



PROPERTY INSPECTION REPORT FORM

Marleen DeLeon <i>Name of Client</i>	12/13/2023 <i>Date of Inspection</i>
5319 Laurel Creek Way , Houston, TX 77017 <i>Address of Inspected Property</i>	
Kevin Akins <i>Name of Inspector</i>	22211 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect systems or components listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR



Home Inspection Report

Prepared exclusively for
Marleen DeLeon



PROPERTY INSPECTED:
5319 Laurel Creek Way
Houston, TX 77017

DATE OF INSPECTION: 12/13/2023

Inspection No. 521154-2364

INSPECTED BY:

Kevin Akins
PO Box 5924
Katy, TX 77449
kevin.akins@pillartopost.com
(281) 222-2599

INSPECTOR:

Kevin Akins
Lic.#: 22211
kevin.akins@pillartopost.com
(580) 591-2945

Each office is independently owned and operated

I = Inspected	NI = Not Inspected	NP = Not Present	D = Deficient
I	NI	NP	D*

REPORT SUMMARY

I. STRUCTURAL SYSTEMS

A. Foundations

Comments:

- The foundation has signs of previous foundation repairs. There are no indications of current structural movement. Buyers should obtain all transferable warranty information regarding repairs from the seller.
- Cracks and buckling noted at the garage floor. This indicates adverse settling. Corrections should be made by a foundation specialist.

B. Grading and Drainage

Comments:

- Grading and walkway is sloping towards the foundation. Soil and walkway should be sloped away from the foundation to reduce possible moisture intrusion and related damages.
- Gutters have debris from nearby trees. Cleaning gutters will insure storm water is processes to the ground and away from the structure as efficiently as possible.

C. Roof Covering Materials

Comments:

- Lifted shingles noted at the roof covering which could peel back under heavy wind conditions (see photo). A qualified roofing contractor should make repairs where needed.
- Lifted flashing observed at the roof covering. Lifted flashing can allow wind driven storm water to intrude under the roof covering. Recommend corrections by a qualified roofing contractor.
- Several areas of the roof have exposed nails. Exposed nail heads should be sealed to prevent the intrusion of storm water (See photos).
- Roof covering has debris from nearby trees. Failing to clean roof of all debris seasonally will cause the covering to remain wet, deteriorate and cause roof leaks.
- Some areas of the roof covering are showing excessive granular loss. Roof covering may be nearing the end of its life expectancy.
- Tree branches were observed to be overhanging and in contact with the roof covering. During windy conditions branches can swipe away shingle granules and cause the covering to accelerate deterioration. Branches should be cut back away as needed. **(Garage)**
- Damaged shingles observed at the roof covering. Roof covering appears to be at the end of its life expectancy and should be replaced.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- | | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>D. Roof Structures and Attics
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Split and sagging ceiling joists noted. Corrections should be made by a qualified framing contractor. (Garage) • The Inspector noted (2) loose ridge bracing in the attic. A qualified framing contractor should add additional braces for an even distribution of weight. • Structural purling's observed in the attic do not have enough purling braces (see photo). Recommend adding additional purling braces such that bracing spans do not exceed 48" on-center. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>E. Walls (Interior and Exterior)
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Observe general painting needs, gaps and caulking touch-ups around the structure. Recommend corrective actions by a painting and general contractor as needed. • Vegetation was in direct contact with the structure at several locations around perimeter of the residence creating a conducive condition for potential pest infestation. Recommend pruning / cutting back vegetation so that a minimum of 6 - 8" of distance exists between the structure and the vegetation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>G. Doors (Interior and Exterior)
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Door hardware does not latch properly. Recommend installing and adjusting strike plates to promote proper closure. • Door noted binding inside the door jamb. Repairs should be made by a qualified contractor. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>H. Windows
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Screens missing on venting windows around the perimeter of the residence. Recommend installing new screens on venting units as needed. • Ineffective securing latches noted. Recommend repairs by a qualified window contractor as needed. • Windows around the structure have missing and deteriorated caulking. Caulking windows with a good exterior grade caulking will prevent storm water intrusion. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>J. Fireplaces and Chimneys
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Noted gaps and deteriorated caulking at the chimney stack counterflashing. This area is highly susceptible to moisture intrusion and caulking should be maintained moving forward. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>K. Porches, Balconies, Decks, and Carports
 <i>Comments:</i></p> <ul style="list-style-type: none"> • Loose boards noted at the rear patio flooring. Corrections should be made by a qualified contractor. |

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

L. Other

Comments:

- Broken driveway and walkway sections noted. Repairs should be made by a qualified concrete contractor as needed.
- The garage has an abundance amount of the homeowner’s belongings. This condition limited the Inspector’s view.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

- Service wires and mast are too low and does not have adequate clearance from the ground, which is 10 ft. over any walk-able area. Recommending corrective action by a licensed electrician.
- Tree in back yard is interfering with the service wires in the rear easement. This should be addressed for safety reasons. The local electrical provider should be contacted for corrections.
- The Inspector did not locate a main electrical shut-off switch, which is required when there are 6 or more circuit breakers. A licensed Electrician should make corrections as needed.
- Dead-front panel cover is missing at the main distribution panel creating a significant safety hazard. Recommend installation of new dead-front panel cover or replacement.
- Double lugging noted at the main service connection (see photo). This condition is considered unsafe. Recommend a Licensed electrical contractor makes necessary repairs.
- The Inspector noted the service panel was excessively rusted. Recommend replacements by a licensed Electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

B. Branch Circuits, Connected Devices, and Fixtures

Comments:

- Outlets have “open ground” indication during testing. Repairs should be performed by a licensed Electrician. **(Garage)**
- Smoke detectors are missing around the structure. Current code requires smoke detectors in each sleeping quarters, adjoining each sleeping quarters and on each level. Recommend corrections by a qualified person or Electrician.
- Improper electrical connection outside of an approved junction box was observed in the detached garage. Recommend corrective actions by a qualified electrical contractor. **(Garage)**
- It is recommended that this home be equipped with ground fault circuit interrupters (GFCI) at all required locations (exterior, garage, bathrooms, kitchens and within 6 feet of the outside edge of a sink). The purpose of a GFCI circuit is to provide positive protection against a shock hazard since it will “trip” almost instantaneous if it detects moisture.
- Outlets improperly installed in the garage. All garage outlets should be installed at least 18” from the standing surface.
- Some light bulbs were not functioning during the inspection. Light bulbs should be replaced, and fixture operation verified to ensure an underlying electrical issue does not exist.
- Improper use of extension cords observed. Extension cords shall not be used as a source of permanent wiring and should be removed. **(Garage)**
- Missing outlet plate observed. Installing cover plates will prevent accidental contact with live electrical wires.
- Loose front exterior outlet box noted. A licensed Electrician should perform repairs.
- Burn marks noted on the ceiling in the utility room. A licensed Electrical should provide further evaluation and corrections where needed.
- Doorbell and chimes were not functioning at the time of the inspection. Recommend repair or replacement as needed.

