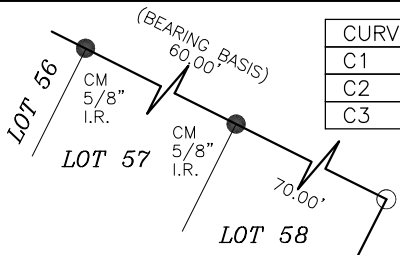


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	75.00'	67.34'	65.10'	N 01°11'15" E	106°59'50"
C2	70.00'	75.85'	72.19'	S 32°20'36" E	62°04'58"
C3	50.00'	93.37'	80.38'	S 07°46'03" W	106°59'50"

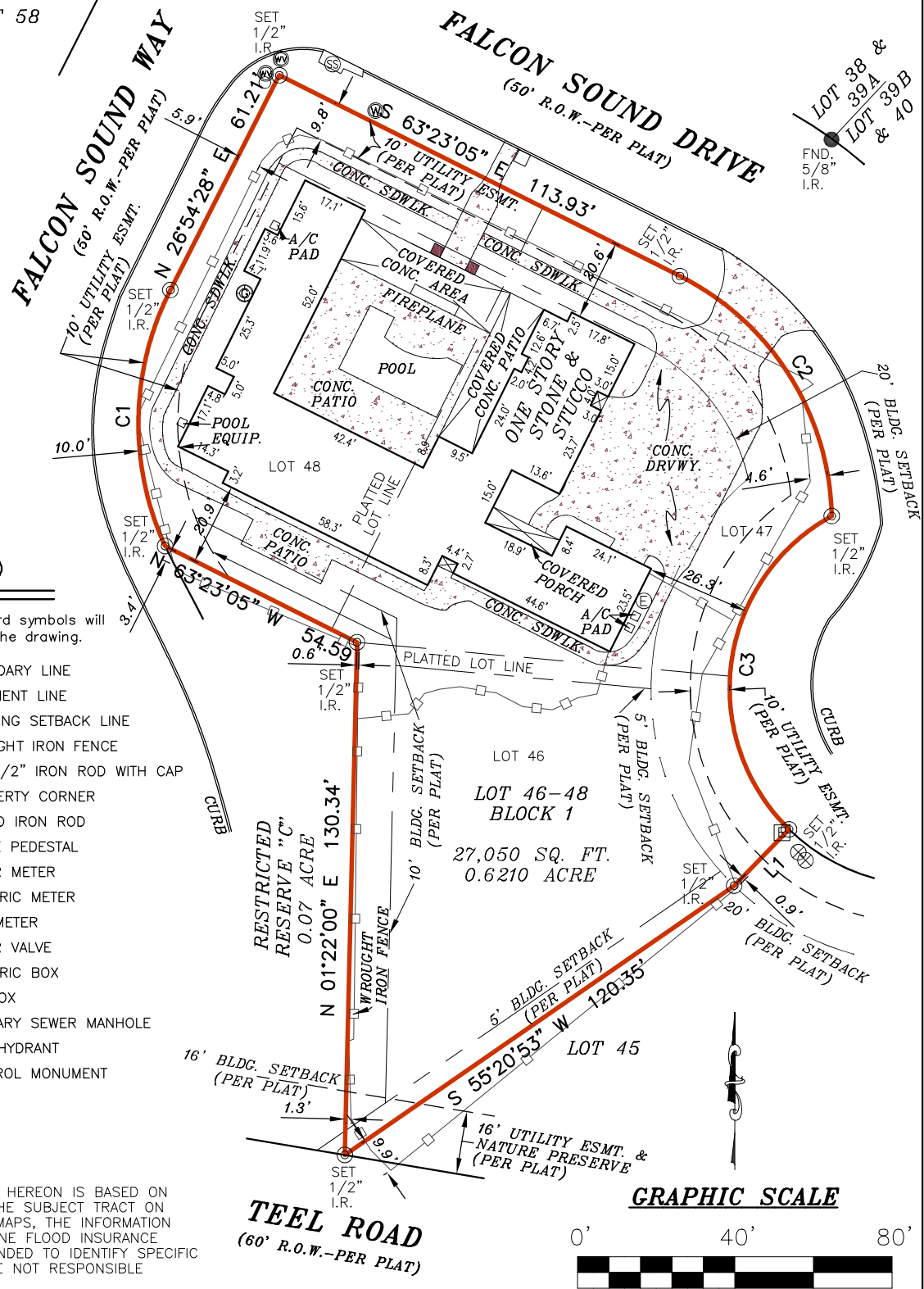
LINE	BEARING	DISTANCE
L1	S 44°16'21" W	20.00'



SURVEYOR'S NOTE(S):
 THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS AND EASEMENTS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME OF THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY STEWART TITLE GUARANTY COMPANY GF NO. 21-091322TCT ISSUED ON 09/22/21.



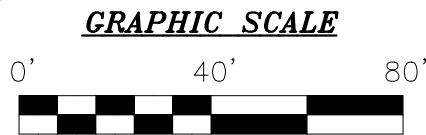
LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WROUGHT IRON FENCE
- SET 1/2" IRON ROD WITH CAP
- PROPERTY CORNER
- FOUND IRON ROD
- CABLE PEDESTAL
- WATER METER
- ELECTRIC METER
- GAS METER
- WATER VALVE
- ELECTRIC BOX
- MAILBOX
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- CONTROL MONUMENT

FLOOD INFORMATION
 FIRM: 48339C PANEL: 0225 G
 REV. DATE: 08/18/2014
 ZONE: "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.



I, RODRIC R REESE, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to INTERAMERICA IA TITLE GROUP.

and that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower: DEBORAH M. EVANS
 Address: 16827 FALCON SOUND DR., MONTGOMERY, TX 77356 GF No. 21-091322TCT

Legal Description of the Land: Lots Forty-Six (46), Forty-seven (47), and Forty-eight (48) in Block One (1), of Falcon Sound on the Lake, a subdivision in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet S, Sheet 5, of the Map and/or Plat Records of Montgomery County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: CABINET S, SHEET 5, MAP AND/OR PLAT RECORDS, MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 2002-043946, 2006-018918, 2009-096422, 2010-046558, 2012-044086, 2012-044087, 2012-044088, 2012-044089, 2012-044090, REAL PROPERTY, MONTGOMERY COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



LAND TITLE SURVEY			
JOB NO.:	2110029289	NO.	REVISION
DATE:	10/08/21		DATE
DRAWN BY:	MI		
APPROVED BY:	RRR		



Rodric R. Reese

FIRM REGISTRATION NO. 10190700
 THIS SURVEY IS CONTRACTED TO RODRIC R REESE, RPLS
 PHONE NUMBER 713-647-1315

RODRIC R REESE, R.P.L.S.
 Registered Professional Land Surveyor
 Registration No. 5883

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