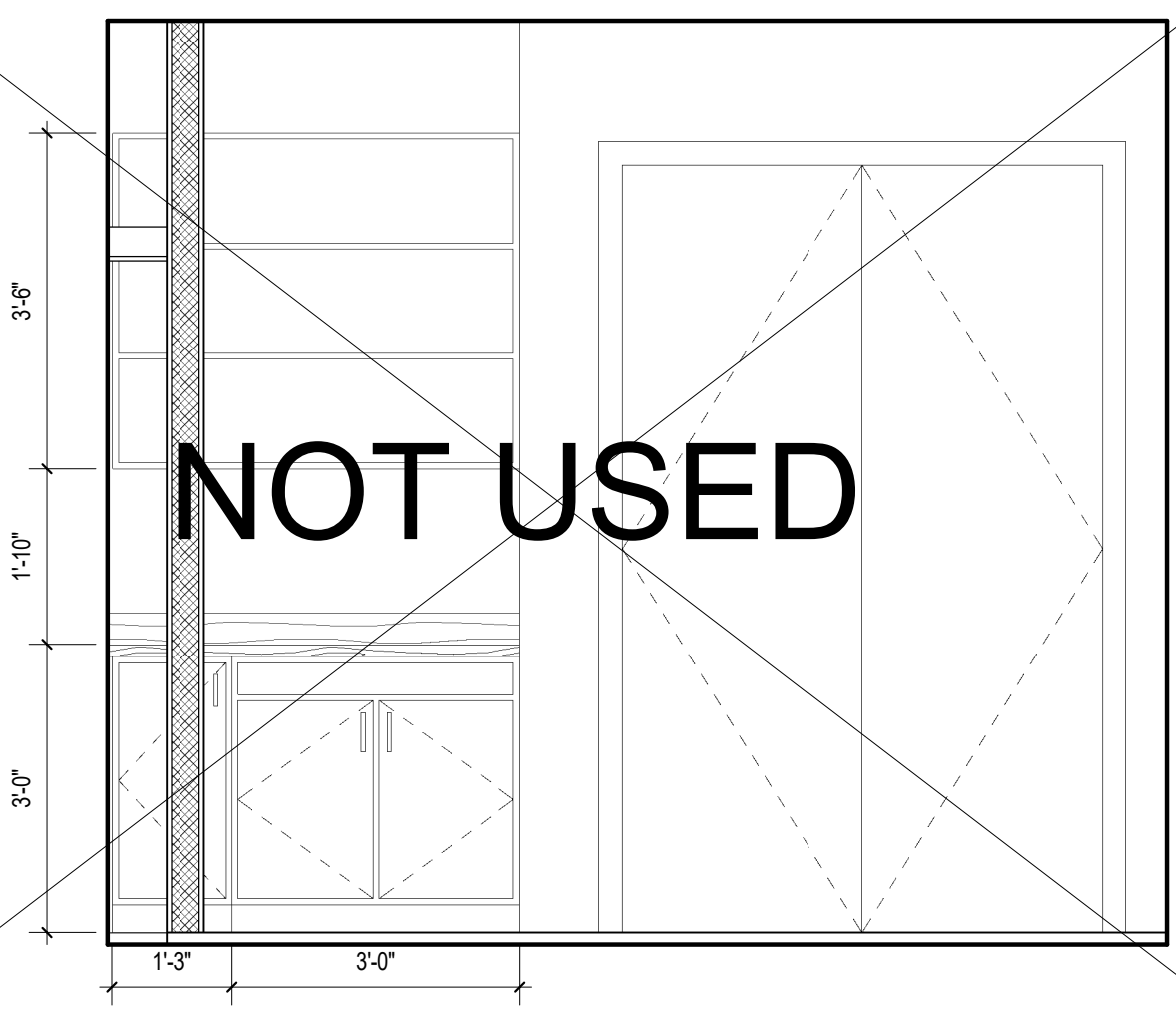
**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

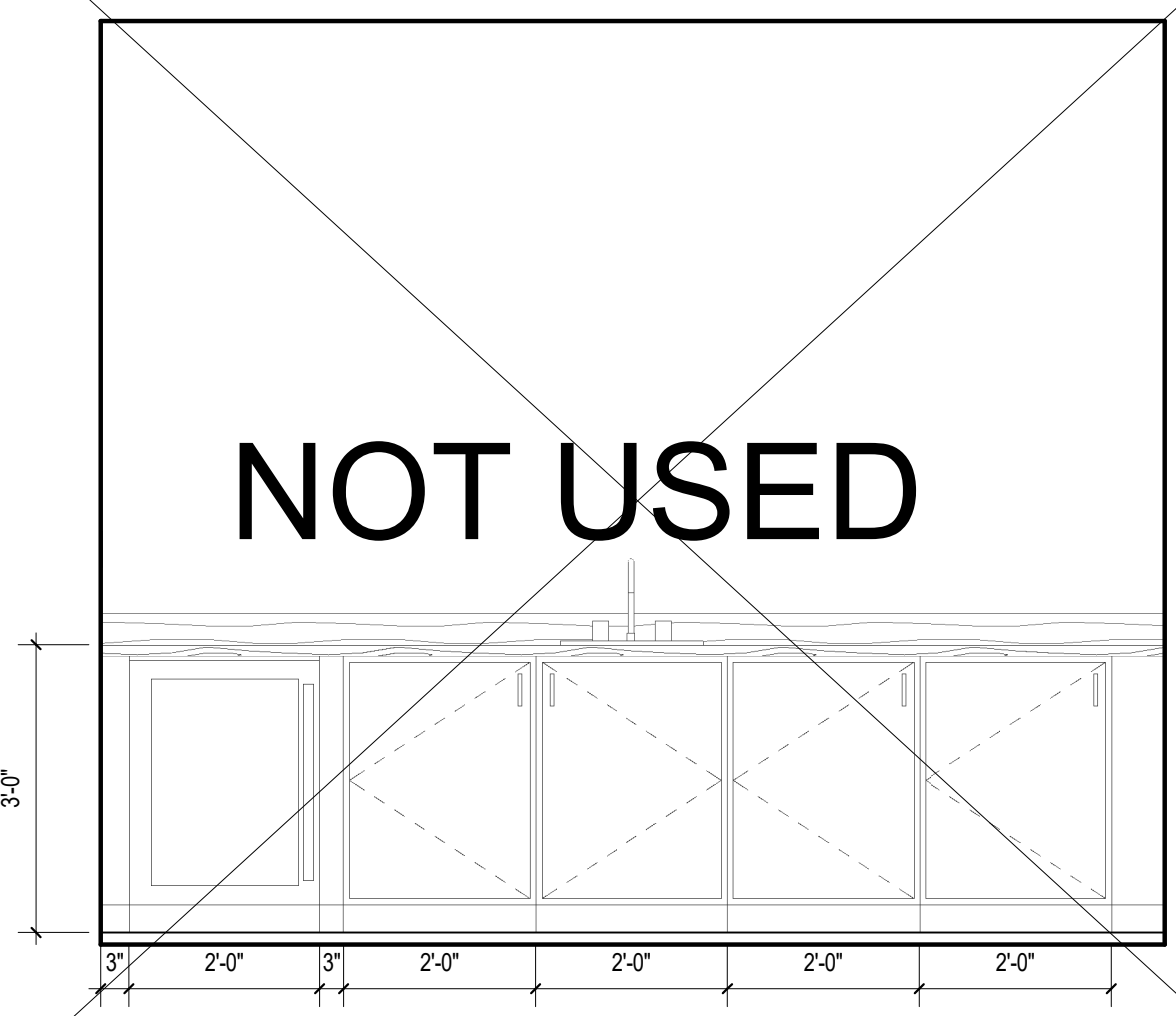
No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE  
**INTERIOR ELEVATIONS**

