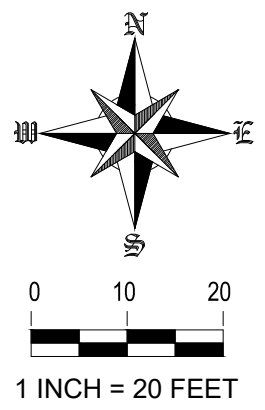
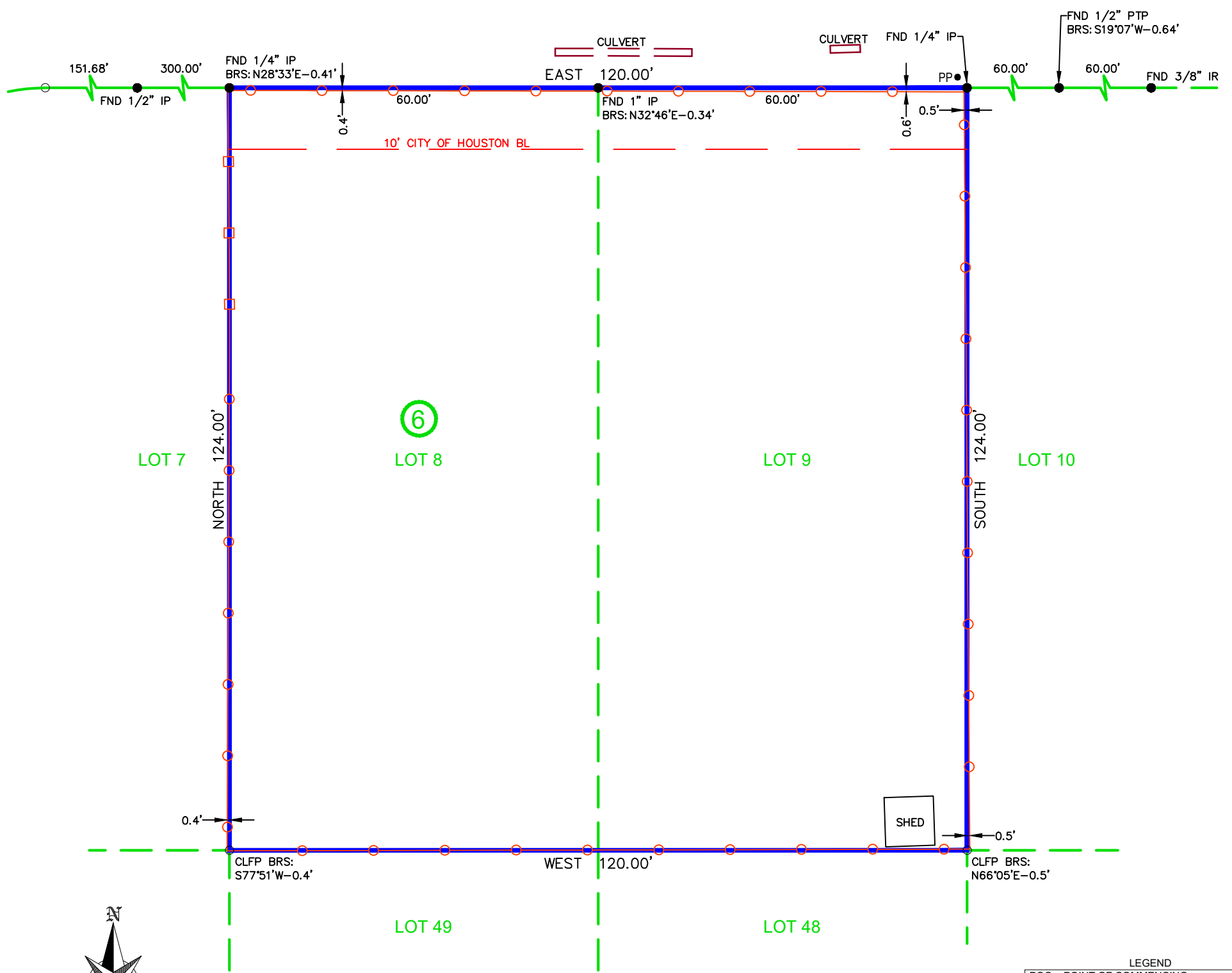


6  
LOT 11

LOT 12

ADDRESS : 0 & 2421 HAMPTON STREET  
**HAMPTON STREET**  
(60' R.O.W.)