III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Comments:

- Roof vents for the furnace/water heater did not have the required clearance (2 feet above anything within 10 feet). Recommend repairs by a qualified contractor to establish proper clearance.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

Comments:

- Leaks observed at the kitchen faucet. Recommend corrective actions by a licensed Plumber.
- Loose faucet noted. Repairs should be performed by a qualified person or plumbing contractor. **(Hall Bathroom)**
- Water supply piping is galvanized steel. Galvanized piping, normally, has a useful life expectancy of approximately 25 - 30 years, but actual life can vary depending on the amount of usage and the chemical composition of the water running through it. As the piping ages, rust accumulates on the inside which can cause restricted water flow or a reduction of water pressure to all water sources. Water exiting faucets may appear to be orangish or brownish at first but will generally clear up quickly. Continuous flow of discolored water typically indicates piping is nearing the end of its useful life expectancy. Since the piping deteriorates from the inside out, leaks can occur before there are any visible signs of potential problems. Consideration should be given to the replacement of all galvanized piping and fittings.

B. Drains, Wastes, and Vents

Comments:

- This home has cast iron drain lines. Cast iron sewer pipes are very common in homes built from 1900 to 1970's. As a result of what runs through cast iron sewer pipes, corrosive actions take place within the pipe. As the pipe corrodes; scale, calcification, and rust forms. This scale continues to accumulate slowly over time. When scale builds to a certain level, it will decrease the diameter of the pipe. Consequently, drain clogs and sewer backups occur more frequently. Problems with the plumbing waste pipes under the slab can only be detected by an under-slab plumbing leak test, which should be obtained as a precaution.
- The left side clean out cover has a missing cap. A fully enclosed cap should be installed to prevent debris from falling into the pipe and causing a blockage to the sewer system.

C. Water Heating Equipment

Comments:

- Corrosion observed at the water heater connections (see photo). Repairs should be performed by a licensed Plumber.
- 40 gallon unit manufactured in 2002.
- Drain pan not present under the water heater. Minor leaks could potentially cause significant damage to nearby drywall. Recommend installing a drain pan with piping to the exterior of the residence.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

D. Hydro-Massage Therapy Equipment

Comments:

- Inspector scanned the motor, jets and drains. No leaks detected at the time of the inspection. **(Master Bathroom)**
- Whirlpool was not functional at time of inspection. A qualified plumbing contractor should make repairs where needed. **(Master Bathroom)**
- The Inspector did not locate a dedicated GFCI reset outlet for the Spa / whirlpool tub. Corrections should be made by a licensed Electrician.
 - Master Bathroom
 - Master Bedroom

V. APPLIANCES

B. Food Waste Disposers

Comments:

- Impeller blades heard grinding at the time of the inspection. Repairs should be made by a licensed Plumber.

C. Range Hood and Exhaust Systems

Comments:

- The exhaust fan was inoperable, this unit is older and may be nearing the end of its useful life expectancy.

D. Ranges, Cooktops, and Ovens

Comments:

- Anti-tip mechanism on the range was not installed which is considered a safety hazard. Recommend a qualified technician for corrections as needed. **(Kitchen)**

I = Inspected	NI = Not Inspected	NP = Not Present	D = Deficient
I	NI	NP	D*

INSPECTION REPORT

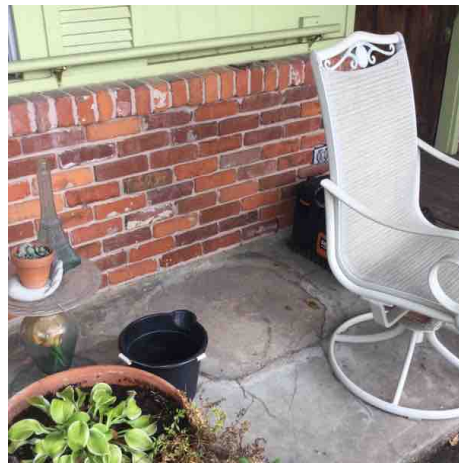
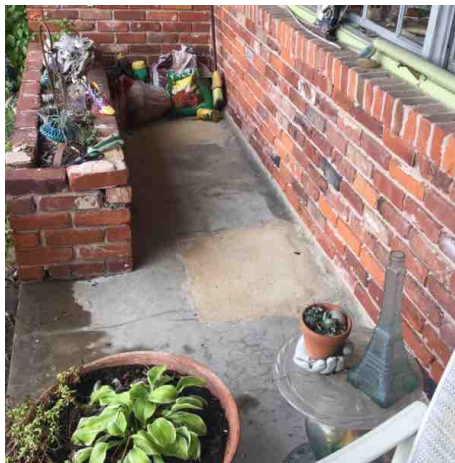
I. STRUCTURAL SYSTEMS

A. Foundations

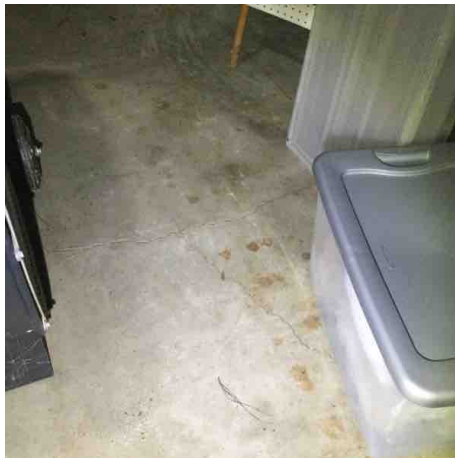
Type of Foundation(s): Slab on grade

Comments:

- The type of foundation is concrete slab-on-grade. At the time of inspection the foundation appears to be performing its intended function. This evaluation does not determine how the foundation will perform in the future.
- **The foundation has signs of previous foundation repairs. There are no indications of current structural movement. Buyers should obtain all transferable warranty information regarding repairs from the seller.**



- **Cracks and buckling noted at the garage floor. This indicates adverse settling. Corrections should be made by a foundation specialist.**



B. Grading and Drainage

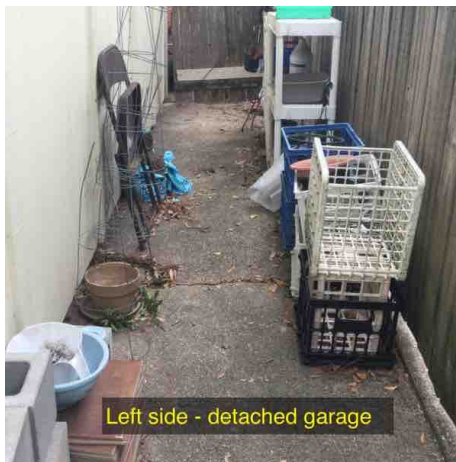
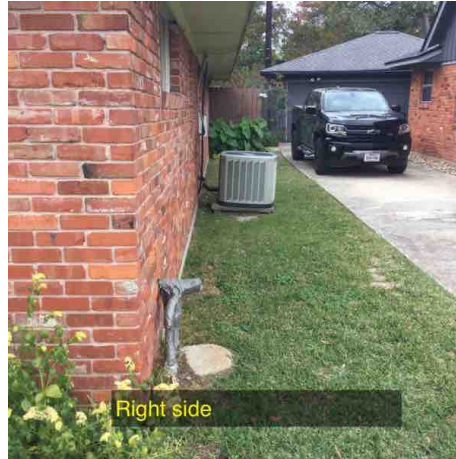
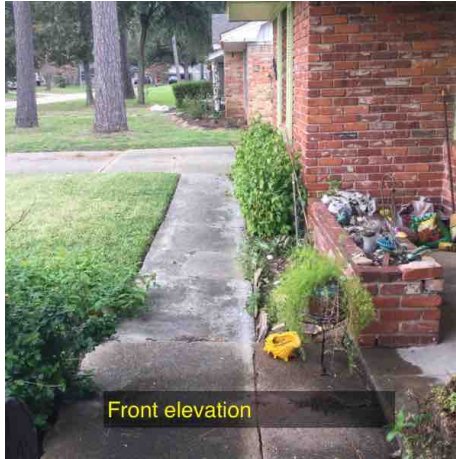
Comments:

- Normal industry standards indicate water can pond in yards during rainstorms, but if the water does not dissipate within 48 hours after the rain stops from either soil absorption, or natural drainage runoff then a ponding issue exists.

