



SANTA FE VILLAGES
358 Developed Lots
Available!

CLICK [HERE](#) TO VIEW
SANTA FE VILLAGES
ON GOOGLE!

Development Department

281-305-8167

832-210-3031

CRE@COLONYRIDGE.COM



THE FASTEST GROWING
COMMUNITY IN TEXAS!



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Key Points

Santa Fe Villages



Sec 1 - 190 Lots - 30' x 120'
Sec 2 - 168 Lots - 40' x 120'
358 Total Lots



Pad Ready with All
Underground Utilities On
Site



Water & Sewer Included



Curb and Gutter, Graded, and
Ready-to-Build.



USDA Eligible



Multiple National Retailers Nearby



2% Tax Rate



6 Schools Open Nearby

Colony Ridge



50K+ Residents
Now & 250K+
Upon
Completion



Colony Ridge Is
The Developer &
Santa Fe Is The
Development



150-200 New
Rooftops Added
Each Month



150-200 New
Residential
Lots Sold Each
Week



6 Schools Now, 2
More Opening
2026 & 25+ Total
Schools
Projected



~13,335
Rooftops Now



Plum Grove

International Leadership of Texas...

JoeJoe's Mobile Detailing

Alas Locas

Santa Fe VILLAGES

Rd 3550

San Jacinto Hair Salón

Los Toxicos Drive Thru

Pineburr Elementary

International Leadership of Texas BG Ramirez K-8

Let's Go Market Gas Station

The elote bar

Terrenos Houston

Mancilla AutoTech

Marquez Mechanic

Toros remodelacion

Google

EXISTING SCHOOLS



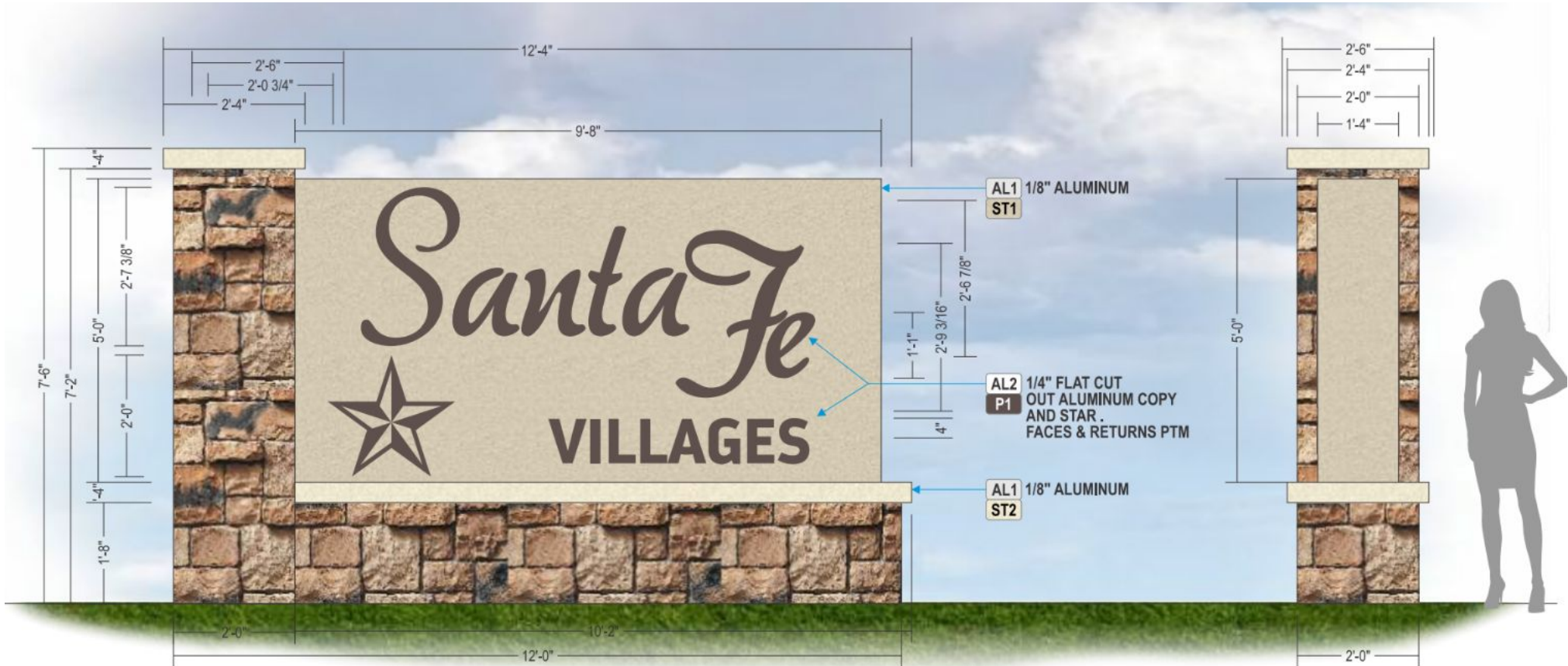
PROPOSED SCHOOLS



 **THE TRAILS**

99
TEXAS

SANTA FE VILLAGES SIGN RENDERING



SECTION 1

SANTA FE VILLAGE SECTION 1

190 LOTS 3 BLOCKS 5 RESERVES 44.344 ACRES

A SUBDIVISION OF 173.065 ACRES OF LAND, BEING LOCATED IN THE SAMUEL ALLOWAY SURVEY, ABSTRACT NO. 128, THE HIRAM EMERSON SURVEY, ABSTRACT NO. 188, AND THE JOHN H. KERRY SURVEY, ABSTRACT NO. 943, BEING A PORTION OF A CALLED 5,793.857 ACRE TRACT AS RECORDED UNDER COUNTY CLERK'S FILE NO. 2018-010778 OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, TEXAS (O.P.R.L.C.T.) AND ALL OF A CALLED 145.321 ACRE TRACT AS RECORDED UNDER CLERK'S FILE NO. 2020-032811 O.P.R.L.C.T.

FEBRUARY 2023



OWNER:
Colony Ridge Development, L.L.C.
1712 North Frazier, Ste. 216
Conroe, Texas 77301



SURVEYOR:
HARDEY GROUP, LLC
1300 S. FRAZER ST. STE 204
CONROE, TX 77380
PHONE: 832-248-6254
EMAIL: info@hardeygroup.com
SURVEY REG. NO. 0214422
ENGINEERING: F-10844

- LEGEND:**
- SECTION BOUNDARY LINE
 - ROAD CENTERLINE
 - LOT BOUNDARY
 - 25' BUILDING SETBACK (B.L.)
 - 15' MULTIPURPOSE EASEMENT LINE (M.P.E.)
- B.L. = Building Line
 U.E. = Utility Easement
 D.E. = Drainage Easement
 OPRLC = Official Public Records of Liberty County, Texas
 MFFE = Minimum Finished Floor Elevation
 Multipurpose Easement = D.E., U.E., pedestrian, bicycle
 M.P.E. = Multipurpose Easement
 R.O.W. = RIGHT OF WAY
 C.C. = COUNTY CLERK FILE

NOTES:
All bearings are based on Texas Coordinate System of 1983, Central Zone.