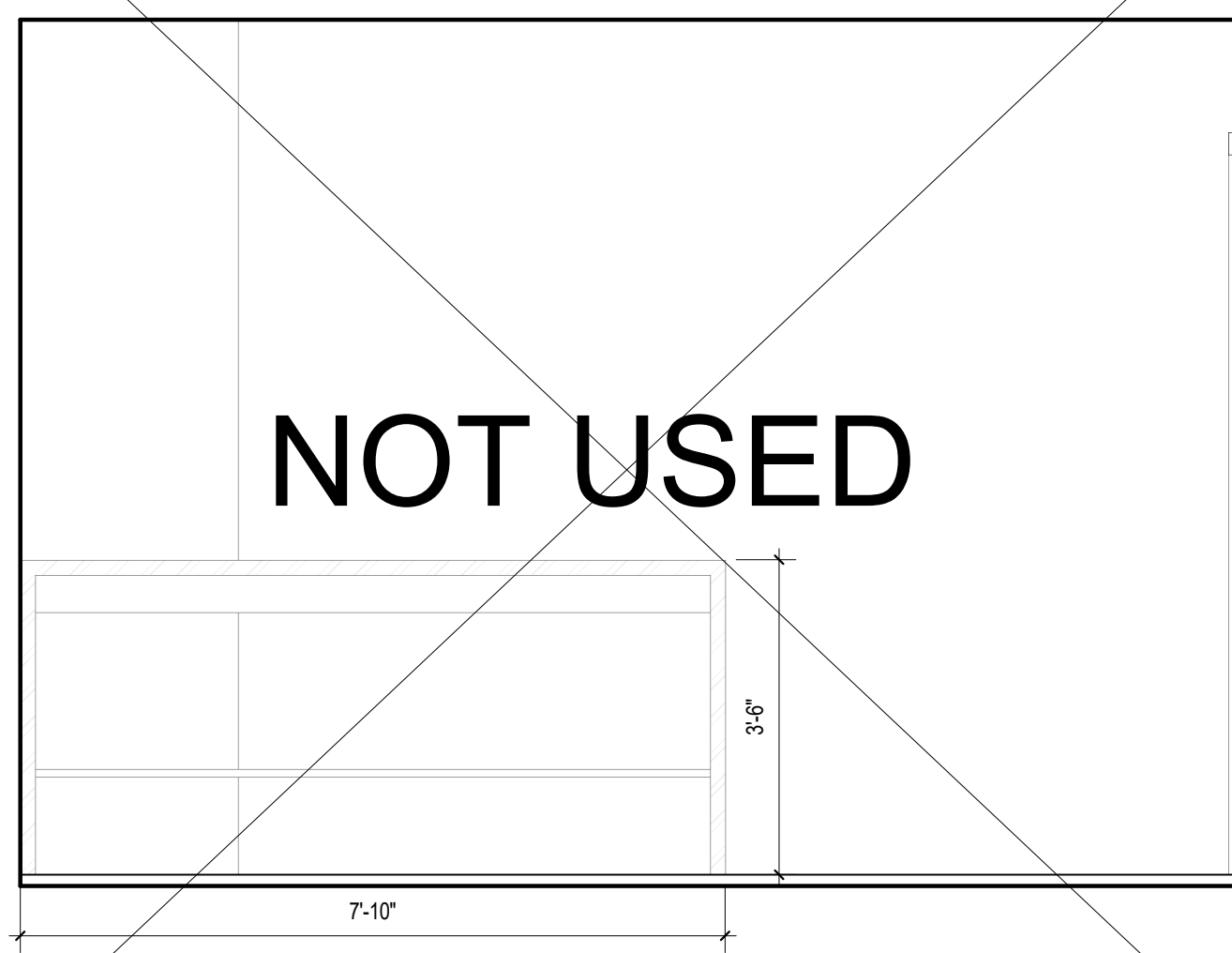
JOB NUMBER  
2311  
DATE  
07/23/2023  
SHEET NUMBER  
**A 5.02**



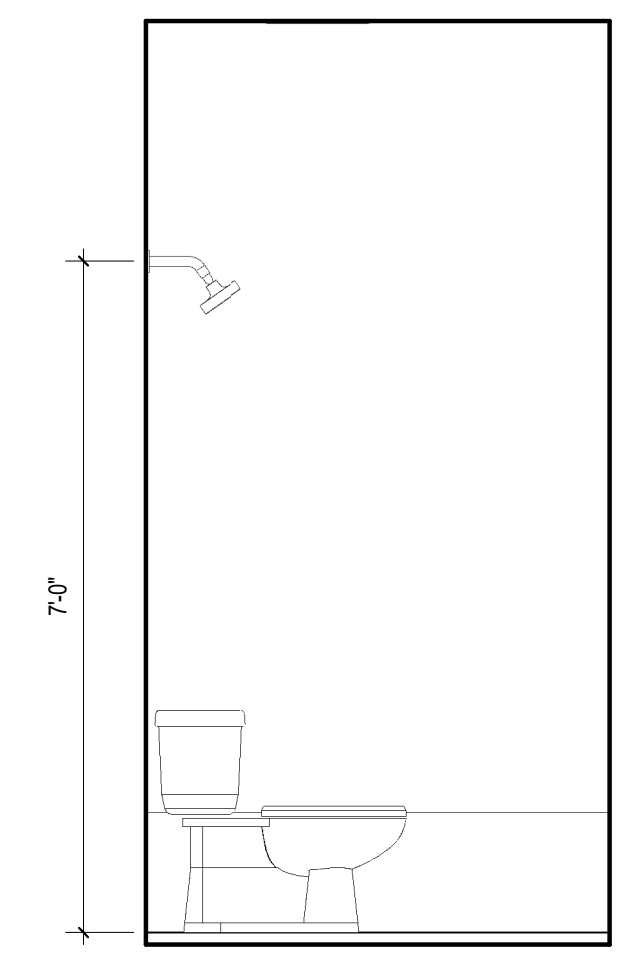
11 ODESSA - SECOND FLOOR - DESIGN OPTION 8 - SOUNDPROOF ROOM/WORKOUT ROOM ELEVATION  
SCALE 1/2" = 1'-0"



13 ODESSA - SECOND FLOOR - DESIGN OPTION 7 - THEATER/MEDIA ROOM ELEVATION  
SCALE 1/2" = 1'-0"



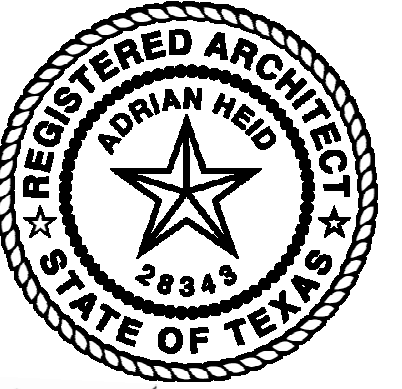
12 ODESSA - SECOND FLOOR - DESIGN OPTION 7 - THEATER/MEDIA ROOM ELEVATION 2 (BAR HEIGHT SEATING)  
SCALE 1/2" = 1'-0"



14 ODESSA - SECOND FLOOR - DESIGN OPTION 6 - BATHROOM 4 ELEVATION 4  
SCALE 1/2" = 1'-0"

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEALS:



07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUE HERON BAY CIRCLE  
MONTGOMERY, TX 77316

SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023

SHEET TITLE

**DETAILS**

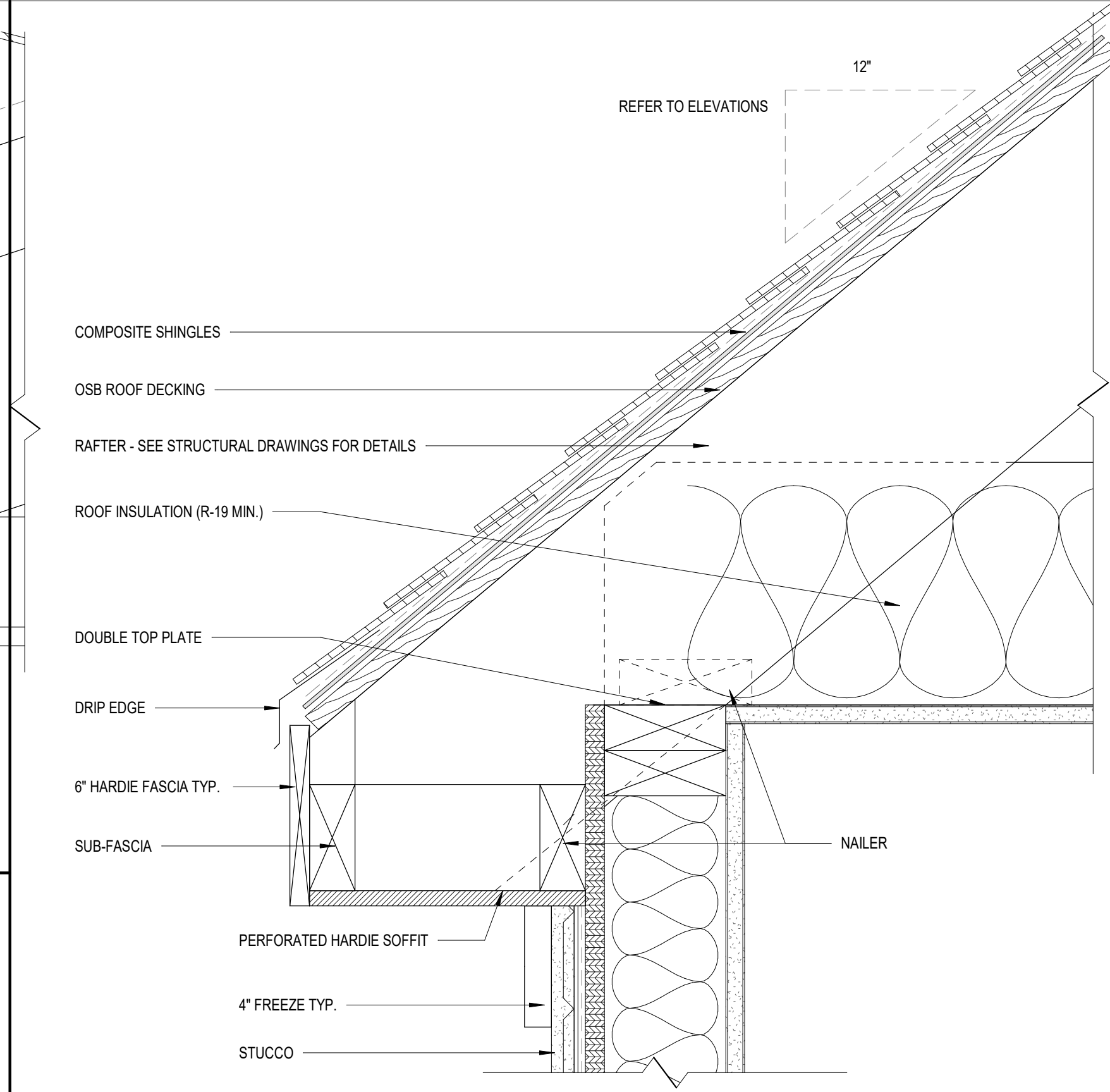
JOB NUMBER

2311

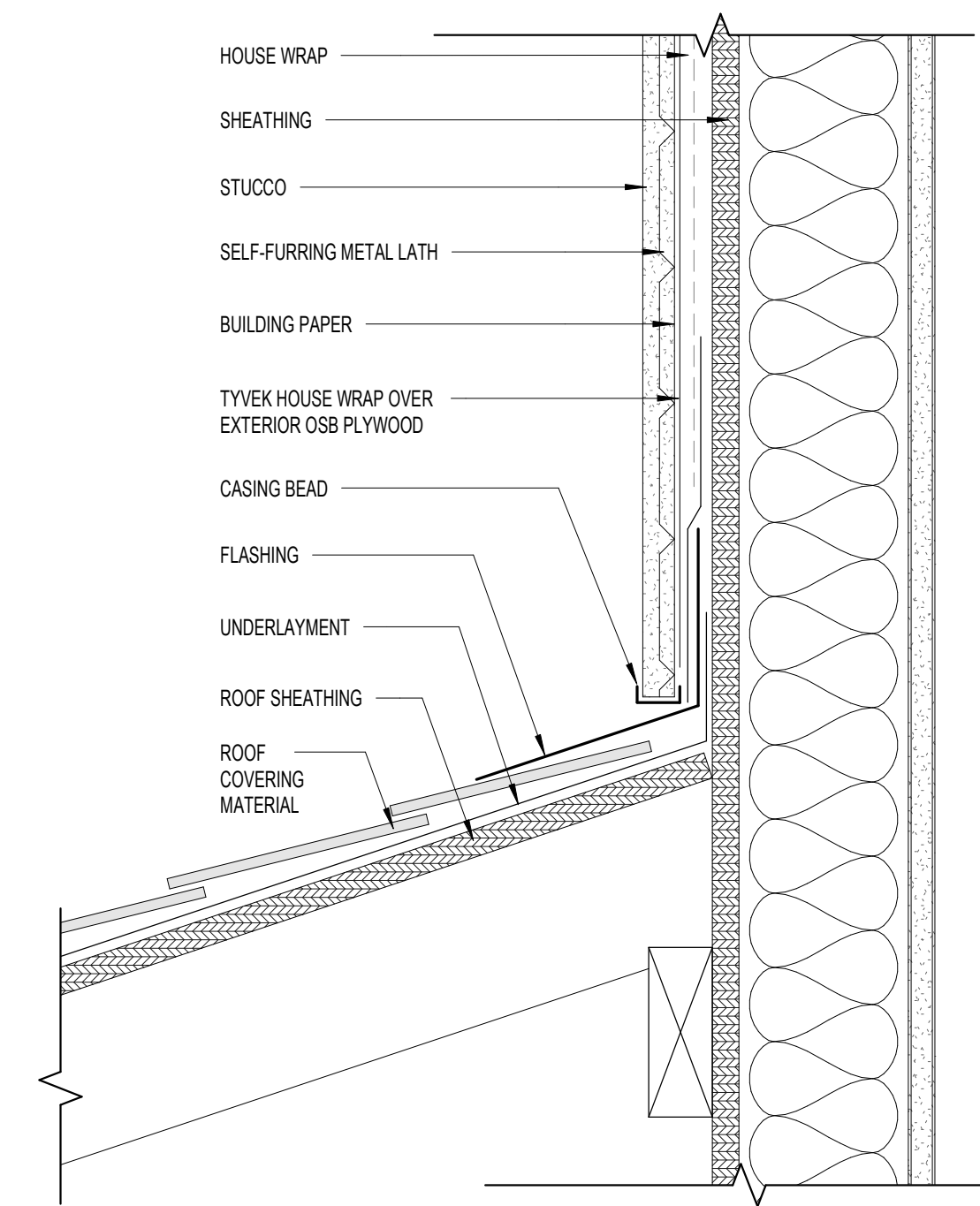
DATE  
07/23/2023

SHEET NUMBER

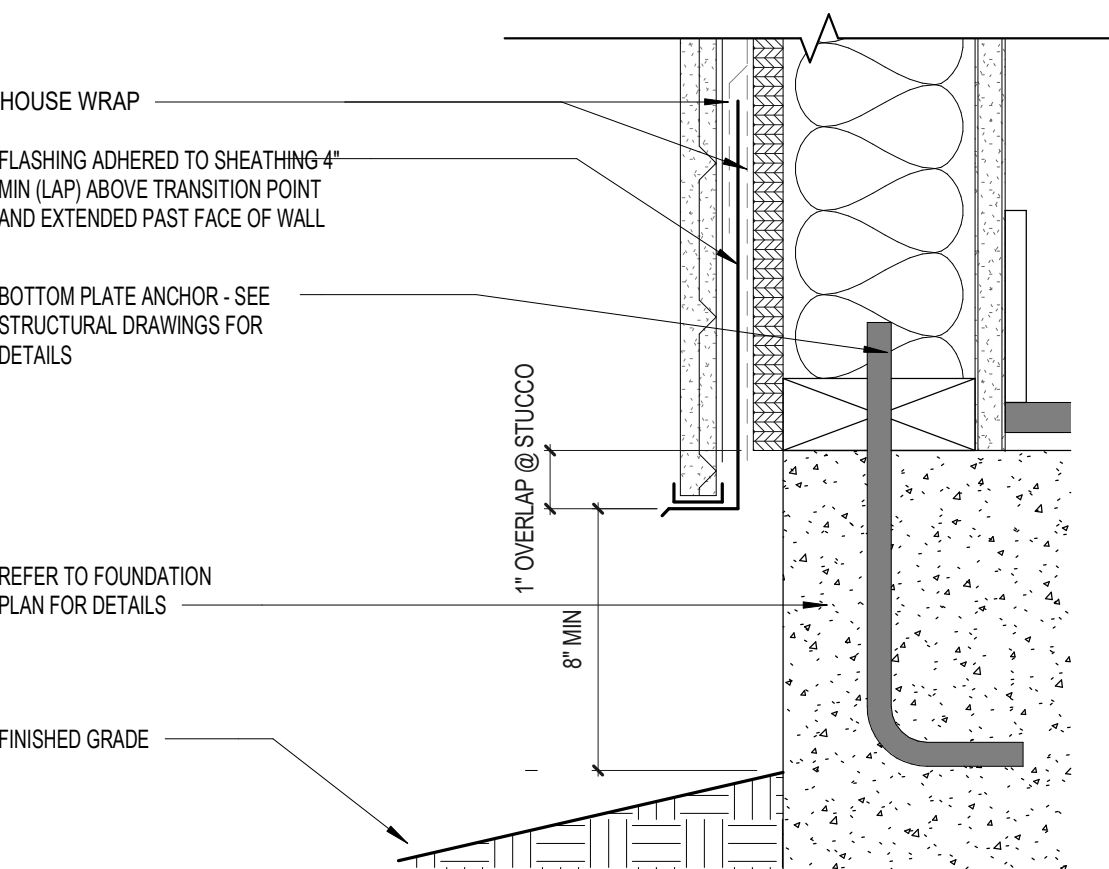
**A 5.10**



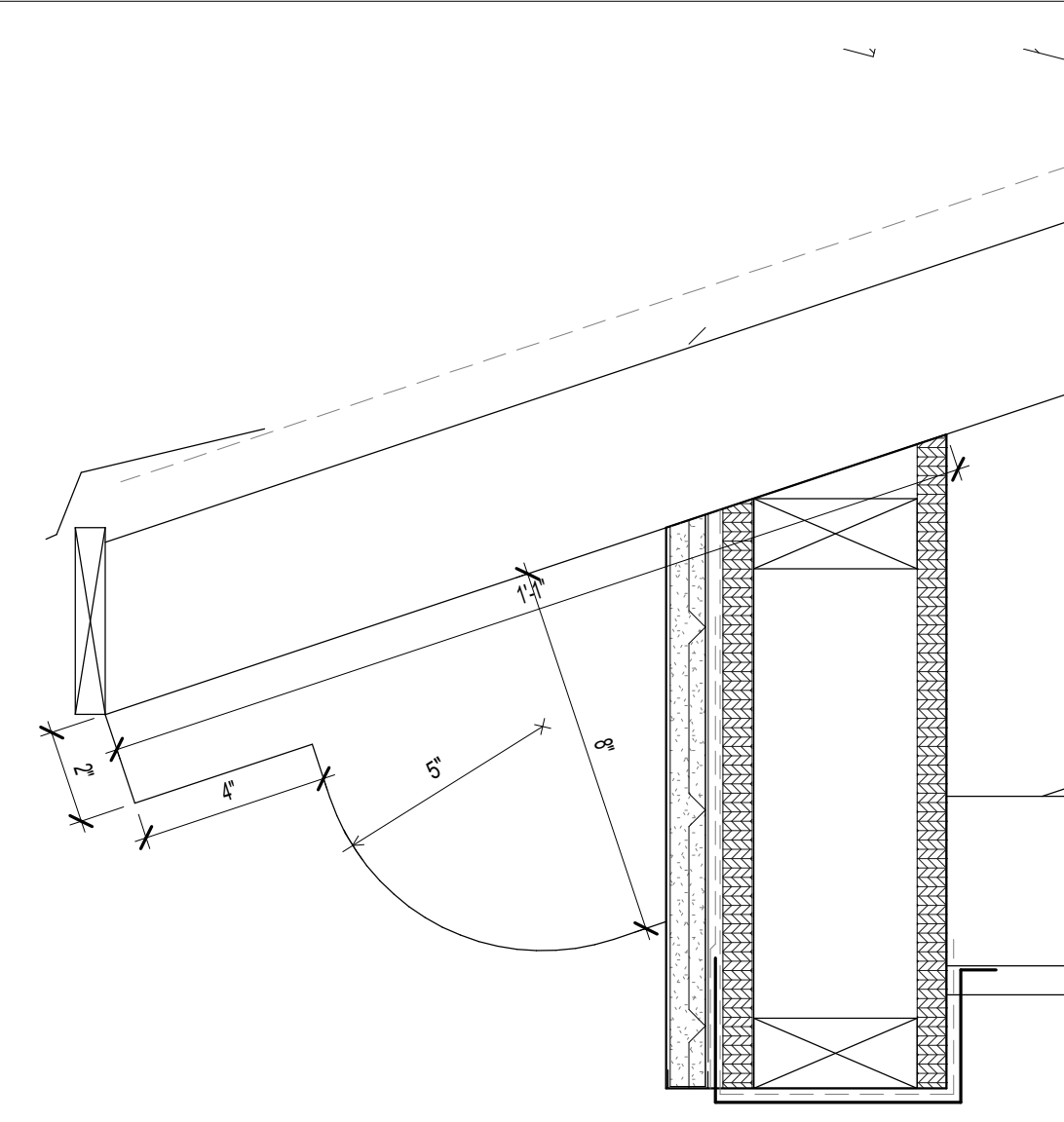
13. TRANSITION DETAIL - ROOF  
SCALE 3" = 1'-0"