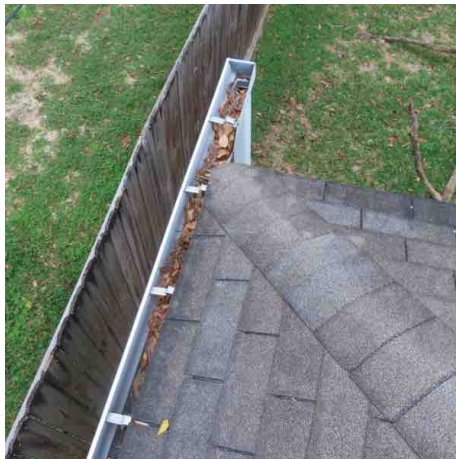
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Grading and walkway is slopping towards the foundation. Soil and walkway should be sloped away from the foundation to reduce possible moisture intrusion and related damages.



- Gutters have debris from nearby trees. Cleaning gutters will insure storm water is processes to the ground and away from the structure as efficiently as possible.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

C. Roof Covering Materials

Types of Roof Covering: Asphalt shingles

Viewed From: Roof top

Comments:

- **Lifted shingles noted at the roof covering which could peel back under heavy wind conditions (see photo). A qualified roofing contractor should make repairs where needed.**



- **Lifted flashing observed at the roof covering. Lifted flashing can allow wind driven storm water to intrude under the roof covering. Recommend corrections by a qualified roofing contractor.**



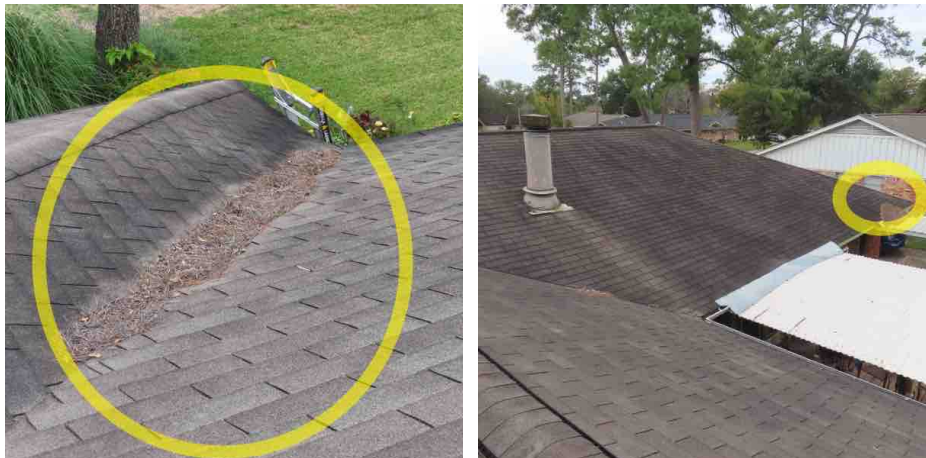
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Several areas of the roof have exposed nails. Exposed nail heads should be sealed to prevent the intrusion of storm water (See photos).



- Roof covering has debris from nearby trees. Failing to clean roof of all debris seasonally will cause the covering to remain wet, deteriorate and cause roof leaks.

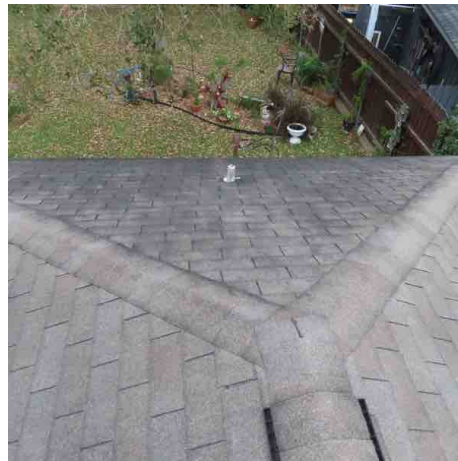
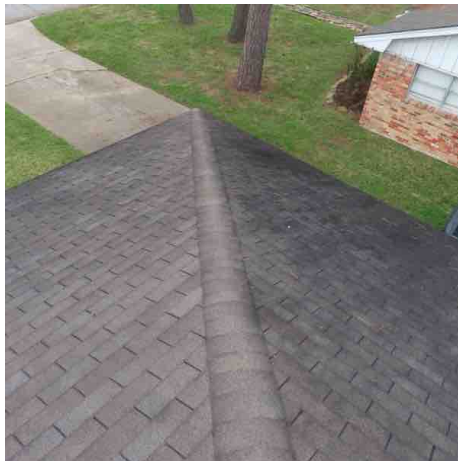


- Some areas of the roof covering are showing excessive granular loss. Roof covering may be nearing the end of its life expectancy.

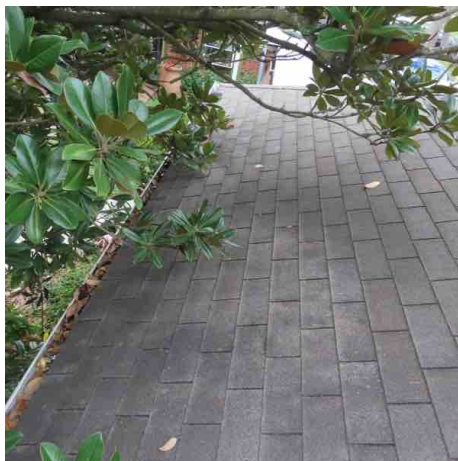


I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*



• **Tree branches were observed to be overhanging and in contact with the roof covering. During windy conditions branches can swipe away shingle granules and cause the covering to accelerate deterioration. Branches should be cut back away as needed. (Garage)**