A portion of the subject property shown herein lies within the 100-year flood Zone A (unstudied), according to the FEMA Flood Insurance Rate Map for Liberty County, Community panel 48291C0275C, eff. date 5/2/2008.

There is a 5' building line located along all side lot lines unless otherwise shown or noted.

There is a 10' building line, utility easement, drainage easement and multipurpose easement located along all rear lot lines unless otherwise shown or noted.

There is an aerial easement above all existing utility easements. There is an additional aerial easement 5 feet wide from a plane starting 20 feet above the ground upward located adjacent to utility easements abutting the road right of way and where power poles currently exist.

20 Multipurpose easements for Drainage, Utility, Pedestrian and Bicycle as shown and located on plot.

The flow of water on or across any and all gullies, ravines, draws, sloughs, or other natural drainage courses within the platted area cannot be impeded.

Lots with double frontage that have one access from a cul-de-sac shall have driveway access from cul-de-sac only.

No ingress or egress shall be taken directly from roundabouts.

Corner lots shall take driveway access from the lower function class street only.

Acreage indicated on each lot and dwelling shall be allowed on each lot.

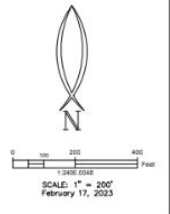
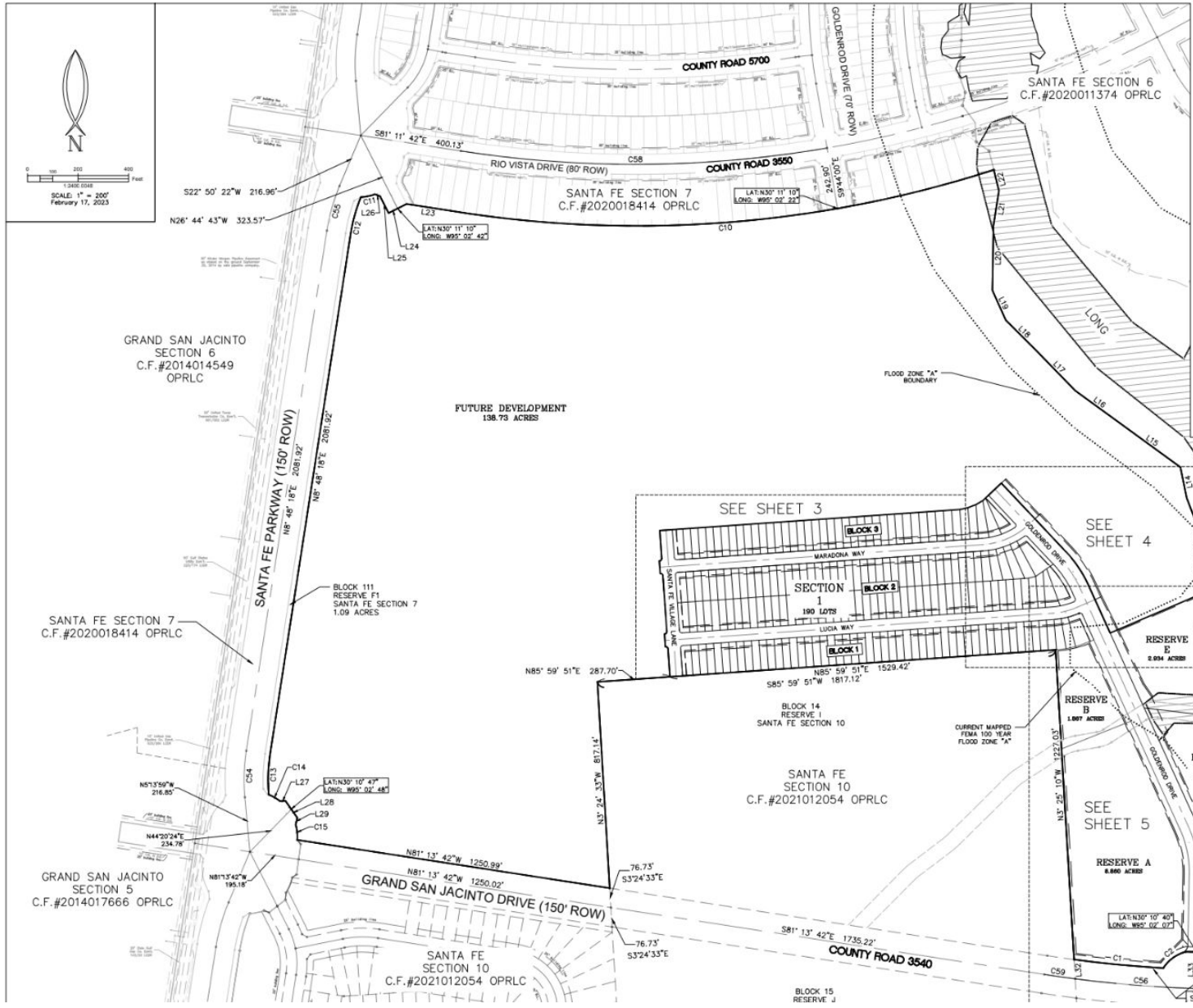
All existing pipeline easements within the limits of the subdivision have been shown.

Reserves are designated for drainage, well sites, wastewater treatment plant, water treatment plant, commercial, common areas, vegetation buffers or access easements.

All drainage easements shown herein shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

No construction or other development within this subdivision may begin until all Liberty County development requirements have been met.