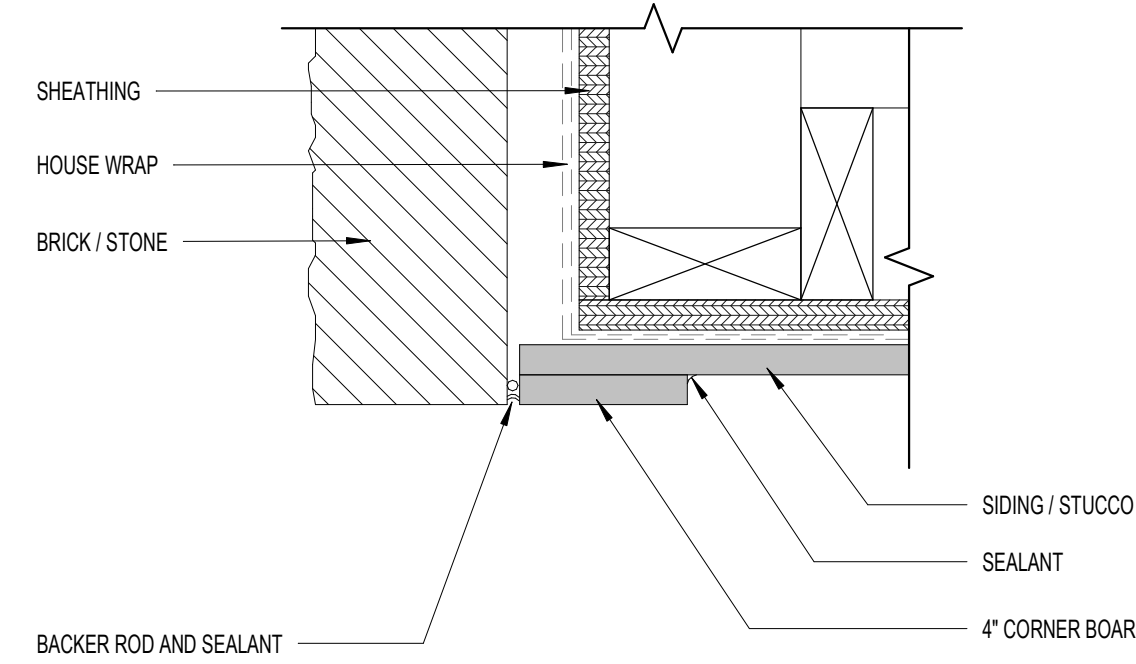
5. TRANSITION DETAIL - HEADWALL ROOF DETAIL - STUCCO  
SCALE 3" = 1'-0"



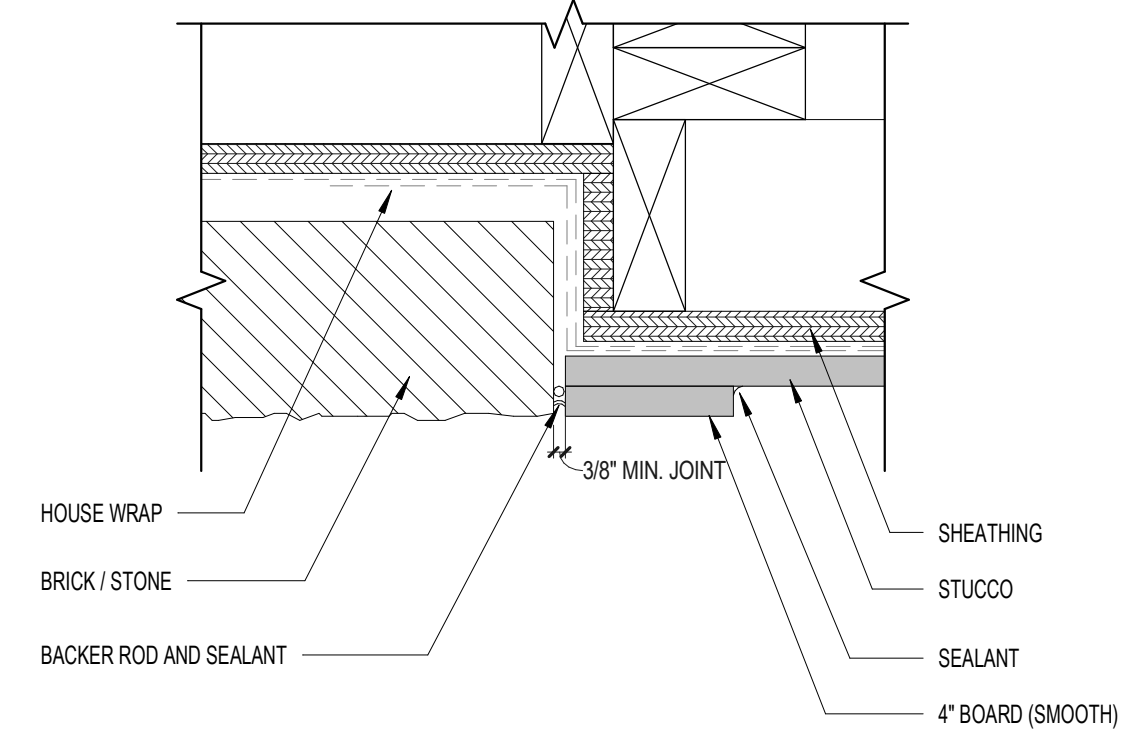
3. TRANSITION DETAIL - STUCCO BASE DETAIL  
SCALE 3" = 1'-0"



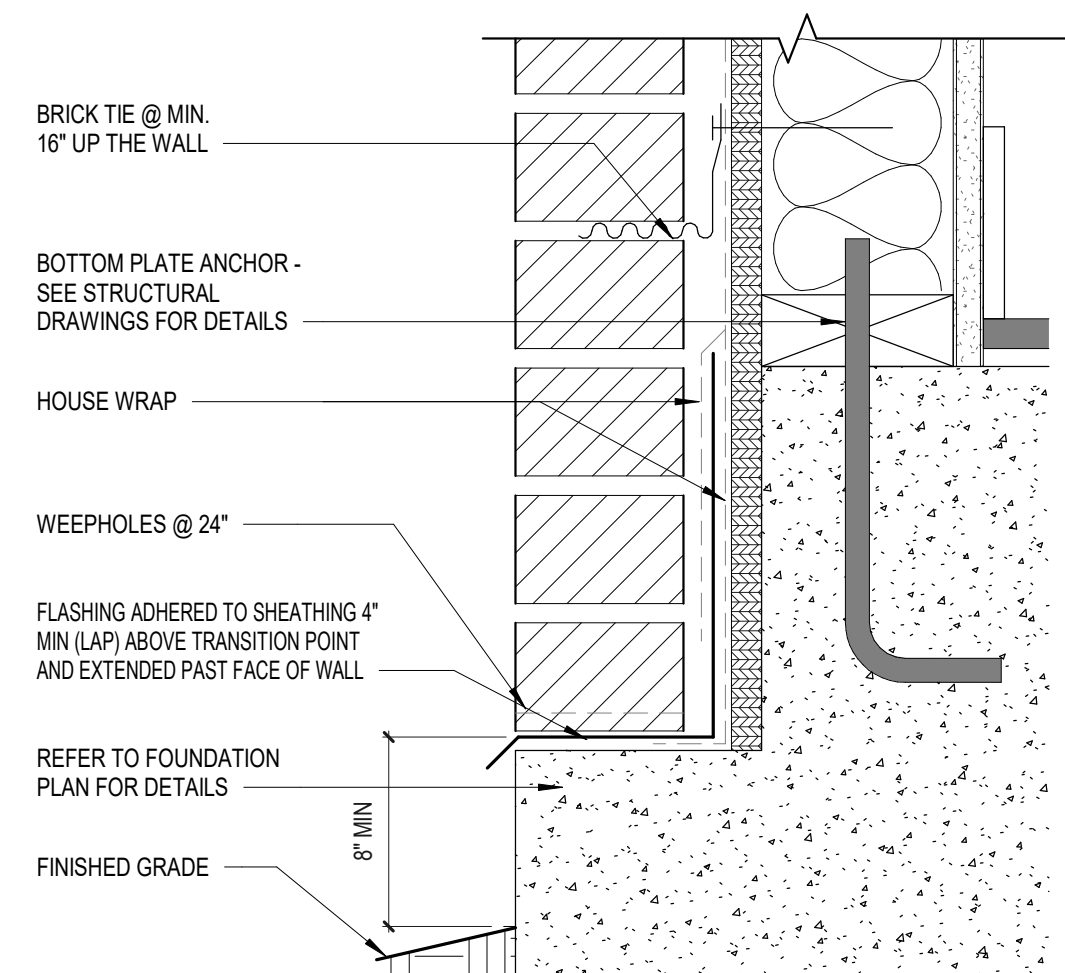
14. RAFTER TYP. 2 PROFILE DETAIL  
SCALE 3" = 1'-0"