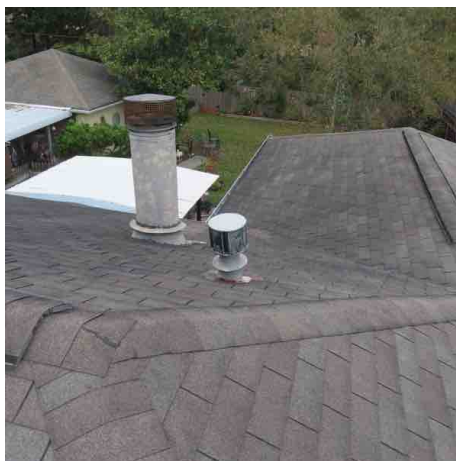
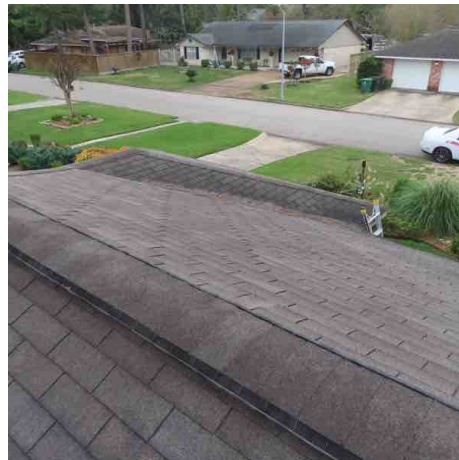
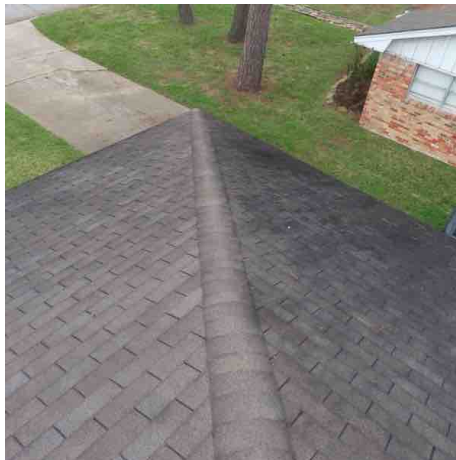
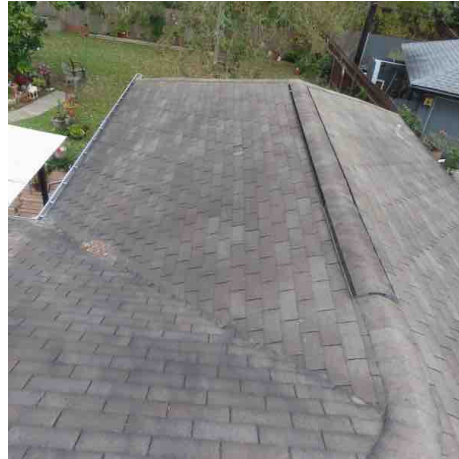
• **Damaged shingles observed at the roof covering. Roof covering appears to be at the end of its life expectancy and should be replaced.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- 20 year roof covering noted. Buyer's should consider having all penetration points and transitions re-sealed/caulked initially and every 3 to 5 years.



D. Roof Structures and Attics

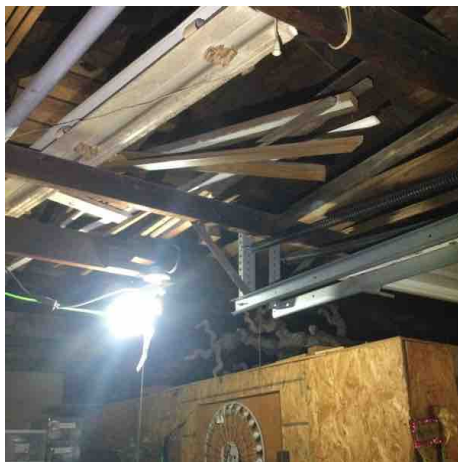
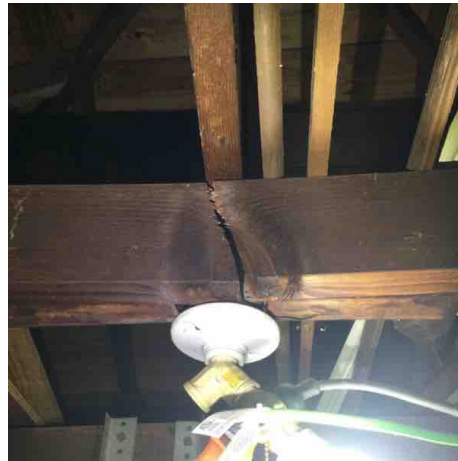
Approximate Average Depth of Insulation: 6 to 8 inches of insulation

Comments:

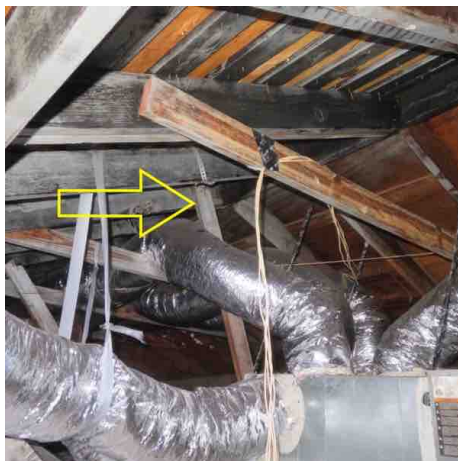
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Split and sagging ceiling joists noted. Corrections should be made by a qualified framing contractor. (Garage)



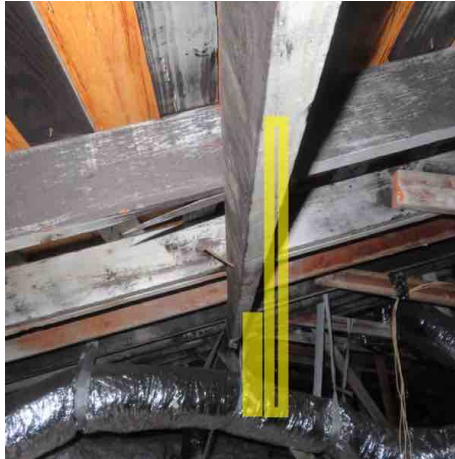
- The Inspector noted (2) loose ridge bracing in the attic. A qualified framing contractor should add additional braces for an even distribution of weight.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

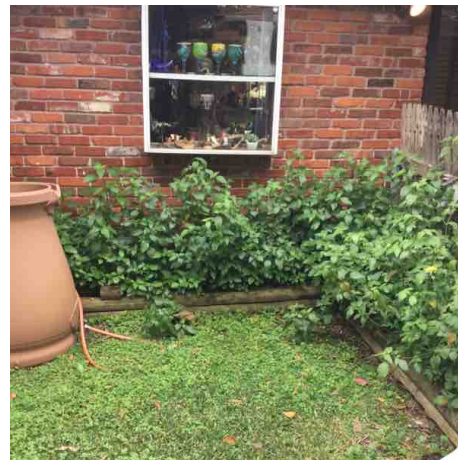
- **Structural purling's observed in the attic do not have enough purling braces (see photo). Recommend adding additional purling braces such that bracing spans do not exceed 48" on-center.**



E. Walls (Interior and Exterior)

Comments:

- The walls are inspected for structural performance and water penetration. Specifically excluded from this report is the presence of cosmetic concerns such as paint, minor cracks, scuffs and dings.
- **Observe general painting needs, gaps and caulking touch-ups around the structure. Recommend corrective actions by a painting and general contractor as needed.**
- **Vegetation was in direct contact with the structure at several locations around perimeter of the residence creating a conducive condition for potential pest infestation. Recommend pruning / cutting back vegetation so that a minimum of 6 - 8" of distance exists between the structure and the vegetation.**