Residential driveways shall be installed at locations shown in the Santa Fe Village - Section 1, Street, Grading & Storm Drainage Plans prepared by Hardey Group, LLC, or at locations as amended by the current



GRAND SAN JACINTO SECTION 6
C.F.#2014014549
OPRLC

FUTURE DEVELOPMENT
138.73 ACRES

SEE SHEET 3

SEE SHEET 4

SEE SHEET 5

SEE SHEET 5 OF 6

SANTA FE SECTION 7
C.F.#2020018414 OPRLC

BLOCK 14
RESERVE J
SANTA FE SECTION 10

SANTA FE SECTION 10
C.F.#2021012054 OPRLC

GRAND SAN JACINTO SECTION 5
C.F.#2014017666 OPRLC

SANTA FE SECTION 10
C.F.#2021012054 OPRLC

SANTA FE SECTION 6
C.F.#2020011374 OPRLC

SECTION 1

SANTA FE VILLAGE SECTION 1

190 LOTS 3 BLOCKS 5 RESERVES 44.344 ACRES

A SUBDIVISION OF 173.065 ACRES OF LAND, BEING LOCATED IN THE SAMUEL ALLOWAY SURVEY, ABSTRACT NO. 128, THE HIRAM EMERSON SURVEY, ABSTRACT NO. 188, AND THE JOHN H. KIRBY SURVEY, ABSTRACT NO. 943, BEING A PORTION OF A CALLED 5,793.857 ACRE TRACT AS RECORDED UNDER COUNTY CLERK'S FILE NO. 2018-010778 OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, TEXAS (O.P.R.L.C.T.) AND ALL OF A CALLED 145.321 ACRE TRACT AS RECORDED UNDER CLERK'S FILE NO. 2020-032811 O.P.R.L.C.T.

FEBRUARY 2023

SURVEYOR:



OWNER:
Colony Ridge Development, L.L.C.
1712 North Frazier, Ste. 216
Conroe, Texas 77301



1300 S FRAZER ST, STE 214
CONROE, TX 77301
PHONE: 832-248-8254
EMAIL: info@hardeygroup.com
SURVEY REG. NO. 10194421
ENGINEERING: E-15894

FUTURE DEVELOPMENT
138.73 ACRES

NOTES:

All bearings are based on Texas Coordinate System of 1983, Central Zone.

A portion of the subject property shown hereon lies within the 100-year flood zone A (unstudied), according to the FEMA Flood Insurance Rate Map for Liberty County, Community panel 48291C0275C, eff. date 5/2/2008.

There is a 5' building line located along all side lot lines unless otherwise shown or noted.

There is a 10' building line, utility easement, drainage easement and multipurpose easement located along all rear lot lines unless otherwise shown or noted.

There is an aerial easement above all existing utility easements. There is an additional aerial easement 5 feet wide from a plane starting 20 feet above the ground upward located adjacent to utility easements abutting the road right of way and where power poles currently exist.

20 Multipurpose easements for Drainage, Utility, Pedestrian and Bicycle as shown and located on plot.

The flow of water on or across any and all gullies, ravines, draws, sloughs, or other natural drainage courses within the plotted area cannot be impeded.

Lots with double frontage that have one access from a cul-de-sac shall have driveway access from cul-de-sac only.

LEGEND:

- SECTION BOUNDARY LINE
- ROAD CENTERLINE
- LOT BOUNDARY
- 25' BUILDING SETBACK (B.L.)
- 15' MULTIPURPOSE EASEMENT LINE (M.P.E.)

- B.L. = Building Line
- U.E. = Utility Easement
- D.E. = Drainage Easement
- OPRCL = Official Public Records of Liberty County, Texas
- MFFE = Minimum Finished Floor Elevation
- Multipurpose Easement = D.E., U.E., pedestrian, bicycle
- M.P.E. = Multipurpose Easement
- ROW = RIGHT OF WAY
- C.C. = COUNTY CLERK FILE

NOTES: (CONTINUED)

No ingress or egress shall be taken directly from roundabouts.

Corner lots shall take driveway access from the lower function class street only.

Acreage indicated on each lot and reserve.

No more than one single family dwelling shall be allowed on each lot.

All existing pipeline easements within the limits of the subdivision have been shown.

Reserves are designated for drainage, well sites, wastewater treatment plant, water treatment plant, commercial, common areas, vegetation buffers or access easements.

All drainage easements shown hereon shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

No construction or other development within this subdivision may begin until all Liberty County development requirements have been met.

Residential driveways shall be installed at locations shown on the Santa Fe Village - Section 1, Street, Grading & Storm Drainage Plans prepared by Hardey Group, LLC, or at locations as amended by the current property owner's association.

No residential driveway in this development shall be constructed until approved by the POA and County Permit Office.

CURRENTLY MAPPED FEMA 100 YEAR FLOOD ZONE "A" LINE (MAPPED WITHOUT FEMA BASE FLOOD ELEVATION)

RESERVE E
2.934 ACRES

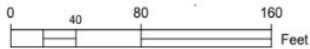
RESERVE B
1.867 ACRES

BLOCK 14
RESERVE I
42.66 AC.
SANTA FE SECTION 10

SANTA FE SECTION 6
C.F.#2020011374 OPRCL

NOTE: ATLAS 14
FLOOD STUDY AND
FEMA REMAPPING OF
ZONE A IN PROCESS.