EOA



LEGEND

POC = POINT OF COMMENCING
POB = POINT OF BEGINNING
RCP = REINFORCED CONCRETE PIPE
COV'D = COVERED
SW = SIDEWALK
PP = POWERPOLE
CONC = CONCRETE
HB = HIGHBANK
AE = AERIAL EASEMENT
BOC = BACK OF CURB
EOA = EDGE OF ASPHALT
FH = FIRE HYDRANT
WM = WATER VALVE
WM = WATER METER
PTP = PINCHED TOP PIPE
UE = UTILITY EASEMENT
BL = BUILDING LINE
CL = CENTER LINE
JIP = IRON PIPE
IR = IRON ROD
FND = FOUND
M = MANHOLE
STM = STORM
SAN = SANITARY
-o- = CHAIN LINK FENCE
-#- = WOOD FENCE
-□- = IRON FENCE
-x- = BARBWIRE FENCE
CLFP = CHAIN LINK FENCE POST
WFP = WOOD FENCE POST
IIFP = IRON FENCE POST
BFP = BARBWIRE FENCE POST
EOP = EDGE OF PAVEMENT
- = CONCRETE/ASPHALT/BRICK/TILE
- = BOUNDARY LINE
- = ADJOINING PROPERTY LINE

GENERAL NOTES:  
 1.) SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS RECORDED IN VOLUME 18, PAGE 57, MAP RECORDS, HARRIS COUNTY, TEXAS.  
 2.) SUBJECT TO CITY OF HOUSTON ORDINANCE NO(S). 85-1878, RECORDED IN COUNTY CLERK'S FILE NO. N253886, 89-1312, RECORDED IN COUNTY CLERK'S FILE NO. M337573, 91-1701, RECORDED IN COUNTY CLERK'S FILE NO. N556388, REAL PROPERTY RECORDS, HARRIS COUNTY, TEXAS.  
 3.) THIS SURVEY MEETS THE STANDARDS FOR A LAND SURVEY IN THE STATE OF TEXAS AS DEFINED IN THE MANUAL OF PRACTICE BY TEXAS SOCIETY OF PROFESSIONAL SURVEYORS.  
 4.) THIS SURVEY IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS AND IS VALID FOR THIS TRANSACTION ONLY. ANY LOSS RESULTING FROM UNAUTHORIZED USE SHALL NOT BE THE RESPONSIBILITY OF DART LAND SERVICES. USE OF THIS SURVEY, BY ANY PARTIES OTHER THAN THE PAYING CLIENT OF THE TRANSACTION DATED TODAY, SHALL BE AT THE USER'S OWN RISK.  
 5.) ALL BEARINGS ARE BASED ON RECORDED PLAT.  
 6.) FENCES OVERLAP PROPERTY LINES AS SHOWN.

I, BENJAMIN JAUMA, DO HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND, IN ACCORDANCE WITH THE INFORMATION PROVIDED TO ME AND THAT IT CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY. THERE WERE NO ENCROACHMENTS APPARENT ON THE GROUND EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.

*Benjamin Jauma*

BENJAMIN JAUMA, REGISTERED PROFESSIONAL LAND SURVEYOR OF TEXAS REGISTRATION No. 6417

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**MAILING: 925 Mason Road #188  
Katy, Texas, 77450  
281-584-6688  
orders@dartlandservices.com  
http://www.dartlandservices.com**

PROPERTY DESCRIPTION

SURVEY OF:  
BEING LOTS EIGHT (8) AND NINE (9), BLOCK SIX (6), HIGHLAND GARDENS, SECTION TWO (2), A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 18, PAGE 57 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

PROJECT INFORMATION

ADDRESS: 0 & 2421 HAMPTON STREET, HOUSTON, TEXAS, 77088  
 OWNER/PURCHASER: MZ BUILDERS  
 LENDER: -  
 TITLE COMPANY: CAPITOL TITLE GF#: 24-828052-CY  
 DRAFTER: 12-10-24/TR CREW: 12-09-24/JP CHECKER: 12-10-24/BJ KEY MAP NO.: 412N

SURVEYORS NOTES

-SURVEYOR HAS NOT ABSTRACTED SUBJECT PROPERTY-  
 -SURVEY IS BASED ON TITLE COMMITMENT LISTED-  
 -ALL BUILDING LINES AND EASEMENTS ARE PER RECORDED PLAT UNLESS OTHERWISE SHOWN-  
 -THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.  
 IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS-  
 -THIS SURVEY IS CERTIFIED TO THE PEOPLE AND OR COMPANIES LISTED-

FLOOD NOTE

\* THIS TRACT OR LOT -IS NOT- IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE "X" AS LOCATED BY FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA BY COMMUNITY No. 480296, MAP No. 48201C, PANEL No. 0465M, DATED 06-09-14. THIS TRACT OR LOT -IS NOT- IN THE 500 YEAR FLOOD PLAIN.  
 \* THIS INFORMATION IS BASED ON GRAPHICAL PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

JOB 2024-12-009