I = Inspected **NI = Not Inspected** **NP = Not Present** **D = Deficient**

I **NI** **NP** **D***

F. Ceilings and Floors

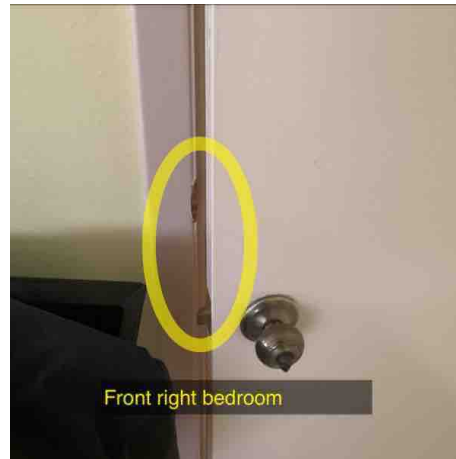
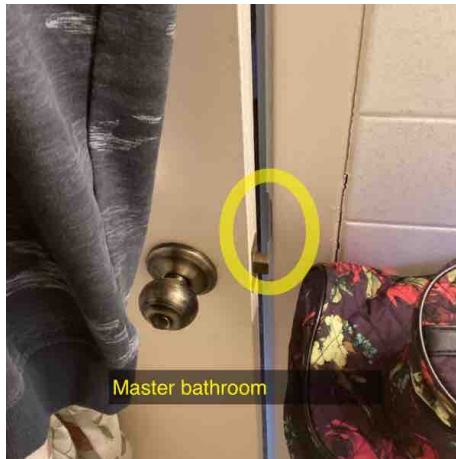
Comments:

- The ceilings and floors are inspected for structural performance and water penetration. Specifically excluded from this report is the presence of cosmetic concerns such as minor cracks, scuffs and dings.

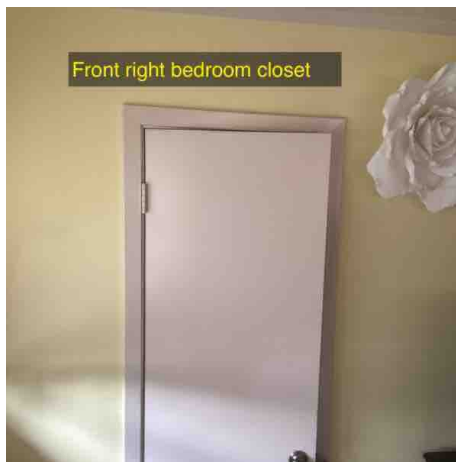
G. Doors (Interior and Exterior)

Comments:

- **Door hardware does not latch properly. Recommend installing and adjusting strike plates to promote proper closure.**



- **Door noted binding inside the door jamb. Repairs should be made by a qualified contractor.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

H. Windows

Comments:

- **Screens missing on venting windows around the perimeter of the residence. Recommend installing new screens on venting units as needed.**



- **Ineffective securing latches noted. Recommend repairs by a qualified window contractor as needed.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

• Windows around the structure have missing and deteriorated caulking. Caulking windows with a good exterior grade caulking will prevent storm water intrusion.

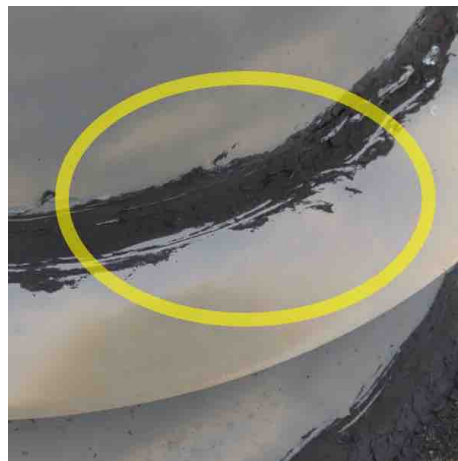


I. Stairways (Interior and Exterior)

J. Fireplaces and Chimneys

Comments:

• Noted gaps and deteriorated caulking at the chimney stack counterflashing. This area is highly susceptible to moisture intrusion and caulking should be maintained moving forward.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

K. Porches, Balconies, Decks, and Carports

Comments:

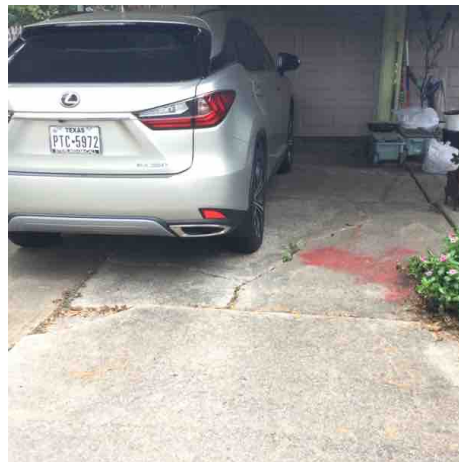
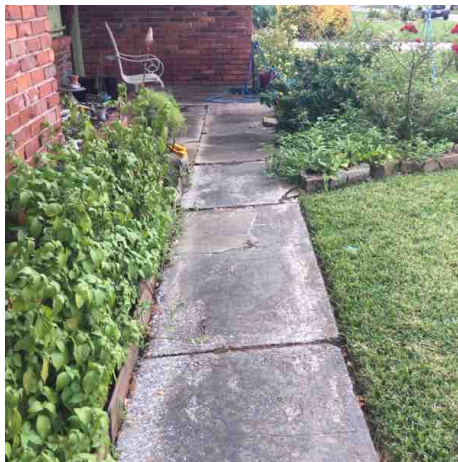
- **Loose boards noted at the rear patio flooring. Corrections should be made by a qualified contractor.**



L. Other

Comments:

- **Ants, other insects and rodents can occupy a home at any time, especially if the home is unoccupied at any point during the transition from the seller to the buyer. Therefore, an initial pest control treatment is recommended.**
- **Broken driveway and walkway sections noted. Repairs should be made by a qualified concrete contractor as needed.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*



• The garage has an abundance amount of the homeowner’s belongings. This condition limited the Inspector’s view.



- Countertops and a representative number of cabinets were inspected and found to be in good condition and functioning properly.
- At the time of the inspection the Inspector did not notice any active rodent activity around the home. Rodents, such as mice are very illusive and may go unnoticed for an extended period. With that being said, buyers should insure all likely penetration points around the home are seal and maintained. Buyers are also encouraged to obtain a pest control treatment prior to move-in.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

M. Limitations

- △ Home is occupied and several areas of the home (walls, closets etc) could not be visually observed due to the storage of furniture, materials, and other items. Movement or rearranging items within the home and around the structure is not allowed.
- △ Houses built before 1975 often contain asbestos insulation around heating systems, in ceilings, and in many other areas. Until 1981, asbestos was also used in many other building materials, such as vinyl floors and tile. If you're concerned that a material contains asbestos and is airborne or about to be (for example, you have insulation that is falling apart, or drywall is crumbling due to recent home remodel), The Inspector recommend an accredited asbestos professional for further testing.
- △ Limitation - Due to high levels of soil, certain areas of the foundation could not be observed.
- △ Many homes and condominiums built before 1978 have lead-based paint. Paint that has chipped or is deteriorating, or on surfaces that rub together such as windows and doors, creates lead dust which can pose serious health hazards to occupants and visitors. The Inspector recommends further lead base paint testing as needed.
- △ Occupied home, all accessible windows were opened and closed. No deficiencies noted.
- △ NOTE: A home inspector cannot determine the remaining life of any component such as the roof. Roof life is determined by many factors to including slope, material type, UV exposure and shade. Any roof, of any age, can be damaged by heavy, wind driven rain, hail and other climate events. Even if a roof is satisfactory today, it is impossible to guarantee how long that condition shall remain.
- △ Areas in the attic that do not have safe access from a platform are not inspected. There may be hidden defects due to inaccessibility, HVAC equipment and duct work restricting access and the view of certain areas.
- △ Due to high levels of vegetation, certain areas of the foundation could not be observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

- Service wires and mast are too low and does not have adequate clearance from the ground, which is 10 ft. over any walk-able area. Recommending corrective action by a licensed electrician.