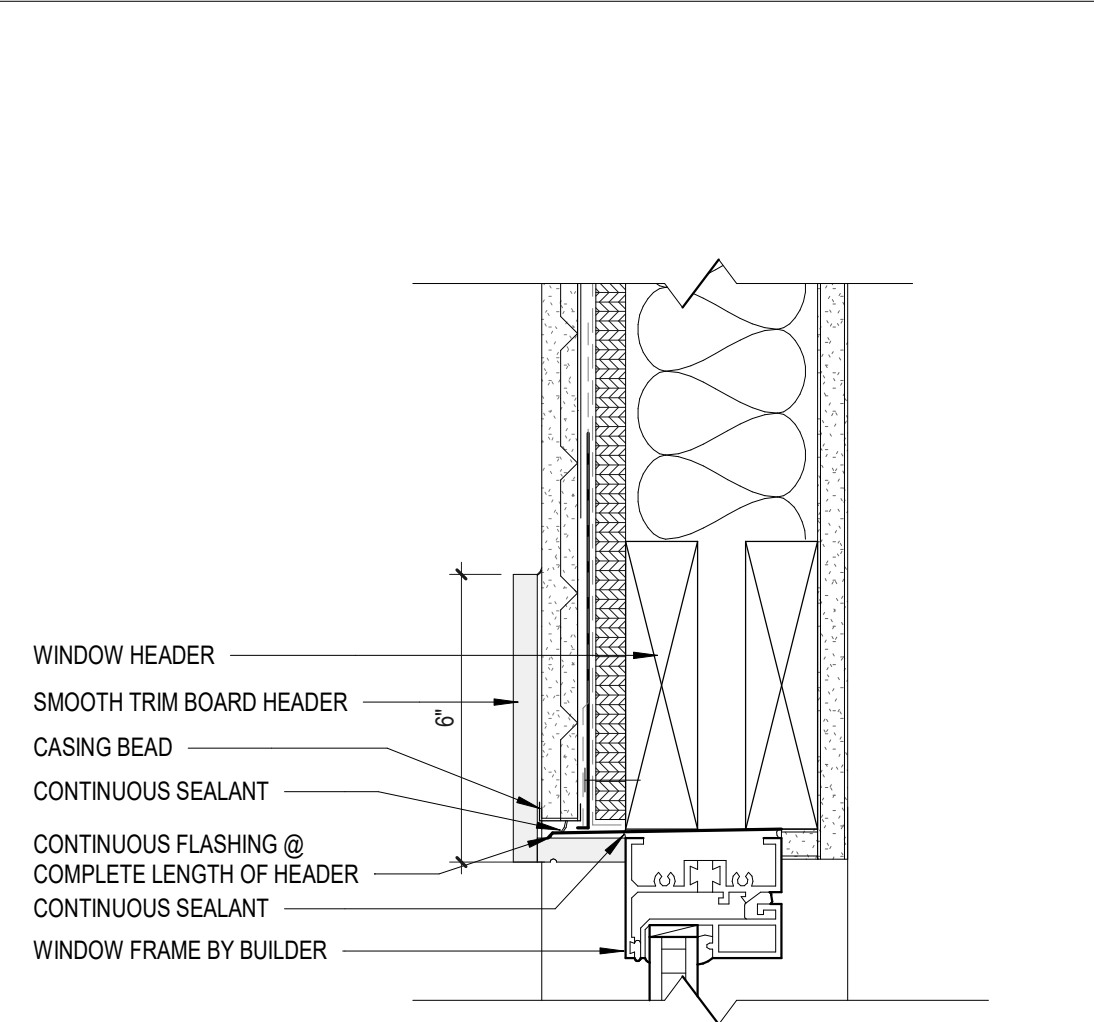
12. TRANSITION DETAIL - BRICK/STONE TO SIDING / STUCCO CORNER  
SCALE 3" = 1'-0"



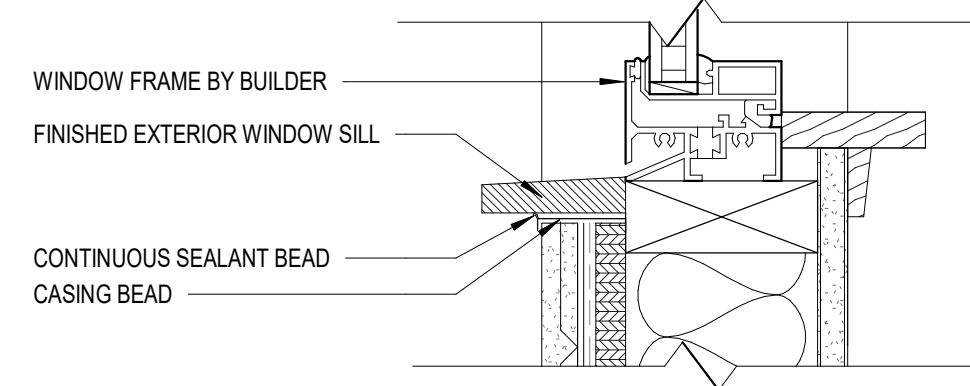
10. TRANSITION DETAIL - BRICK / STONE TO STUCCO  
SCALE 3" = 1'-0"



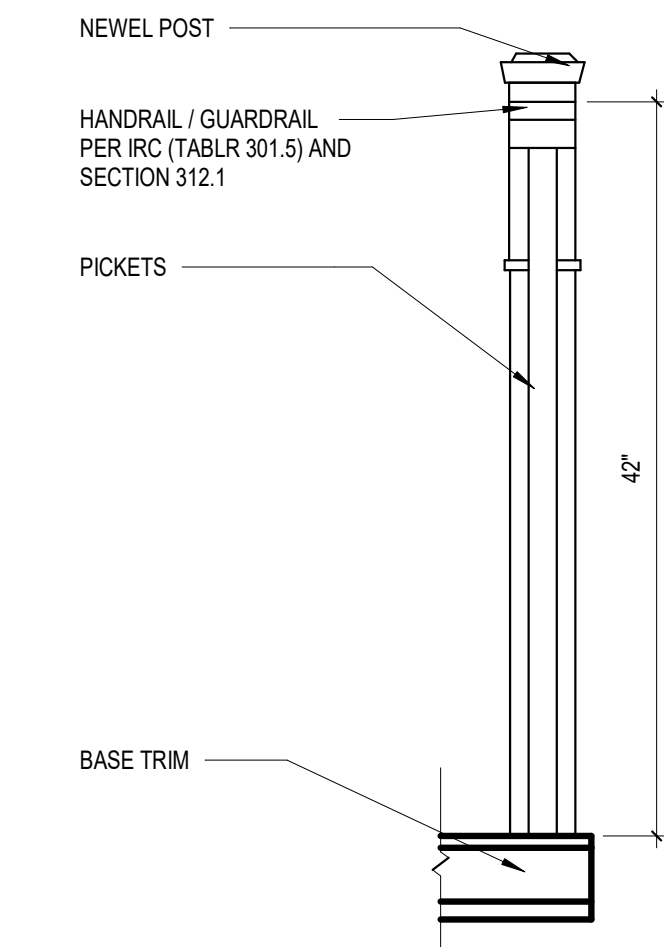
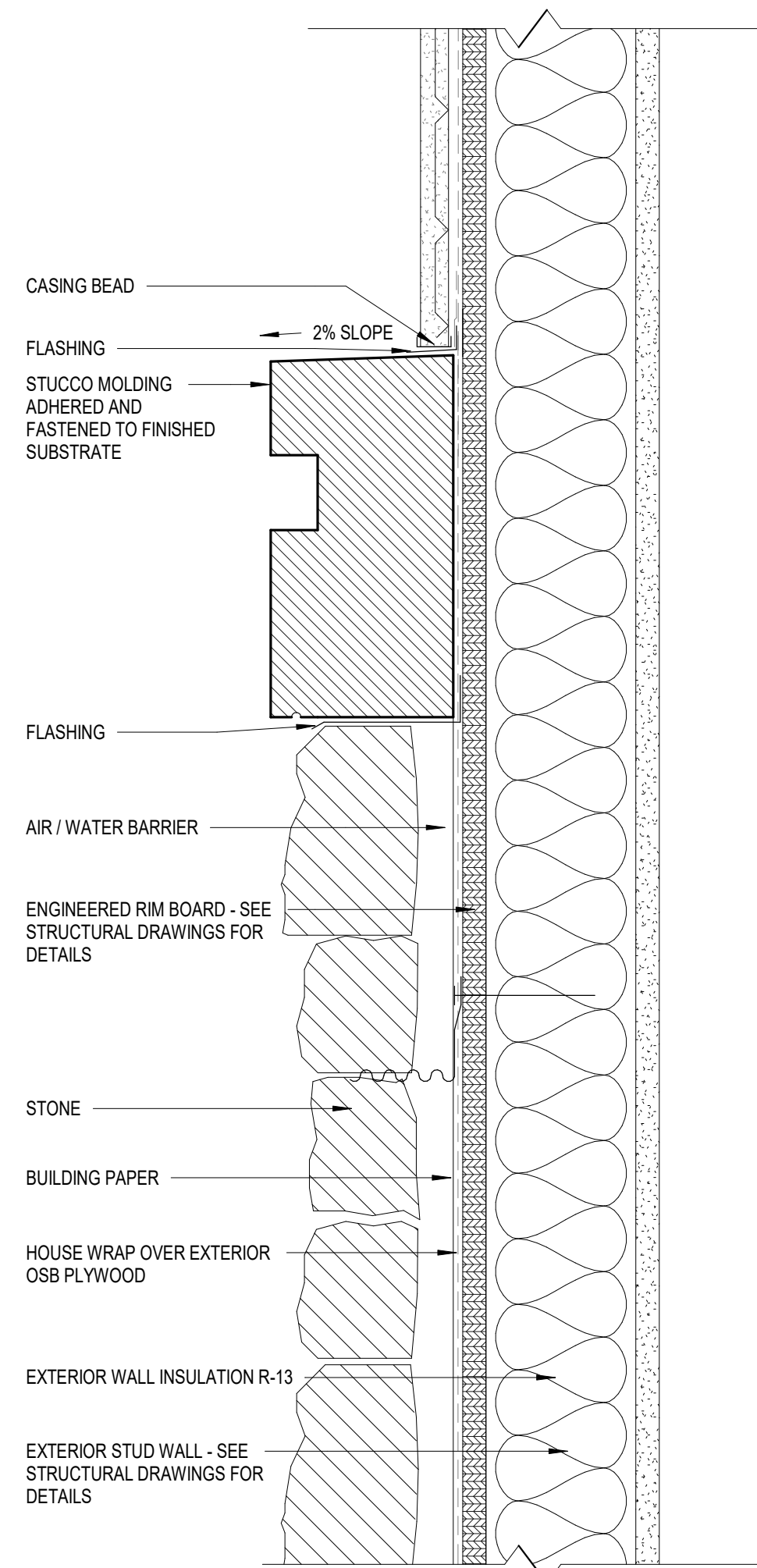
11. TRANSITION DETAIL - BRICK / STONE BASE DETAIL  
SCALE 3" = 1'-0"