ATLAS 14 COMPUTED
100 YEAR FLOOD
ZONE BOUNDARY



SCALE: 1" = 40'
February 17, 2023

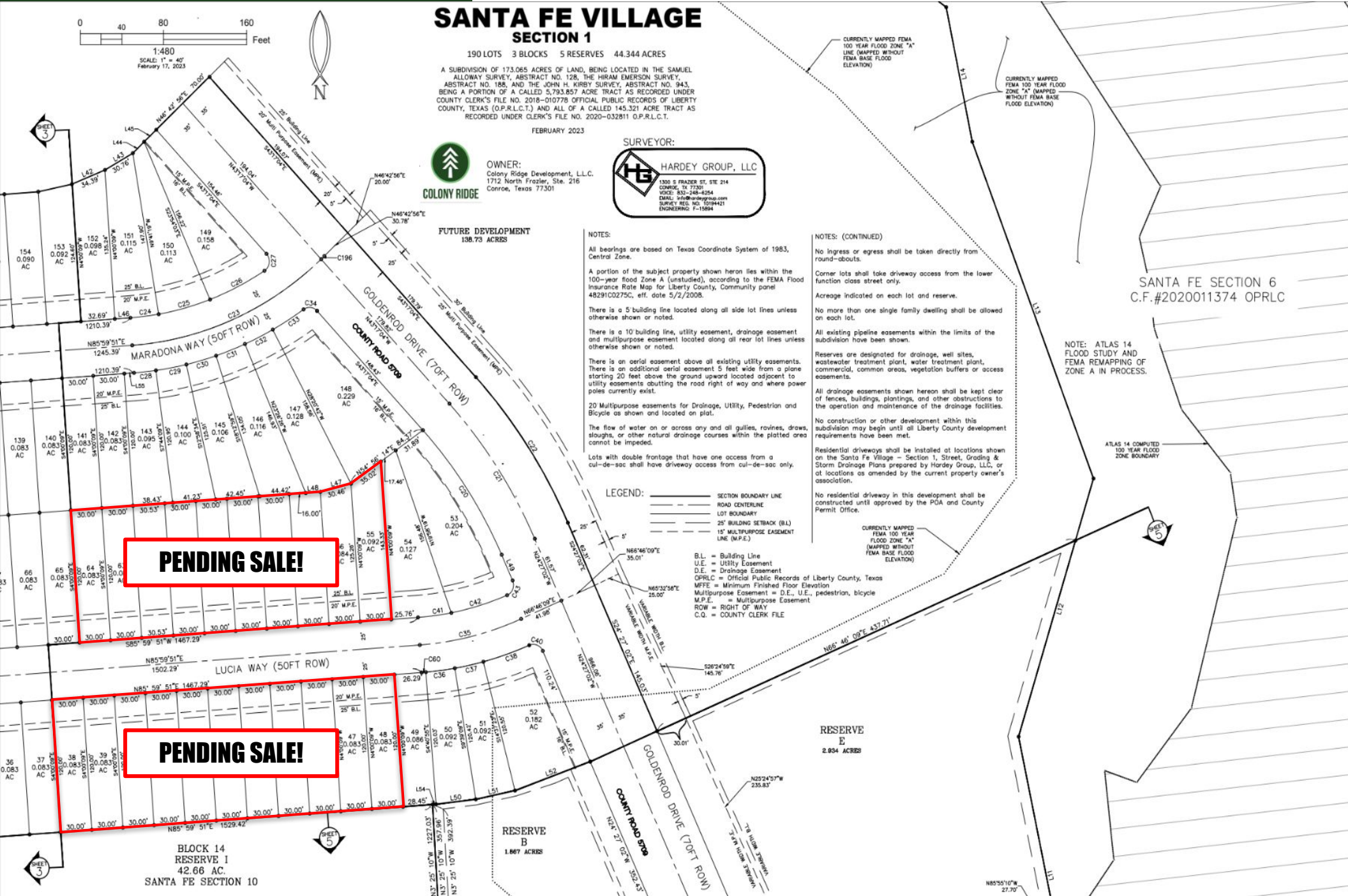


SHEET 5

SHEET 5

SHEET 3

SHEET 5



SECTION 1

NOTES:

All bearings are based on Texas Coordinate System of 1983, Central Zone.
 A portion of the subject property shown hereon lies within the 100-year flood zone A (unshaded), according to the FEMA Flood Insurance Rate Map for Liberty County, Community panel 4823020275C, eff. date 5/2/2005.
 There is a 5' building line located along all side lot lines unless otherwise shown or noted.
 There is a 10' building line, utility easement, drainage easement and multipurpose easement located along all rear lot lines unless otherwise shown or noted.
 There is an aerial easement above all existing utility easements. There is an additional aerial easement 5 feet wide from a pole starting 20 feet above the ground upward located adjacent to utility easements abutting the road right of way and where power poles currently exist.

NOTES: (CONTINUED)

20' Multipurpose easements for Drainage, Utility, Pedestrian and Bicycle as shown and located on plat.
 The flow of water on or across any and all gullies, ravines, draws, sloughs, or other natural drainage courses within the platted area cannot be impeded.
 Lots with double frontage that have one access from a cul-de-sac shall have driveway access from said cul-de-sac only.
 No ingress or egress shall be taken directly from roundabouts.
 Corner lots shall take driveway access from the lower function class street only.
 Acreage indicated on each lot and reserve.

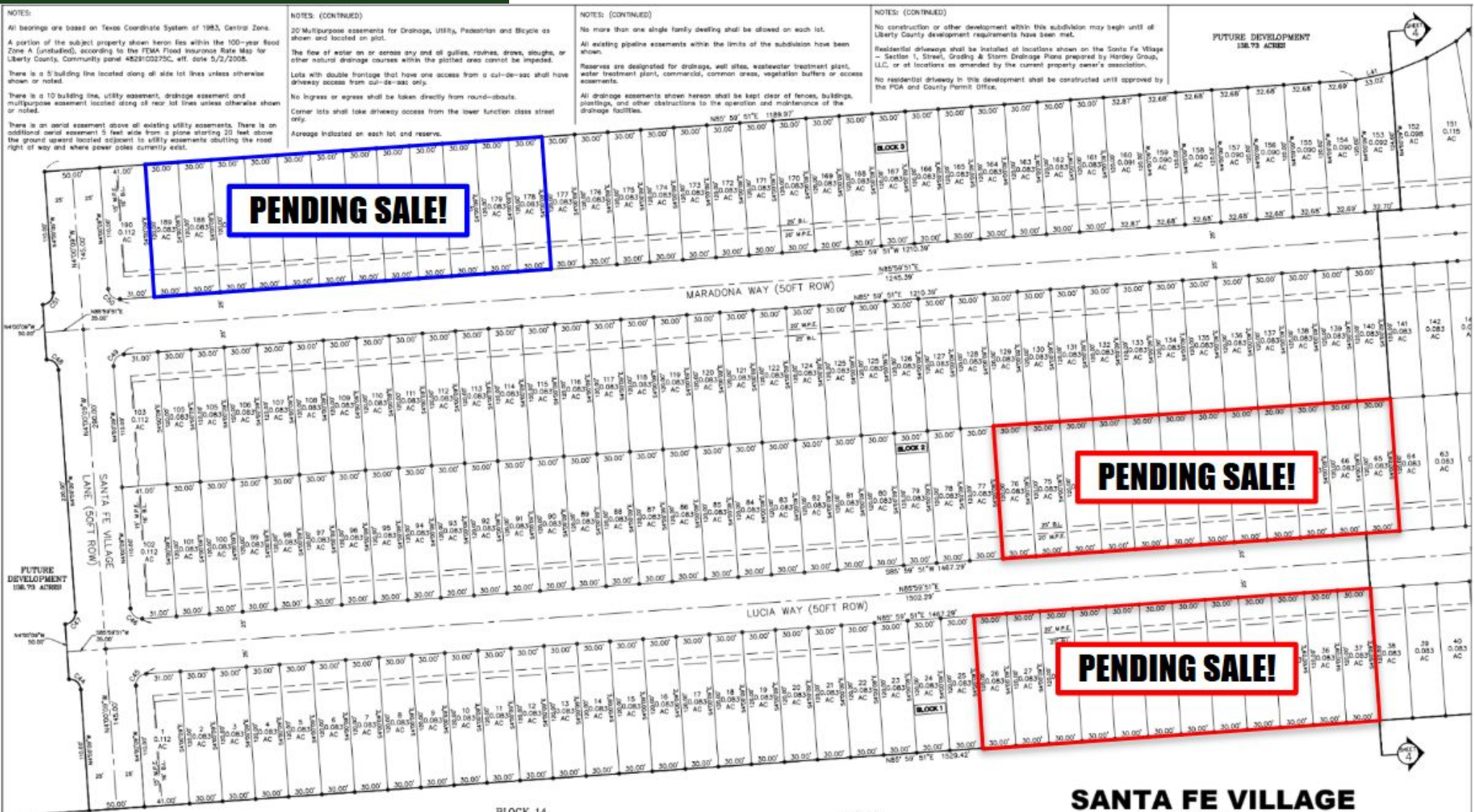
NOTES: (CONTINUED)