- Tree in back yard is interfering with the service wires in the rear easement. This should be addressed for safety reasons. The local electrical provider should be contacted for corrections.



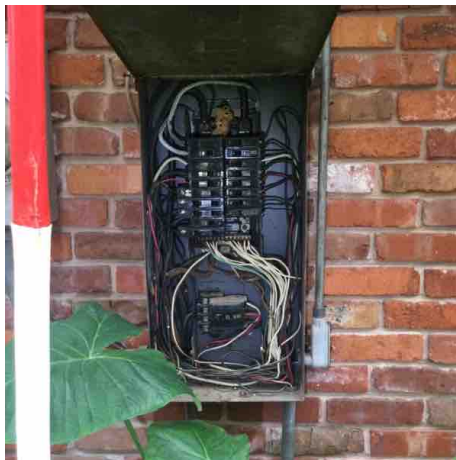
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- **The Inspector did not locate a main electrical shut-off switch, which is required when there are 6 or more circuit breakers. A licensed Electrician should make corrections as needed.**



- **Dead-front panel cover is missing at the main distribution panel creating a significant safety hazard. Recommend installation of new dead-front panel cover or replacement.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Double lugging noted at the main service connection (see photo). This condition is considered unsafe. Recommend a Licensed electrical contractor makes necessary repairs.



- The Inspector noted the service panel was excessively rusted. Recommend replacements by a licensed Electrician.



B. Branch Circuits, Connected Devices, and Fixtures

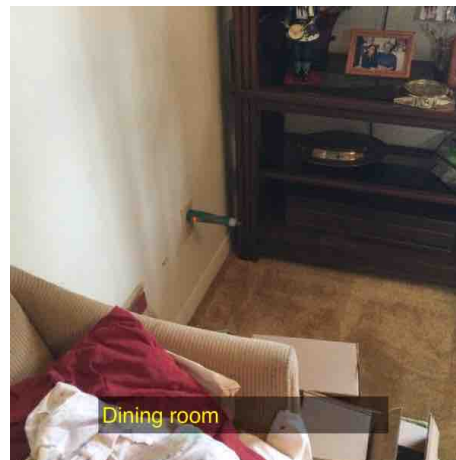
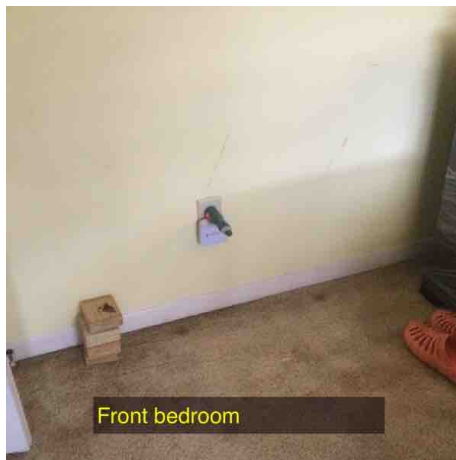
Comments:

- Branch circuit wiring is copper. All appears to be in good condition. All accessible plugs, lights, ceiling fans, GFCI and smoke alarms were tested.

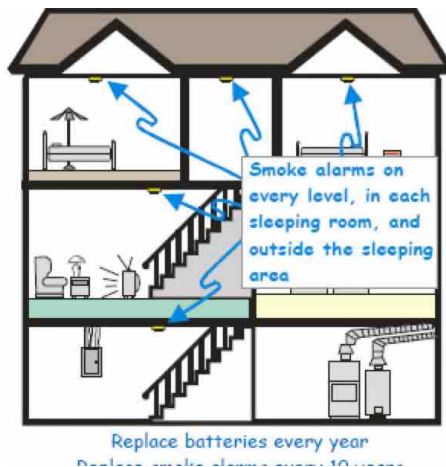
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Outlets have “open ground” indication during testing. Repairs should be performed by a licensed Electrician. (Garage)



- Smoke detectors are missing around the structure. Current code requires smoke detectors in each sleeping quarters, adjoining each sleeping quarters and on each level. Recommend corrections by a qualified person or Electrician.



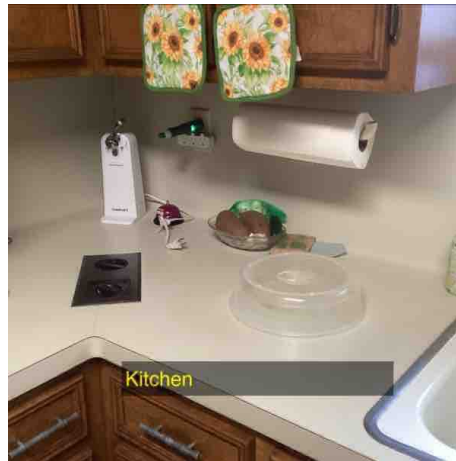
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- **Improper electrical connection outside of an approved junction box was observed in the detached garage. Recommend corrective actions by a qualified electrical contractor. (Garage)**



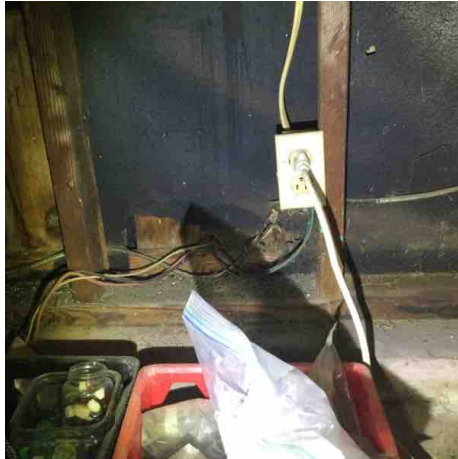
- **It is recommended that this home be equipped with ground fault circuit interrupters (GFCI) at all required locations (exterior, garage, bathrooms, kitchens and within 6 feet of the outside edge of a sink). The purpose of a GFCI circuit is to provide positive protection against a shock hazard since it will “trip” almost instantaneous if it detects moisture.**



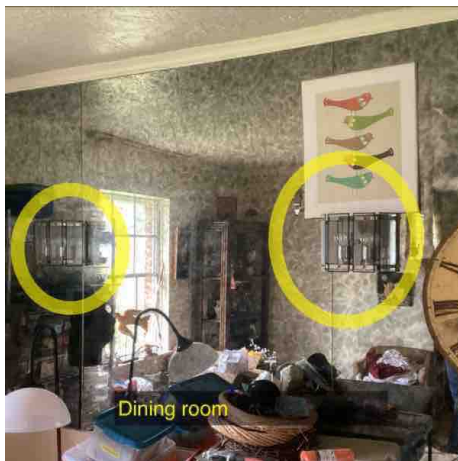
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Outlets improperly installed in the garage. All garage outlets should be installed at least 18" from the standing surface.