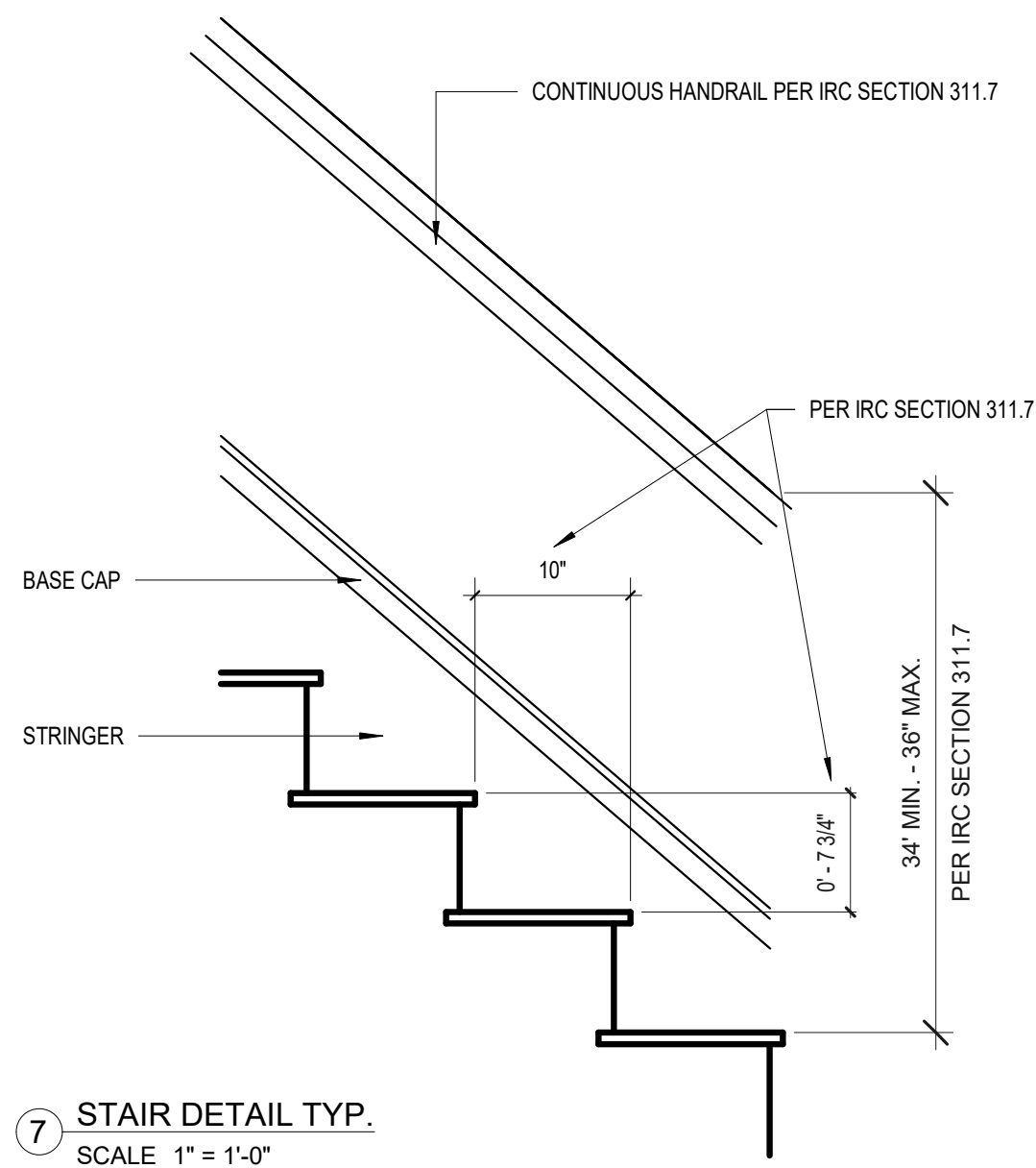
1. TRANSITION DETAIL - TYPICAL WINDOW  
SCALE 3" = 1'-0"



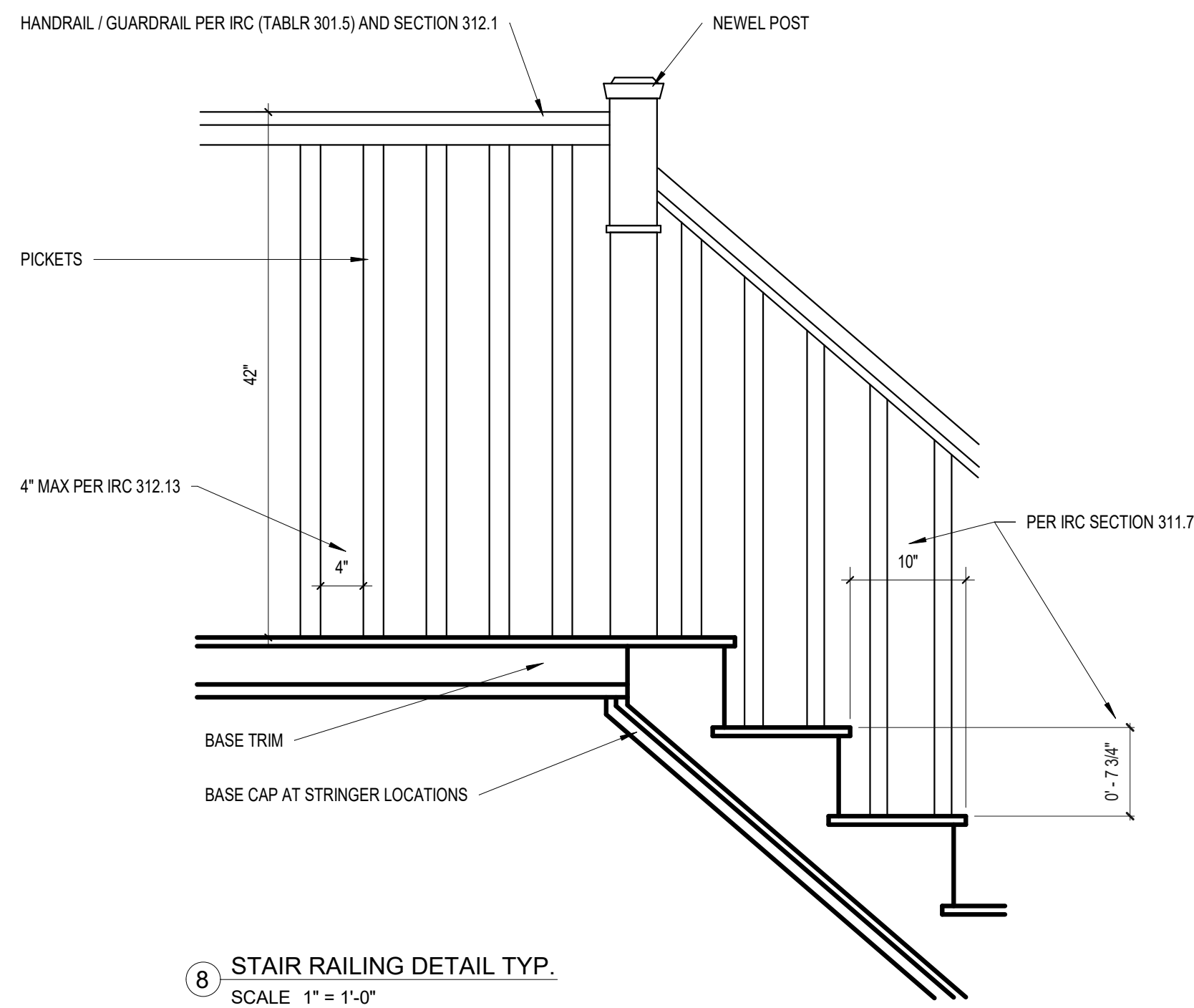
2. TRANSITION DETAIL - STUCCO TERRACE PARAPET  
SCALE 3" = 1'-0"