No more than one single family dwelling shall be allowed on each lot.
 All existing pipeline easements within the limits of the subdivision have been shown.
 Reserves are designated for drainage, well sites, wastewater treatment plant, water treatment plant, commercial, common areas, vegetation buffers or access easements.
 All drainage easements shown hereon shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

NOTES: (CONTINUED)

No construction or other development within this subdivision may begin until all Liberty County development requirements have been met.
 Residential driveways shall be installed at locations shown on the Santa Fe Village - Section 1, Street, Grading & Storm Drainage Plans prepared by Hardey Group, L.L.C. or at locations as amended by the current property owner's association.
 No residential driveway in this development shall be constructed until approved by the PDA and County Permit Office.

FUTURE DEVELOPMENT
138.73 ACRES



BLOCK 14
RESERVE 1
42.68 AC.
SANTA FE SECTION 10

- LEGEND:**
- SECTION BOUNDARY LINE
 - ROAD CENTERLINE
 - LOT BOUNDARY
 - 20' BUILDING SETBACK (BL)
 - 10' MULTIPURPOSE EASEMENT LINE (M.P.E.)
- B.L. = Building Line
 U.E. = Utility Easement
 D.E. = Drainage Easement
 O.P.R.C. = Official Public Records of Liberty County, Texas
 M.F.P.E. = Minimum Finished Floor Elevation
 Multipurpose Easement = D.E., U.E., pedestrian, bicycle
 M.P.E. = Multipurpose Easement
 ROW = Right of Way
 C.O. = COUNTY CLERK FILE

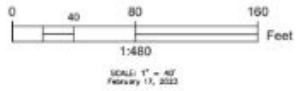
SANTA FE VILLAGE
SECTION 1
 190 LOTS 3 BLOCKS 5 RESERVES 44.344 ACRES

A SUBDIVISION OF 173.065 ACRES OF LAND, BEING LOCATED IN THE SAMUEL ALLDAY SURVEY, ABSTRACT NO. 128, THE HIRAM EMERSON SURVEY, ABSTRACT NO. 198, AND THE JOHN H. KERRY SURVEY, ABSTRACT NO. 843, BEING A PORTION OF A CALLED 5,793.857 ACRE TRACT AS RECORDED UNDER COUNTY CLERK'S FILE NO. 2018-010778 OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, TEXAS (O.P.R.C.) AND ALL OF A CALLED 148,521 ACRE TRACT AS RECORDED UNDER CLERK'S FILE NO. 2020-032811 O.P.R.C.I.

FEBRUARY 2023

SURVEYOR:

HARDEY GROUP, L.L.C.
 1300 S. HARDEY ST., STE 204
 CONROE, TX 77385
 (281) 450-0388



OWNER:
 Colony Ridge Development, L.L.C.
 1712 North Frazier, Sta. 216
 Conroe, Texas 77385

SECTION 2

SANTA FE VILLAGE SECTION TWO

198 LOTS & BLOCKS @ RESERVES 28,104 ACRES
 A SUBDIVISION OF 173,646 ACRES OF LAND BEING LOCATED IN THE SAMUEL ALLOWAY SURVEY, ABSTRACT NUMBER 120, AND THE HERMAN EMERSON SURVEY, ABSTRACT NO. 943, BEING A PORTION OUT OF THE REMAINDER OF A 5,703.857 ACRE TRACT AS REDDED UNDER CLEW'S FILE NO. 2018-010778, O.P.R.L.C.



Note:
 All bearings based on Texas State Plane Coordinate System, Central Zone (2011), North American Datum 1983 (NAD 83).

Subdivided property shown herein is located in Zone X outside the 100-year flood plain according to the F.I.S.A. Insurance Rate Map, Community Flood 481512 0778 G, effective May 3, 2008.

There is a 6' building line located along all sides of their unless otherwise shown or noted.

There is an 8' setback required on all existing utility easements.

There is an unimproved canal easement 5 feet wide from a stone structure 20 feet from the ground surface located adjacent to utility easements abutting the road right of way and where power poles currently exist.

Multipurpose easements for drainage, utility, pedestrian and bicycle use shown and located as noted.

The flow of water on or across any and all public, private, street, drainage, or other natural drainage courses within the planned area shall be unimpeded.

Lots with double frontages that have one access from a cul-de-sac shall have driveway access from 60'-00" to 100'.

No ingress or egress shall be taken directly from road-abuts.

Corner lots shall have driveway access from the lower frontage shown on the plat.

Access indicated on each lot and reserve.

No more than one single family dwelling shall be addressed on each lot.

All existing easements within the limits of this subdivision have been shown.

Reserves are designated for drainage, utility, waste water treatment plant, water treatment plant, commercial, common area, vegetation buffers or access easements.

All drainage easements shown herein shall be kept clear of houses, buildings, driveways, and other obstructions to the operation and maintenance of the drainage facilities.

The construction of other developments within this subdivision may require all utility, water, drainage, and other easements have been shown.