- Some light bulbs were not functioning during the inspection. Light bulbs should be replaced, and fixture operation verified to ensure an underlying electrical issue does not exist.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- **Burn marks noted on the ceiling in the utility room. A licensed Electrical should provide further evaluation and corrections where needed.**



- **Doorbell and chimes were not functioning at the time of the inspection. Recommend repair or replacement as needed.**



- Light bulbs around the structure can go out at any point and are classified as a maintenance issue. If potential buyers notice a blown bulb, it should be replaced to insure there are no underlying electrical issues.

C. Other

D. Limitations

△ Only visible and accessible parts of the electrical system are inspected. Items and wiring that are not visible and accessible are excluded from this report.

III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced air
Energy Sources: Natural gas
Comments:

- Buyers should obtain a service for this mechanical equipment prior to the appropriate season.

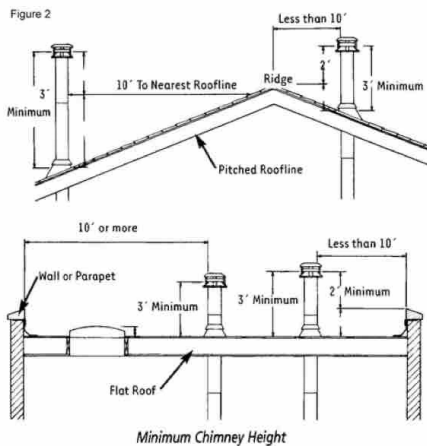
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- The system was operated and tested. The general standard for room air differential should be 30-60 degrees. Supply air temperature is 109 degrees, return air temperature is 72 degrees. (37 degrees differential).



- **Roof vents for the furnace/water heater did not have the required clearance (2 feet above anything within 10 feet). Recommend repairs by a qualified contractor to establish proper clearance.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

B. Cooling Equipment

Type of Systems: Forced air electric, Split system central air conditioning

Comments:

- Buyers should obtain a service for this mechanical equipment prior to the appropriate season.
- 3.5 ton unit manufactured in 2014.



- The system was operated and tested. The general standard for room air differential should be 15 - 22 degrees. Supply air temperature is 51 degrees, return air temperature is 66 degrees. (15 degrees differential).



C. Duct Systems, Chases, and Vents

Comments:

- All visible ductwork in the attic appears to be in good condition, connected and functioning properly at the time of the inspection.

D. Other

E. Limitations

- △ Please be aware that the heat exchange (which is the central and most critical part of a hot air furnace) could only be viewed to a limited extent. Those areas that were visible appeared to be serviceable.
- △ The visual inspection of the air conditioning system does not check for proper refrigerant charge or test for leaks in the system. The evaporator

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

coil needs cleaning and maintenance periodically.

△ Due to the limitations associated with the duct system, the Inspector recommend the buyers obtain a duct cleaning from a qualified contractor. Doing so will reduce and/or element the amount of harmful particles and mold spores (if any) from affecting home occupants.

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

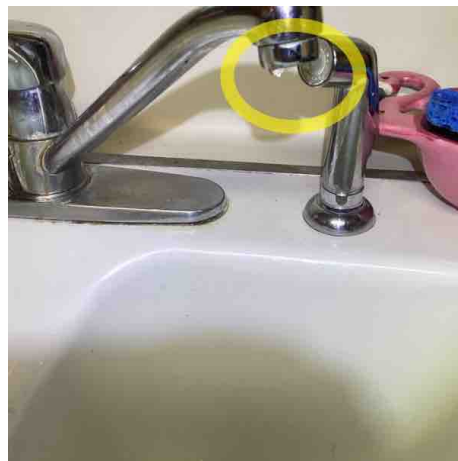
Type of supply piping material: Galvanized Steel

Comments:

- Location of the water meter and shut off valve. No deficiencies noted.



- Leaks observed at the kitchen faucet. Recommend corrective actions by a licensed Plumber.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Static water pressure below 80 PSI's - no deficiencies noted.



- **Loose faucet noted. Repairs should be performed by a qualified person or plumbing contractor. (Hall Bathroom)**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

• Water supply piping is galvanized steel. Galvanized piping, normally, has a useful life expectancy of approximately 25 - 30 years, but actual life can vary depending on the amount of usage and the chemical composition of the water running through it. As the piping ages, rust accumulates on the inside which can cause restricted water flow or a reduction of water pressure to all water sources. Water exiting faucets may appear to be orangish or brownish at first but will generally clear up quickly. Continuous flow of discolored water typically indicates piping is nearing the end of its useful life expectancy. Since the piping deteriorates from the inside out, leaks can occur before there are any visible signs of potential problems. Consideration should be given to the replacement of all galvanized piping and fittings.



B. Drains, Wastes, and Vents

Type of drain piping material: Cast Iron, Plastic

Comments:

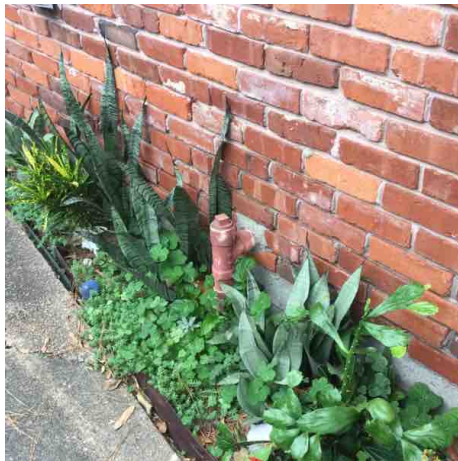
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

• This home has cast iron drain lines. Cast iron sewer pipes are very common in homes built from 1900 to 1970's. As a result of what runs through cast iron sewer pipes, corrosive actions take place within the pipe. As the pipe corrodes; scale, calcification, and rust forms. This scale continues to accumulate slowly over time. When scale builds to a certain level, it will decrease the diameter of the pipe. Consequently, drain clogs and sewer backups occur more frequently. Problems with the plumbing waste pipes under the slab can only be detected by an under-slab plumbing leak test, which should be obtained as a precaution.