6. RAILING DETAIL TYP.  
SCALE 1" = 1'-0"



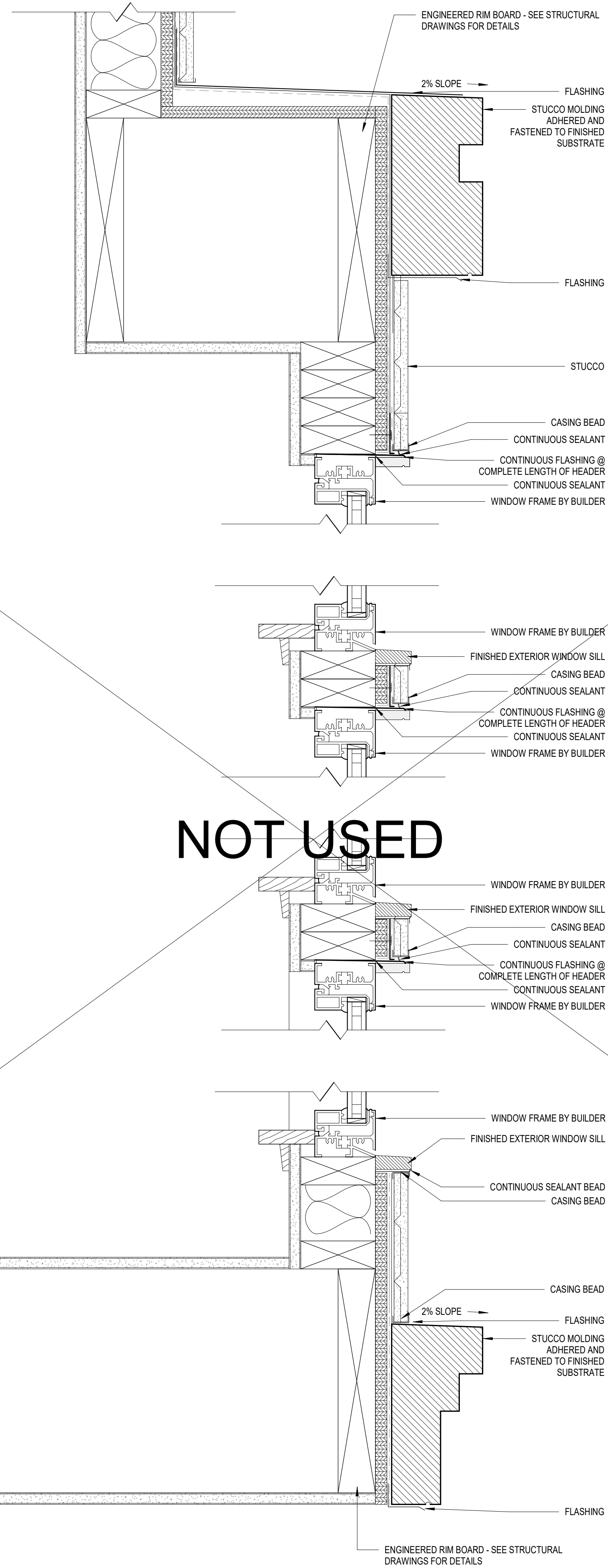
7. STAIR DETAIL TYP.  
SCALE 1" = 1'-0"



8. STAIR RAILING DETAIL TYP.  
SCALE 1" = 1'-0"



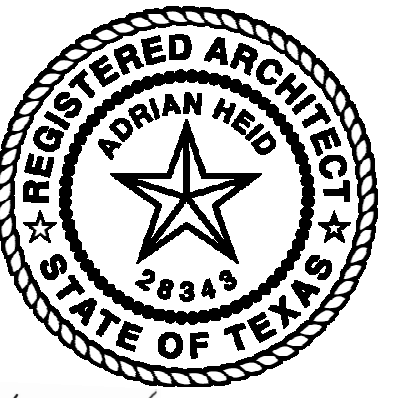
ARCHITECT:  
**based**  
 Based Architects, LLC  
 info@wearebased.com  
 832-422-7337  
 www.wearebased.com



**NOT USED**

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPTED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



*Arian Heid* 07/23/2023

**FRENCH QUARTER - ODESSA**  
 PERMIT DOCUMENTS  
 17819 SOUTH BLUE HERON BAY CIRCLE  
 MONTGOMERY, TX 77316

**SHEET ISSUE / REVISION LOG**

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023

SHEET TITLE:

**DETAILS**

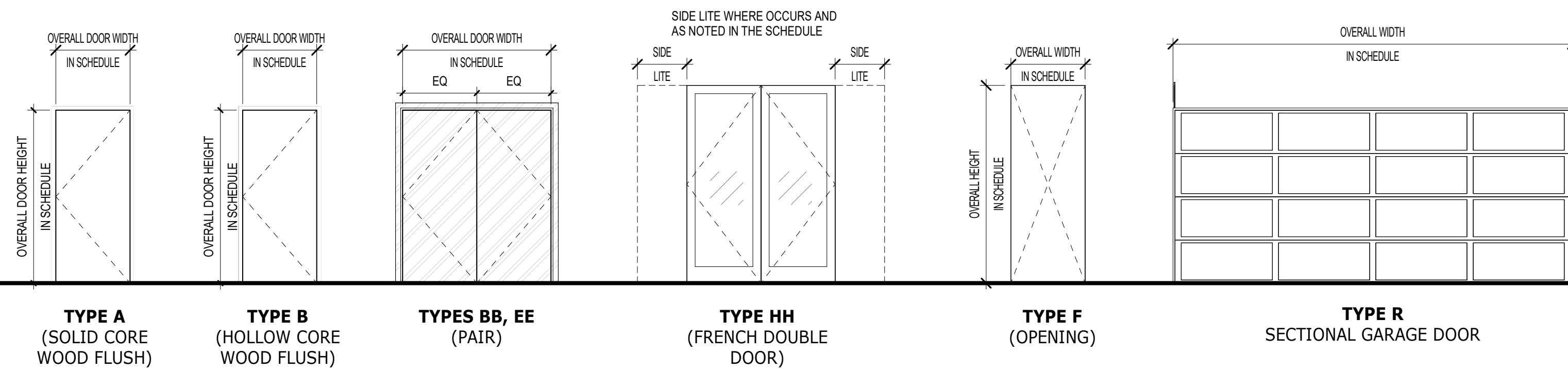
JOB NUMBER: 2311  
 SHEET NUMBER: **A 5.11**  
 DATE: 07/23/2023

# ODESSA - DOOR SCHEDULE - GENERAL - ELEVATION C&D

MARK	TYPE	DOOR SIZE			DOOR FINISH	DESCRIPTION	COMMENTS
		WIDTH	HEIGHT	THICKNESS			
<b>FIRST FLOOR PLAN</b>							
1	HH	6'-0"	8'-0"	0'-1 3/4"		DOUBLE FRENCH DOOR	
2	A	3'-0"	8'-0"	0'-1 3/4"		SWING DOOR	1HR RATED
3	HH	6'-0"	8'-0"	0'-1 3/4"		DOUBLE SWING DOOR	
4	B	2'-6"	8'-0"	0'-1 3/4"		SWING DOOR	
5	B	2'-0"	8'-0"	0'-1 3/4"		SWING DOOR	
6	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
7	BB	5'-0"	8'-0"	0'-1 3/4"		DOUBLE SWING DOOR	
8	B	2'-6"	8'-0"	0'-1 3/4"		SWING DOOR	
9	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
10	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
11	A	3'-0"	8'-0"	0'-1 3/4"		SWING DOOR	
12	A	3'-0"	8'-0"	0'-1 3/4"		SWING DOOR	
13	B	2'-6"	8'-0"	0'-1 3/4"		SWING DOOR	
14	B	2'-4"	8'-0"	0'-1 3/4"		SWING DOOR	
15	A	3'-0"	8'-0"	0'-1 3/4"		SWING DOOR	1HR RATED
16	HH	6'-0"	8'-0"	0'-1 3/4"		DOUBLE FRENCH DOOR	
50	F	3'-0"	9'-0"	0'-0"		OPENING	
51	F	5'-0"	9'-0"	0'-0"		OPENING	
52	F	8'-0"	9'-0"	0'-0"		OPENING	
53	F	3'-6"	9'-0"	0'-0"		OPENING	
54	F	3'-6"	9'-0"	0'-0"		OPENING	
55	F	3'-6"	9'-0"	0'-0"		OPENING	
56	F	3'-6"	9'-0"	0'-0"		OPENING	
57	F	3'-6"	9'-0"	0'-0"		OPENING	
58	F	3'-0"	9'-0"	0'-0"		OPENING	
59	F	6'-0"	9'-0"	0'-0"		OPENING	
100	R	9'-0"	8'-0"	0'-1 1/2"		SECTIONAL GARAGE DOOR	
101	R	18'-0"	8'-0"	0'-1 1/2"		SECTIONAL GARAGE DOOR	

<b>SECOND FLOOR</b>							
19	HH	6'-0"	8'-0"	0'-1 3/4"		DOUBLE FRENCH DOOR	
20	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
21	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
22	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
23	BB	5'-0"	8'-0"	0'-1 3/4"		DOUBLE SWING DOOR	
24	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
25	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
26	B	2'-4"	8'-0"	0'-1 3/4"		SWING DOOR	
27	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
28	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
29	B	2'-4"	8'-0"	0'-1 3/4"		SWING DOOR	
30	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
31	B	2'-8"	8'-0"	0'-1 3/4"		SWING DOOR	
60	F	8'-0"	9'-0"	0'-0"		OPENING	
61	F	2'-8"	9'-0"	0'-0"		OPENING	
62	F	2'-8"	9'-0"	0'-0"		OPENING	
63	F	4'-0"	9'-0"	0'-0"		OPENING	
64	F	5'-0"	9'-0"	0'-0"		OPENING	

## DOOR TYPES



### GENERAL NOTES

- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PRODUCTION
- CONTRACTOR SHALL VERIFY WITH WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS PRIOR TO ORDERING MANUFACTURING OR INSTALLING DOORS AND WINDOWS
- ALL UNIT FRAMES SHALL BE FINISHED WITH A COATING FINISH SELECTED BY ARCHITECT.
- STRUCTURAL MEMBERS SHOWN ARE NOT PROVIDED IN APERTURE PACKAGE AND CONTRACTOR SHALL COORDINATE WITH STRUCTURAL DRAWINGS.
- ALL NEW WINDOWS AND DOORS UNDER SEPARATE PERMIT.
- GLASS AREA IN WINDOWS 42" A.F.F. THAT ARE LOCATED ABOVE GRADE DROPS > 30" SHALL PASS ANSI TEST: Z91.1 1984
- WINDOW WITH SILL HEIGHT LESS THAN 38" AND WITH A DROP MORE THAN 4" ON THE FAR SIDE SHALL BE PROVIDED WITH SAFEGUARDS.
- ALL GLAZING TO MEET MINIMUM REQUIREMENTS FOR COMPLIANCE: SHGC < .25 AND U-FACTOR = < .75
- GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL.