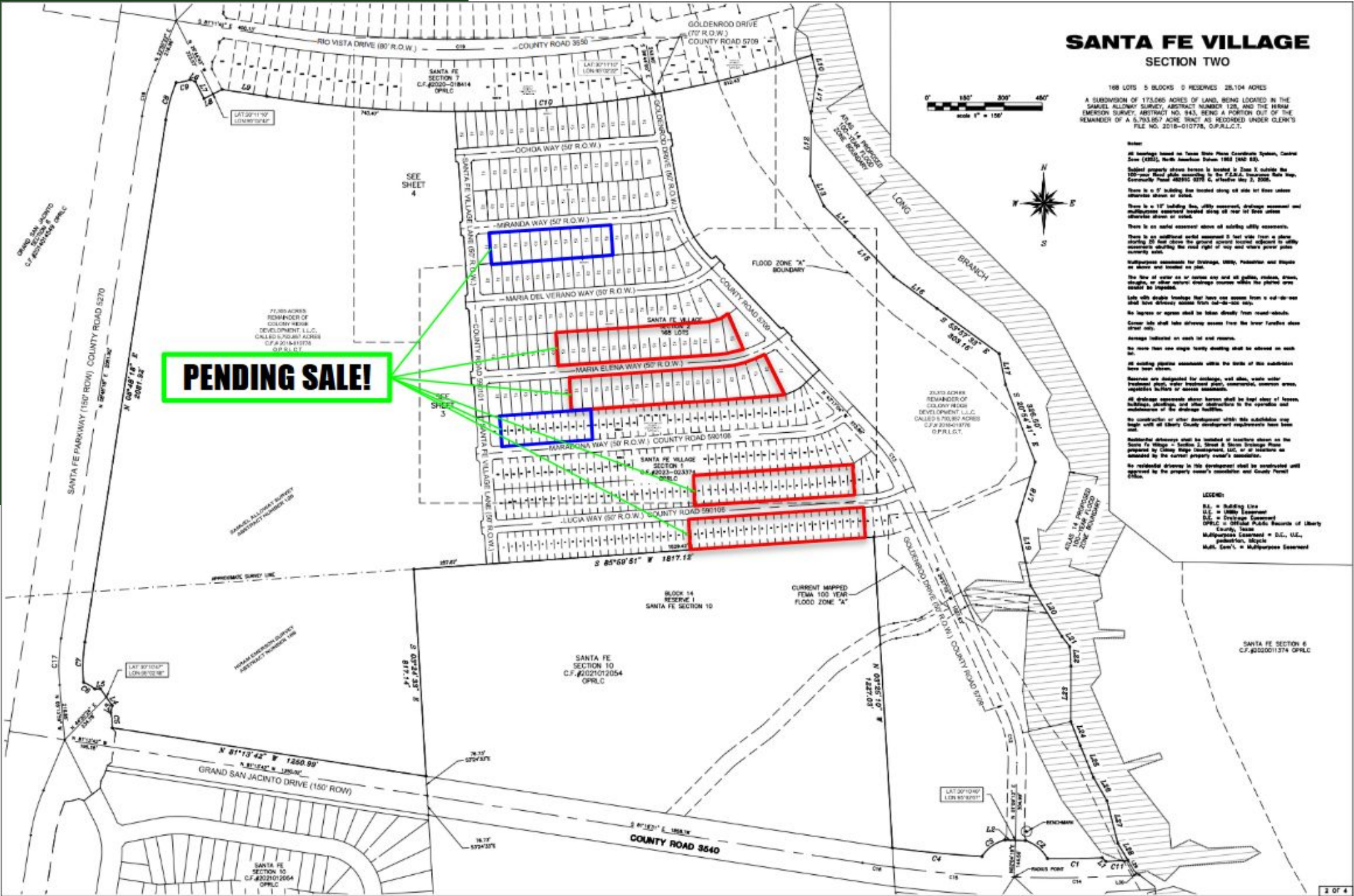
Subdivided interests shall be located or located shown on the Santa Fe Village - Section 2, Sheet 3, Section 2 plat.

Prepared by City of Santa Fe Planning, Zoning, and Public Works Department, City of Santa Fe, New Mexico.

No residential driveway in this development shall be constructed until approved by the property owner's committee and County Permit Office.

- LEGEND:**
- B.L. = Building Line
 - E.L. = Easement
 - D.E. = Drainage Easement
 - O.P.R.L.C. = Official Public Records of Liberty County, Texas
 - Multipurpose Easement = U.L., U.E., pedestrian, bicycle
 - M.U.L. Gen.'s = Multipurpose Easement

PENDING SALE!

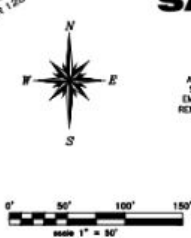


SECTION 2

SANTA FE VILLAGE SECTION TWO

168 LOTS 5 BLOCKS 0 RESERVES 28.104 ACRES

A SUBDIVISION OF 173.068 ACRES OF LAND, BEING LOCATED IN THE SAMUEL ALLOWAY SURVEY, ABSTRACT NUMBER 128, AND THE HIRSH EMERSON SURVEY, ABSTRACT NO. 943, BEING A PORTION OUT OF THE REMAINDER OF A 5,793.857 ACRE TRACT AS RECORDED UNDER CLERK'S FILE NO. 2018-010778, O.P.R.L.C.T.



25.313 ACRES
REMAINDER OF
COLONY RIDGE
DEVELOPMENT, L.L.C.
CALLED 5,793.857 ACRES
C.F.# 2018-010778
O.P.R.L.C.T.

- Notes**
- All bearings based on Texas State Plane Coordinate System, Central Zone (4805), North American Datum 1983 (NAD 83).
 - Subject property shown herein is located in Zone X within the 100-year flood plain according to the F.E.M.A. Insurance Rate Map, Community Panel 48712 0278 C, effective May 3, 2008.
 - There is a 6' building line located along all lots but five unless otherwise shown or noted.
 - There is a 10' building line, utility easement, driveway easement and multipurpose easement located along all lots but three unless otherwise shown or noted.
 - There is an easement across all of existing utility easements.
 - There is an additional utility easement 5 feet wide from a place extending 20 feet above the ground surface located adjacent to utility easements following the road right of way and where power poles currently stand.
 - Multipurpose easements for Driveway, Utility, Pedestrian and Bicycle are shown and located as plat.
 - The flow of water on or across any and all gullies, rashes, ditches, drains, streams, or other natural drainage courses within the plat shall occur in the direction of flow.
 - Lots with double frontage that have one access from a road shall have driveway access from that road only.
 - No ingress or egress shall be taken directly from rear-boundaries street only.
 - Corner lots shall have driveway access from the rear boundary street street only.
 - Average indicated on each lot and reserved.
 - No more than one single family dwelling shall be allowed on each lot.
 - All existing plat easements within the limits of this subdivision have been shown.
 - Reserves are designated for drainage, well sites, waste water treatment plant, water treatment plant, commercial, common areas, recreational facilities or reserve easements.
 - All drainage easements shown herein shall be kept clear of trees, buildings, structures, and other obstructions to the operation and maintenance of the drainage facilities.
 - No construction or other development within this subdivision may begin until all Liberty County environmental requirements have been met.
 - Proposed drainage shall be installed or installed as shown on the Santa Fe Village - Section 2, Street, Grading & Storm Drainage Plans prepared by Collins Ridge Construction, LLC, or its successor as provided by the current property owner's consent.
 - No residential driveway in this development shall be constructed without the approval of the property owner's consent and County Permit Office.