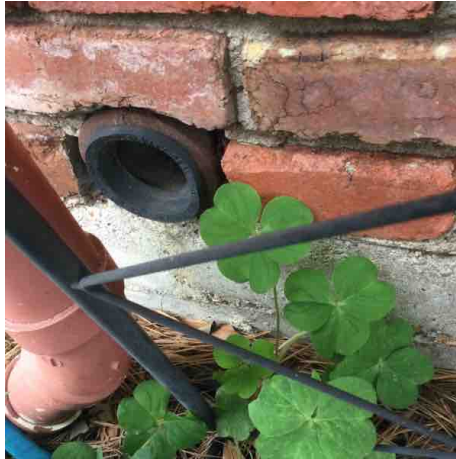
• Bypass drain lines noted. This is a result of the original drain line being blocked or compromised. Continued monitoring is recommended. **(Exterior Left)**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

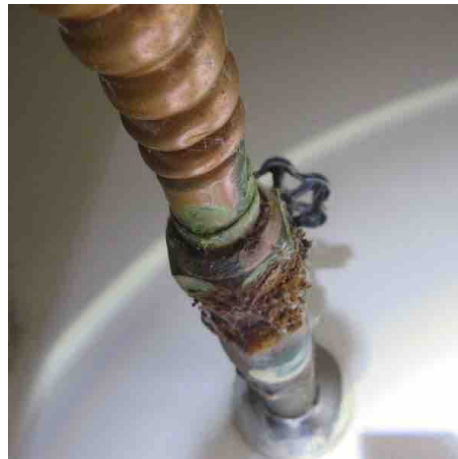
- The left side clean out cover has a missing cap. A fully enclosed cap should be installed to prevent debris from falling into the pipe and causing a blockage to the sewer system.



C. Water Heating Equipment

Comments:

- A gas-fired water heater is present and was in operation at the time of the inspection. The capacity of the hot water system appears adequate for the normal needs of this size house.
- **Corrosion observed at the water heater connections (see photo). Repairs should be performed by a licensed Plumber.**



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

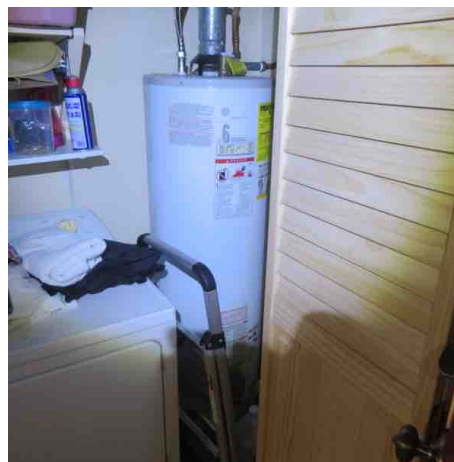
I NI NP D*

- Hot water temperature at the time of the inspection.

Although functioning normally at time of inspection, hot water heater is older (manufactured in 2002) and has exceeded its normal life expectancy. Recommend replacement.



- 40 gallon unit manufactured in 2002.



- Drain pan not present under the water heater. Minor leaks could potentially cause significant damage to nearby drywall. Recommend installing a drain pan with piping to the exterior of the residence.

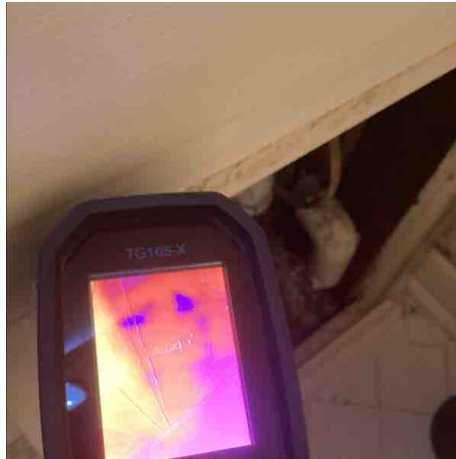
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

D. Hydro-Massage Therapy Equipment

Comments:

- **Inspector scanned the motor, jets and drains. No leaks detected at the time of the inspection. (Master Bathroom)**



- **Whirlpool was not functional at time of inspection. A qualified plumbing contractor should make repairs where needed. (Master Bathroom)**

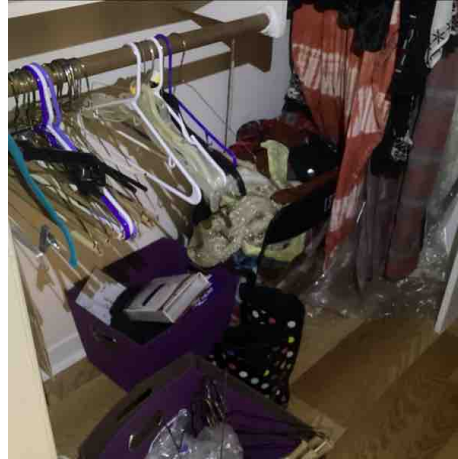


I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

• **The Inspector did not locate a dedicated GFCI reset outlet for the Spa / whirlpool tub. Corrections should be made by a licensed Electrician.**

- Master Bathroom
- Master Bedroom



E. Gas Distribution Systems and Gas Appliances

Type of gas distribution piping material: Steel

Comments:

- Gas meter located at the rear of the home. No deficiencies noted.



F. Other

G. Limitations

- △ Sealed access hatch
- △ Most pipes are concealed and unable to inspect. Only visible and accessible pipes of the plumbing system are inspected. Plumbing pipes that are not visible and accessible are excluded from this report.
- △ Most pipes are concealed and unable to inspect. Only visible and accessible pipes of the plumbing system are inspected. Plumbing pipes that are not visible and accessible are excluded from this report.
- △ T&P valve noted and plumbed but not tested due to the possibility of the valve not resealing after test.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

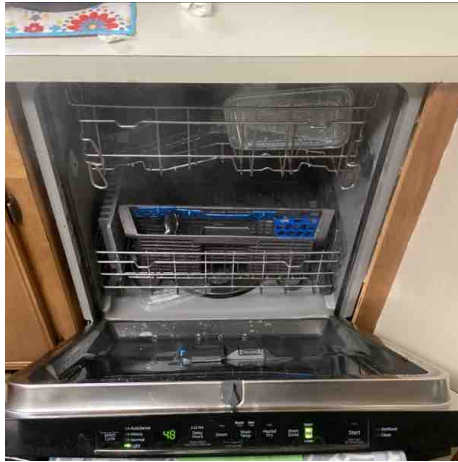
I NI NP D*

V. APPLIANCES

A. Dishwasher

Comments:

- Dishwasher was operated and run through a complete cycle. Functionality and operation appear to be normal with no leaks detected.



B. Food Waste Disposers

Comments:

- Impeller blades heard grinding at the time of the inspection. Repairs should be made by a licensed Plumber.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

C. Range Hood and Exhaust Systems

Comments:

- The exhaust fan was inoperable, this unit is older and may be nearing the end of its useful life expectancy.



D. Ranges, Cooktops, and Ovens

Comments:

- Anti-tip mechanism on the range was not installed which is considered a safety hazard. Recommend a qualified technician for corrections as needed. (Kitchen)



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- Although operated, be advised this unit does not have a hot lamp light to indicate burners are hot. Operate with caution.



- Oven was tested at a temperature setting of 350 degrees. The oven measured 349 degrees; which is considered within normal operation parameters (+ / - 25 degrees).



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

E. Microwave Ovens

Comments:

- Although operated, this unit is older and may require replacing in the near future.



F. Mechanical Exhaust Vents and Bathroom Heaters

G. Garage Door Operators

H. Dryer Exhaust Systems

Comments:

- At the time of the inspection the dryer vent cover is clear. Dryer's lint screen should be cleaned after every use and dryer vent line should be cleared every 5 years or as needed.

I. Other

VI. OPTIONAL SYSTEMS

A. Outbuildings

B. Private Water Wells

C. Private Sewage Disposal Systems

D. Other Built-in Appliances

E. Other