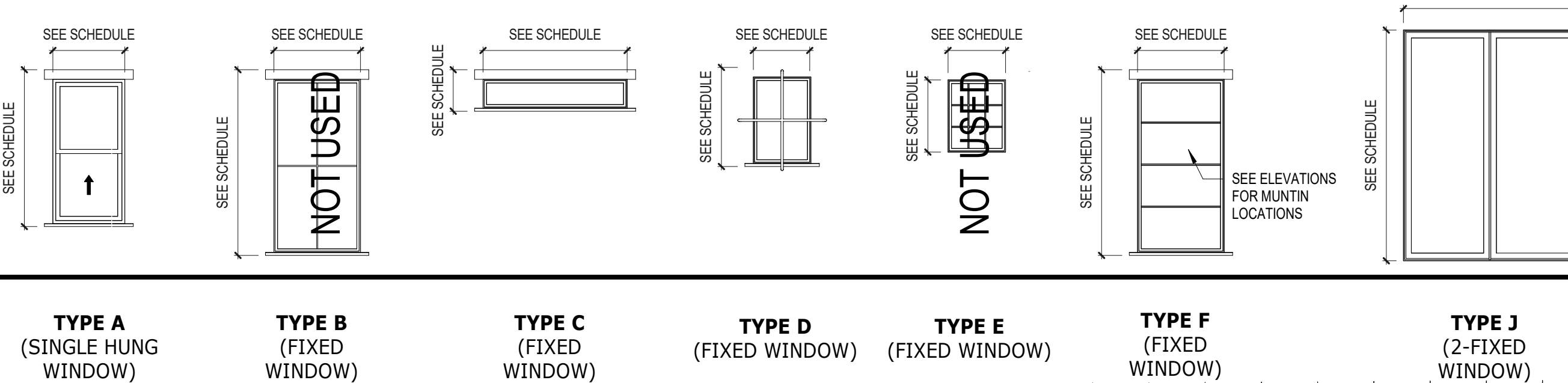
# ODESSA - WINDOW SCHEDULE - ELEVATION C

MARK	TYPE	FRAME SIZE		TYPE	MATERIAL	GLASS	COUNT
		WIDTH	HEIGHT				
A1	A	2'-6"	5'-0"	SINGLE HUNG	BY BUILDER	LOW-E CLEAR	6
A2	A	2'-6"	6'-0"	SINGLE HUNG	BY BUILDER	LOW-E CLEAR	2
B1	B	2'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	3
B2	B	3'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	4
B3	B	4'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
B4	B	2'-0"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	4
B5	B	2'-0"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	6
B6	B	3'-0"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
C4	C	5'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
C5	C	4'-0"	1'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
C6	C	5'-0"	1'-6"	FIXED	BY BUILDER	LOW-E CLEAR	3
D1	D	2'-0"	3'-0"	FIXED	BY BUILDER	LOW-E CLEAR	5
D2	D	1'-6"	4'-0"	FIXED	BY BUILDER	LOW-E CLEAR	5
E1	E	2'-0"	2'-6"	FIXED	BY BUILDER	LOW-E CLEAR	9
J1	J	6'-0"	8'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2

# ODESSA - WINDOW SCHEDULE - ELEVATION D

MARK	TYPE	FRAME SIZE		TYPE	MATERIAL	GLASS	COUNT
		WIDTH	HEIGHT				
A1	A	2'-6"	5'-0"	SINGLE HUNG	BY BUILDER	LOW-E CLEAR	6
A2	A	2'-6"	6'-0"	SINGLE HUNG	BY BUILDER	LOW-E CLEAR	2
C4	C	5'-0"	1'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
C5	C	4'-0"	1'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
C6	C	5'-0"	1'-6"	FIXED	BY BUILDER	LOW-E CLEAR	3
D1	D	2'-0"	3'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
D2	D	1'-6"	4'-0"	FIXED	BY BUILDER	LOW-E CLEAR	5
F1	F	2'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	3
F2	F	3'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	4
F3	F	4'-0"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
F4	F	2'-0"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	4
F5	F	2'-0"	4'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
F6	F	3'-0"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
F7	F	3'-6"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	1
F8	F	1'-0"	4'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
F9	F	2'-6"	5'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
F10	F	2'-6"	4'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
F11	F	2'-6"	6'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2
J1	J	6'-0"	8'-0"	FIXED	BY BUILDER	LOW-E CLEAR	2

## WINDOW TYPES



**EGRESS WINDOWS**  
WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. NO PART OF THE OPERATING MECHANISM SHALL BE HIGHER THAN 54" OFF THE FLOOR.

# ODESSA - DOOR SCHEDULE - UPGRADES

MARK	TYPE	DOOR SIZE			DOOR FINISH	DESCRIPTION	COMMENTS
		WIDTH	HEIGHT	THICKNESS			
<b>FIRST FLOOR PLAN</b>							
1U	W	16'-0"	9'-0"	0'-0 3/4"		MULTI-SLIDE BYPASS 4-PANEL	DESIGN OPTION 4
2U	E	2'-8"	8'-0"	0'-1 3/4"		FRENCH DOOR	DESIGN OPTION 2
NOT USED	3U	B	2'-8"	8'-0"		SWING DOOR	DESIGN OPTION 5
NOT USED	4U	B	2'-4"	8'-0"		SWING DOOR	DESIGN OPTION 5
NOT USED	5U	B	2'-0"	8'-0"		SWING DOOR	DESIGN OPTION 5
<b>SECOND FLOOR</b>							
NOT USED	6U	A	3'-0"	8'-0"		SWING DOOR	DESIGN OPTION 7
7U	AA	4'-0"	8'-0"	0'-1 3/4"		DOUBLE FRENCH DOOR	DESIGN OPTION 6
8U	AA	4'-0"	8'-0"	0'-1 3/4"		DOUBLE FRENCH DOOR	DESIGN OPTION 6
NOT USED	9U	BB	5'-0"	8'-0"		DOUBLE SWING DOOR	DESIGN OPTION 8
50U	F	3'-0"	9'-0"	0'-0"		OPENING	DESIGN OPTION 6

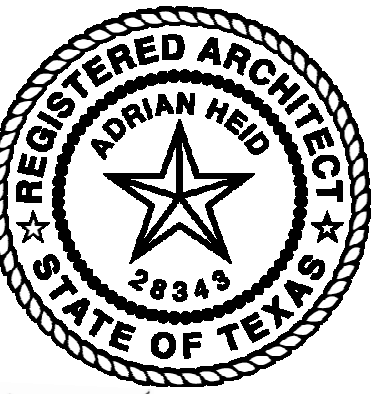
# based

ARCHITECT:  
**based**

Based Architects, LLC  
info@wearebased.com  
832-422-7337  
www.wearebased.com

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT AND ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF BASED ARCHITECTS, LLC TO ALTER AN ITEM IN THESE CONSTRUCTION DOCUMENTS IN ANY WAY. IN THE EVENT THESE DOCUMENTS ARE TO BE ADOPED BY A SUCCESSOR ARCHITECT, THE SUCCESSOR ARCHITECT SHALL BE REQUIRED, PRIOR TO ADOPTING SAID WORK, TO NOTIFY THE ORIGINAL ARCHITECT BY CERTIFIED LETTER OF THE SUCCESSOR'S INTENTION TO ADOPT THE ORIGINAL ARCHITECT'S WORK. THE SUCCESSOR ARCHITECT ALTERING ANY PORTION OF THE WORK WILL TAKE FULL RESPONSIBILITY FOR THE ENTIRE PROJECT AS THOUGH THEY WERE THE SUCCESSOR ARCHITECT'S ORIGINAL PRODUCT.

PROFESSIONAL SEAL(S):



07/23/2023

**FRENCH QUARTER - ODESSA**  
PERMIT DOCUMENTS  
17819 SOUTH BLUEHERON BAY CIRCLE  
MONTGOMERY, TX 77316

### SHEET ISSUE / REVISION LOG

No.	Description	Date
1	PERMIT SET ISSUE	07/23/2023
1	Revision 1 - Mirror house	06/19/2023

SHEET TITLE

**WINDOW AND DOOR SCHEDULES**

JOB NUMBER

2311

DATE  
07/23/2023

SHEET NUMBER

**A 6.00**