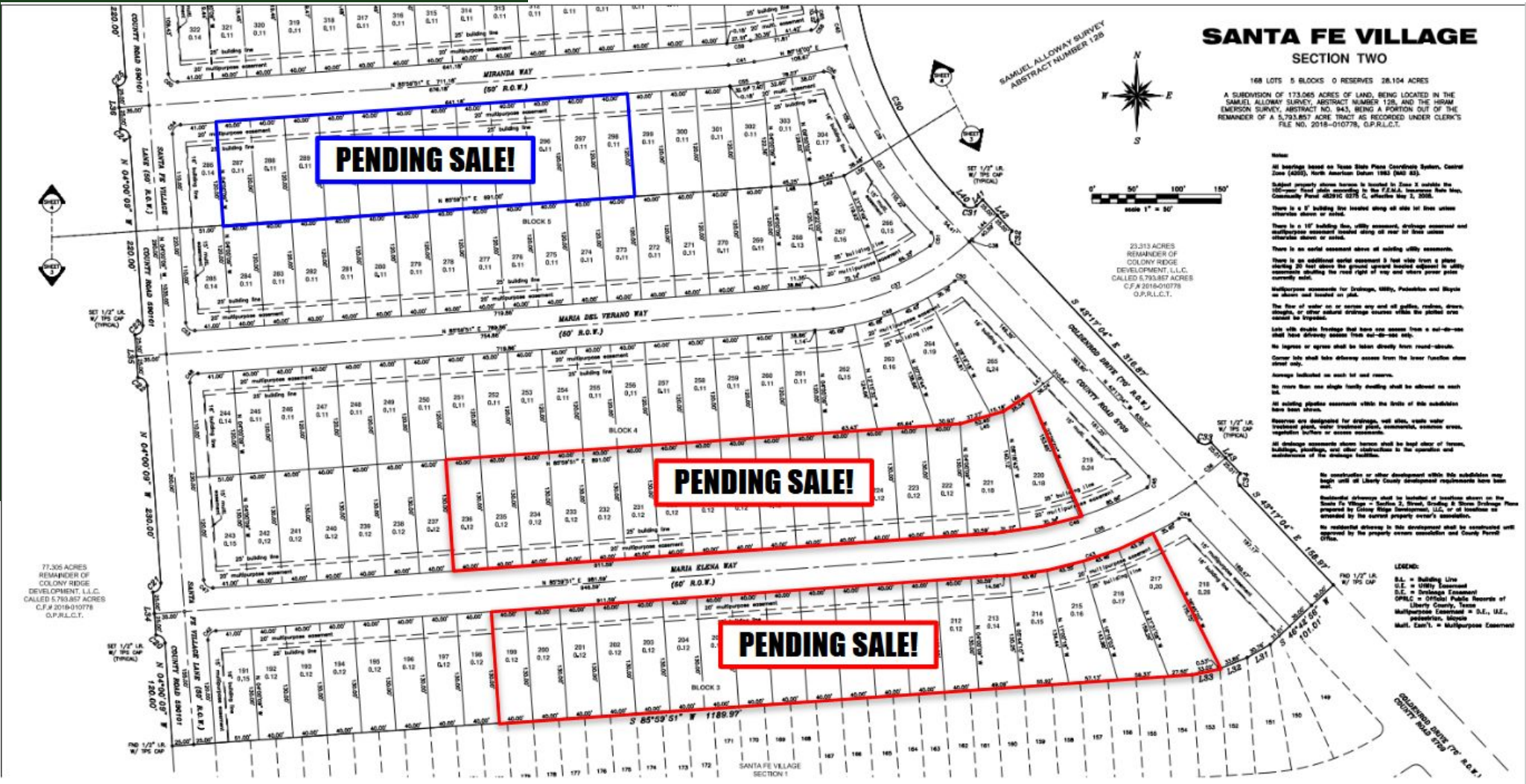
- LEGEND:**
- B.L. = Building Line
 - S.E. = Utility Easement
 - D.E. = Driveway Easement
 - O.P.R.C. = Official Public Records of Liberty County, Texas
 - M.U.E. = Multipurpose Easement = S.E., U.E., Pedestrian, Bicycle
 - M.C.E. = Multipurpose Easement

PENDING SALE!

PENDING SALE!

PENDING SALE!

77.306 ACRES
REMAINDER OF
COLONY RIDGE
DEVELOPMENT, L.L.C.
CALLED 5,793.857 ACRES
C.F.# 2018-010778
O.P.R.L.C.T.



SECTION 2

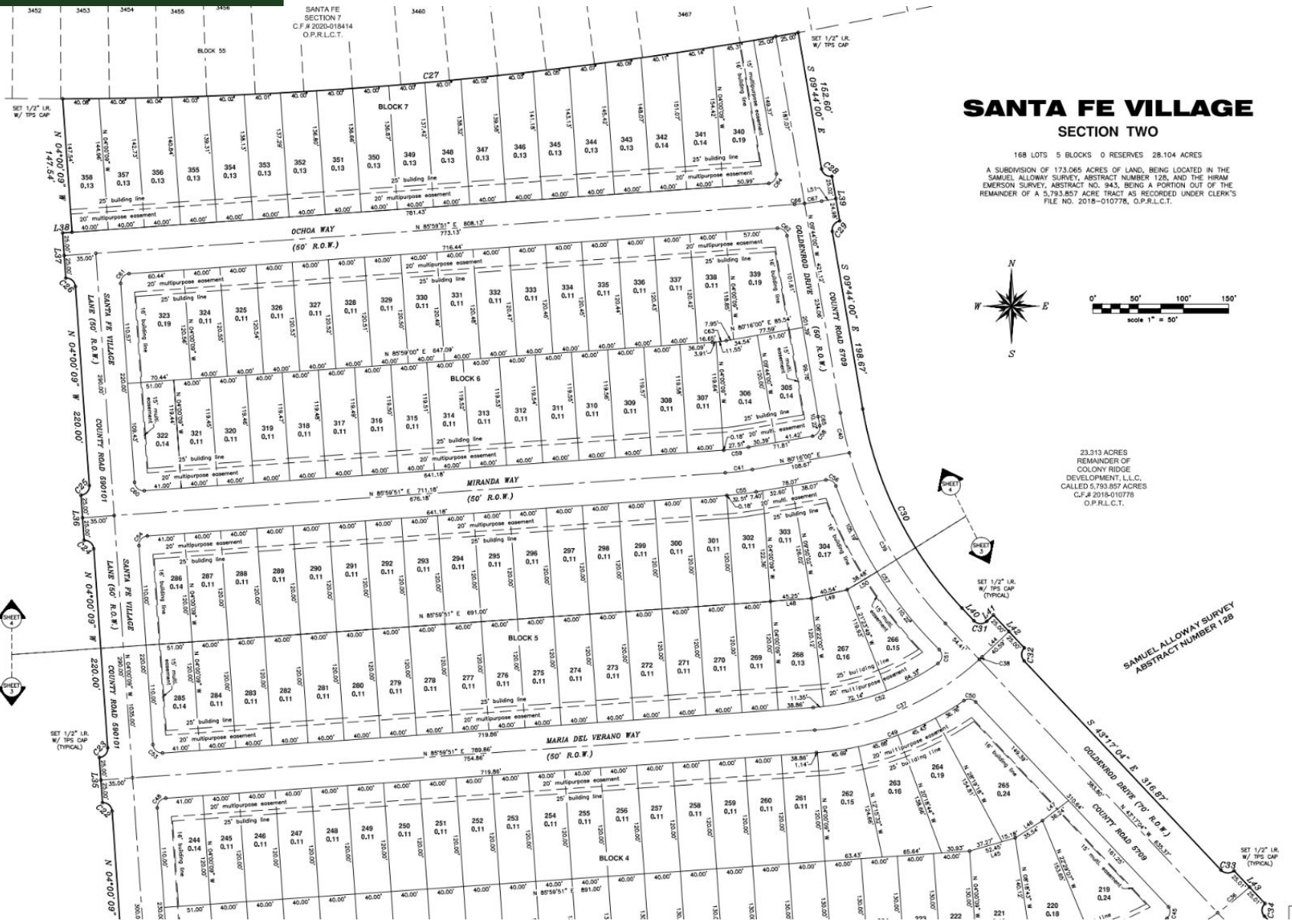
Notes:

All bearings based on Texas State Plane Coordinate System, Central Zone (4203), North American Datum 1983 (NAD 83).
 Subject property shown herein is located in Zone 10 outside the 100-year flood plain according to the F.E.M.A. Insurance Rate Map, Community Flood #2091275 C, effective May 2, 2006.
 There is a 5' building line located along all side lot lines unless otherwise shown or noted.
 There is a 10' building line, utility easement, drainage easement and multipurpose easement located along all rear lot lines unless otherwise shown or noted.
 There is an aerial easement above all existing utility easements.
 There is an additional aerial easement 5 feet wide from a plane showing 25 feet over the ground located adjacent to utility easements abutting the road right of way and where power poles currently exist.
 Multipurpose easements for Drainage, Utility, Pedestrian and Bicycle are shown and located on plot.
 The flow of water on or across any and all ditches, canals, drains, sloughs, or other natural drainage courses within this subdivision cannot be impeded.
 Lots with double frontage that have no access from a cul-de-sac shall have driveway access from said cul-de-sac only.
 No ingress or egress shall be taken directly from roundabouts.
 Corner lots shall take driveway access from the lower function class street only.
 Acreage indicated on each lot and reserve.
 No more than one single family dwelling shall be allowed on each lot.
 All existing pipeline easements within the limits of this subdivision have been shown.
 Reserves are designated for drainage, well sites, waste water treatment plant, water treatment plant, commercial, common areas, vegetation buffers or access easements.
 All drainage easements shown herein shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.
 No construction or other development within this subdivision may begin until all Liberty County development requirements have been met.
 Residential driveways shall be installed at locations shown on the Santa Fe Village - Section 2, Street, Grading & Storm Drainage Plans prepared by Colony Ridge Development, L.L.C. or at locations as indicated by the current property owner's association.
 No residential driveway in this development shall be constructed until approved by the property owners association and County Permit Office.

SAMUEL ALLOWAY SURVEY
 ABSTRACT NUMBER 128

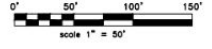
77.305 ACRES
 REMAINDER OF
 COLONY RIDGE
 DEVELOPMENT, L.L.C.,
 CALLED 5,793.857 ACRES
 C.F.# 2018-010778
 O.P.R.L.C.T.

LEGEND:
 B.L. = Building Line
 U.E. = Utility Easement
 D.E. = Drainage Easement
 O.P.R.L.C. = Official Public Records of Liberty County, Texas
 M.F.C. = Minimum Finished Floor Elevation
 M.P.E. = Multipurpose Easement = D.E., U.E., Pedestrian, Bicycle
 M.U.L. Est. 1. = Multipurpose Easement



SANTA FE VILLAGE SECTION TWO

168 LOTS 5 BLOCKS 0 RESERVES 28.104 ACRES
 A SUBDIVISION OF 173.065 ACRES OF LAND, BEING LOCATED IN THE SAMUEL ALLOWAY SURVEY, ABSTRACT NUMBER 128, AND THE HIRAM EMERSON SURVEY, ABSTRACT NO. 943, BEING A PORTION OUT OF THE REMAINDER OF A 5,793.857 ACRE TRACT AS RECORDED UNDER CLERK'S FILE NO. 2018-010778, O.P.R.L.C.T.



23.315 ACRES
 REMAINDER OF
 COLONY RIDGE
 DEVELOPMENT, L.L.C.,
 CALLED 5,793.857 ACRES
 C.F.# 2018-010778
 O.P.R.L.C.T.

SAMUEL ALLOWAY SURVEY
 ABSTRACT NUMBER 128

6 New Schools Open in Santa Fe

WITH A NEW HIGH SCHOOL OPENING 2026!



- **INTERNATIONAL LEADERSHIP OF TEXAS K-8**

- ❖ 1,400 STUDENTS

- ❖ 140 STAFF

- 📍 **Address: 1954 Road 5714,
Cleveland, TX 77327**



- **INTERNATIONAL LEADERSHIP OF TEXAS K-8**

- ❖ 1,400 STUDENTS

- ❖ 140 STAFF

- 📍 **Address: 4114 Road
5200, Cleveland, TX
77327**



- **INTERNATIONAL LEADERSHIP OF TEXAS HIGH SCHOOL**

- ❖ 1,400 STUDENTS

- ❖ 140 STAFF

- 📍 **Address: 1954 Road 5714,
Cleveland, TX 77327**

6 New Schools Open in Santa Fe

WITH A NEW HIGH SCHOOL OPENING 2026!



● SANTA FE ELEMENTARY SCHOOL

❖ 1,200 STUDENTS

❖ 75 STAFF



**Address: 7499
County Rd 3540,
Cleveland, TX
77327**



● COTTONWOOD ELEMENTARY

❖ 1,200 STUDENTS

❖ 110 STAFF



**Address: 1922
County Rd 3549,
Cleveland, TX
77327**

6 New Schools **Open in Santa Fe**

WITH A NEW HIGH SCHOOL OPENING 2026!



- **SANTA FE MIDDLE SCHOOL**

- ❖ 1,600 STUDENTS

- ❖ 80 STAFF



**Address: 7499
County Rd 3540,
Cleveland, TX
77327**



- **PINE BURR ELEMENTARY SCHOOL**

- ❖ 1,200 STUDENTS

- ❖ 120 STAFF



**Address: Grand
San Jacinto Dr,
Cleveland, TX
77327**

BUSINESSES



in the box

