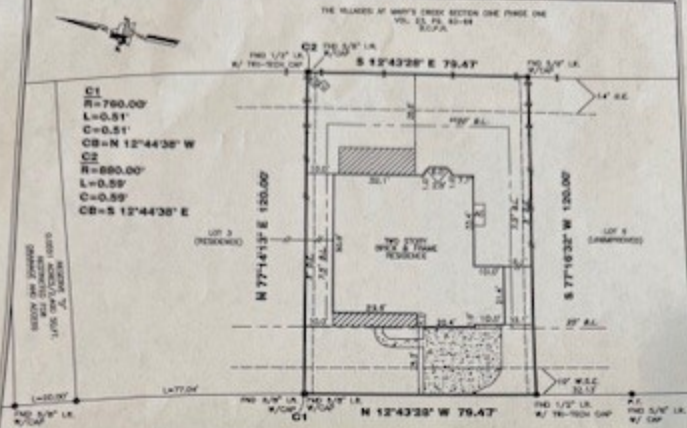




TRI-TECH SURVEYING COMPANY, L.P.

WWW.SURVEYINGCOMPANY.COM
31401 Woodfield Drive Phone (713) 607-2406
Houston, Texas, 77042 Fax (713) 607-4610



**2020 AUBURN WOODS DRIVE
(50' WIDE PUBLIC & PRIVATE UTILITY AND ACCESS EASEMENT)**

- REVISIONS:
1. 06-24-08 BOUNDARY SURVEY
 2. 12-22-08 FORM SURVEY (G.M.)
 3. 03-24-10 FINAL SURVEY
 4. 04-08-10 ADD WATER (S. DUN)

PRIVATE STREET EASEMENTS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT ARE SPECIFICALLY NOTED AS PRIVATE STREET EASEMENT AND MAINTAINED BY PROPERTY OWNER.

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

NOTICE OF HEARLAND ORDINANCES: HEARLAND RESTRICTING PER S.C.C. FILE NO. 03-104323. ALL 300 CAPS ARE STAMPED "MINIMATOR", UNLESS OTHERWISE NOTED.

ALL SIDE WALK LINES ARE THE CENTER OF A 4' ORANGE EASEMENT TO EACH ADJACENT LOT FOR RECORDED PLAT NOTE # 8.

RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER VOL. 24, PAGES 304-305, P.A.B.C.N., S.C.C. FILE NOS. 02-062311, 02-024325, 02-012452, 02-014135, 02-090285. BEARINGS REFERRED TO PLAT NORTH.

NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY. THIS SURVEY DOES NOT ADDRESS ANY DATES, SUTTERING OR OTHER OPERATING STRUCTURE FEATURES, WHICH MAY PROHIBIT ONE'S BOUNDARY, EASEMENT AND/OR BUILDING LINES, UNLESS OTHERWISE SHOWN HEREON.

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS (I.F.E.A.). THE INFORMATION SHOULD BE USED TO OBTAIN FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.E.A.'S ACCURACY.

THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE AND EMBOSSED SEAL. THIS SURVEY IS VALID FOR THE TERRITORY ONLY. © 2010, TRI-TECH SURVEYING CO., L.P.

CONCRETE	MANHOLE	LIGHT STRIKING	REVISIONS
GRAVEL	PIPE STAKING	ON UTILITY	NECK FENCE
ROAD	ELECT. BOX	UTL. PRESENT	IRON FENCE
	WATER METER	AC PAD	CHAIN LINK FENCE

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY EMPIRE TITLE COMPANY, LTD., S.F. No. 2010-02-4592-A, DATED 03-22-10.

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my supervision on the tract or parcel of land, according to the map or plat thereof, indicated below.

BOUNDARY SURVEY OF

ADDRESS: 2928 AUBURN WOODS DRIVE

LOT 4 BLOCK 2 OF A FINAL PLAT OF THE VILLAGES AT MARY'S CREEK SECTION TWO PHASE TWO RECORDED IN VOLUME 24 PAGES 304-305 PLAT RECORDS BRAZORIA COUNTY, TX

BORROWER: ARTHUR JOHNSON AND LAUREL JOHNSON

TITLE COMPANY: EMPIRE TITLE COMPANY, LTD. C.F.# 2010-02-4592-A

SURVEYED FOR: DEPHAN HUBBES, LTD.

F.I.R.M. MAP NO. 48039C PANEL # 0045J ZONE X-SHARED/REVISED 8-22-99

DATE: SEE REVISIONS SCALE: 1" = 30' JOB NO. 05082-08



T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT

Date: 05/01/2025

GF No. _____

Name of Affiant(s): Arthur Johnson, Laurel Johnson

Address of Affiant: 2929 Auburn Woods Drive, Pearland, TX 77581

Description of Property: THE VILLAGES AT MARY'S CREEK SEC 2 PH 2 (A0070 W D C HALL) PEARLAND, BLOCK 2, LOT 4

County Brazoria, Texas

Date of Survey: 4-12-10

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas personally appeared Affiant(s) who after by me being duly sworn, stated:

- 1. I am an owner of the Property. (Or state other basis for knowledge by Affiant of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since Date of the Survey, there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
d. conveyances, replatting, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):

None

- 5. I understand that Title Company is relying on the truthfulness of the statements made in this Affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. I understand that I have no liability to Title Company should the information in this Affidavit be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.

<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed: <u><i>[Signature]</i></u> Affiant</p>	<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed: <u><i>Samuel Johnson</i></u> Affiant</p>
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SWORN AND SUBSCRIBED this 1st day of May, 2025

Christy Buck
Notary Public

